

FINAL CODE COMPLIANCE CERTIFICATE

Issued by
BUILDING CONTROL INSPECTION SERVICES
CHRISTCHURCH CITY COUNCIL

BUILDING CONSENT No.
10011228

FS0000011655228

Project Location

Street Address: 28 AYLSHAM LANE, STYX, CHRISTCHURCH 8005
Legal description: LOT 170 DP 83050

Project Particulars

THIS CERTIFICATION IS FOR :

New Construction

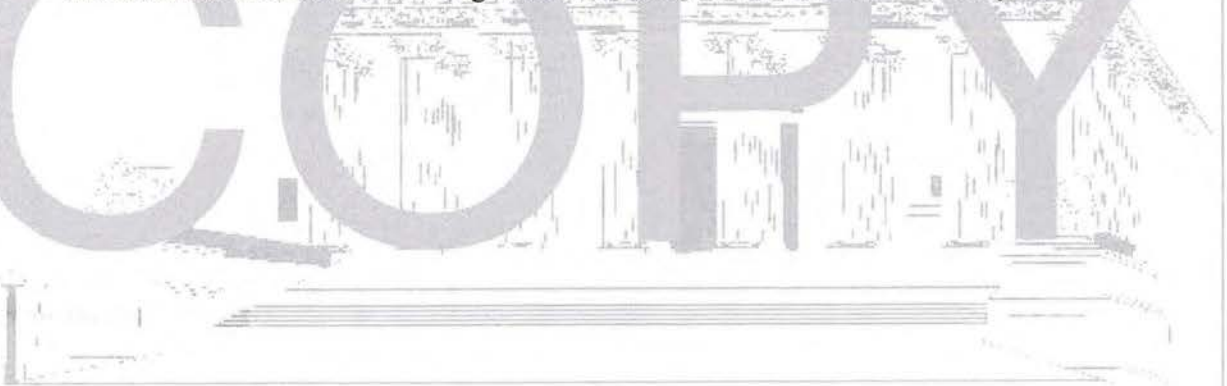
THE INTENDED USE(S) FOR THIS BUILDING WORK IS FOR:

Dwelling

PROPOSED WORK DETAILS:

DWELLING WITH ATTACHED GARAGE

The intended life of this building work is indefinite but not less than 50 years.



This certificate is issued under Section 43 clause (3) of the Building Act 1991 and is a Final Code Compliance issued in respect of all work under the above Building Consent.

Signed for and on behalf of the Christchurch City Council:

Date of Issue: 28/06/2001

Name:

Position: Building Inspection Coordinator



CHRISTCHURCH CITY COUNCIL

BUILDING INSPECTION SERVICES

PROJECT NO:

Site Address:

Description of Consent:

10011228

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition		Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties		Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports		Anti-scald, fitted		BA9 Received	R	Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.	/	Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings	/	Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt	/	Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection	/	Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes	/	Ventilation (HVAC)	
Mesh		Blockwork Constn.	S2	Main Vent/AAV	/	Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves	/	Surface Water Sumps	
ers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers		" Route	
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces	/	" Toilet	
Preline Building	M4A	Connections		Ceiling Insulation		" Grab Rails	
M/C - walls/ceilings %		1/2 High Brick Insp.	S8	Fire Resistant Rating		" Hardware	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Carpark/Signage	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		Producer Statements	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		Structural ()	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		As Built Drainage Plan	
Lintels		F/W→Approved Outfall		Solid Fuel Heater		HVAC	
Insulation Walls		S/W→Approved Outfall		Landscaping (Y/N)		Fire Alarm Installer	
Insulation Ceilings		Main Vent Position		Hard Standing levels		F.P.I.S.	
Roof Cladding		Grade/Water Test				Fire Engineer	
Eng. Verification		Pick-up Completed				Emergency Lighting	

Comments

- BA9 form to be completed
- Construction Review to come from engineer

All else OK.

Pressurisation/Extraction
Sprinklers
Back Flow
Lift
Electrical Certificate
Gas Certificate

Reconciliation of Inspection

Estimate
Actual
Refund/Debit

Builder:	Plumber:	Drainlayer:	Gas Fitter:
All work inspected is in accordance with the Building Consent.			Inspection Type
Some work is not satisfactory as detailed above and rectification is required.			
Signed:			Date: 21/6/01
SITE INSPECTION REPORT This is not a Code Compliance Certificate			Key R = Rectification Required ✓ = Approved

PROJECT COMPLETE

SIGNED:

DATE: 26/6/01

 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	<h1>CHRISTCHURCH CITY COUNCIL</h1> <h2>BUILDING INSPECTION SERVICES</h2>		PROJECT NO: 10011228
	Site Address: <u>28 FALSMAN Lane</u> Description of Consent: <u>Drainage + Air Space</u>		

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition		Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties		Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports		Anti-scald, fitted		BA9 Received		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.		Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings		Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt		Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection		Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes		Ventilation (HVAC)	
Mesh		Blockwork Constr.	S2	Main Vent/AAV		Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves		Surface Water Sumps	
ers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers		" Route	
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces		" Toilet	
Preline Building	M4A	Connections		Ceiling Insulation		" Grab Rails	
M/C - walls/ceilings %		½ High Brick Insp.	S8	Fire Resistant Rating		" Hardware	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Carpark/Signage	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		Producer Statements	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		Structural ()	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		As Built Drainage Plan	
Lintels		F/W→Approved Outfall		Solid Fuel Heater		HVAC	
Insulation Walls		S/W→Approved Outfall		Landscaping (Y/N)		Fire Alarm Installer	
Insulation Ceilings		Main Vent Position		Hard Standing levels		F.P.I.S.	
Roof Cladding		Grade/Water Test				Fire Engineer	
Eng. Verification		Pick-up Completed				Emergency Lighting	

Comments

GIB MARKING TO WHISKEY DISKIN	Pressurisation/Extraction	
	Sprinklers	
	Back Flow	
	Lift	
	Electrical Certificate	
	Gas Certificate	
	Reconciliation of Inspection	
Estimate		
Actual		
Refund/Debit		

Builder:	Plumber:	Drainlayer:	Gas Fitter:
All work inspected is in accordance with the Building Consent.			Inspection Type M7
Some work is not satisfactory as detailed above and rectification is required.			
Signed: <u>[Signature]</u> Date: <u>16.5.01</u>			Rectification time frame /...../.....
SITE INSPECTION REPORT This is not a Code Compliance Certificate			
Key R = Rectification Required ✓ = Approved			



BUILDING INSPECTION SERVICES

Site Address: 28 Wyndham Hill

Description of Consent: Charles D. Gas

10011228

<u>Comments</u>		
<i>Pressure OK MC14-17% Balbs in good condition. Braking as per plan.</i>	Pressurisation/Extraction	
	Sprinklers	
	Back Flow	
	Lift	
	Electrical Certificate	
	Gas Certificate	
<i>Repaired & lagged HWC & valves late.</i>	Reconciliation of Inspection	
	Estimate	
	Actual	
	Refund/Debit	

Gas Fitter:

Inspection Type	Inspector Name	Date	Findings	Action Items	Status
Visual Inspection	J. Smith	2023-10-26	No visible damage or leaks.		Pending
Pressure Test	A. Jones	2023-10-27	Minor leak detected at joint B.	Tighten joint B.	In Progress
Leak Detection	M. Brown	2023-10-28	No leaks detected.		Completed
Structural Assessment	K. White	2023-10-29	Structure appears sound.		Pending
Final Review	L. Green	2023-10-30	All issues resolved.		Completed


Rectification
time frame

ML

Signed: _____ Date: 9 / 3 / 01

Key

R = Rectification Required
✓ = Approved

 CHRISTCHURCH CITY COUNCIL · ENVIRONMENT	CHRISTCHURCH CITY COUNCIL BUILDING INSPECTION SERVICES		PROJECT NO:
	Site Address: <u>28 PLYSAM LANE</u> Description of Consent: <u>DWG</u>		<u>10011228</u>

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition		Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties		Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports		Anti-scald, fitted		BA9 Received		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.		Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings		Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt		Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection		Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes		Ventilation (HVAC)	
Mesh		Blockwork Constr.	S2	Main Vent/AAV		Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves		Surface Water Sumps	
ers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers		" Route	
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces		" Toilet	
Preline Building	M4A	Connections		Ceiling Insulation		" Grab Rails	
M/C - walls/ceilings %		½ High Brick Insp.	S8	Fire Resistant Rating		" Hardware	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Carpark/Signage	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		Producer Statements	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		Structural ()	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		As Built Drainage Plan	
Lintels		F/W → Approved Outfall		Solid Fuel Heater		HVAC	
Insulation Walls		S/W → Approved Outfall		Landscaping (Y/N)		Fire Alarm Installer	
Insulation Ceilings		Main Vent Position		Hard Standing levels		F.P.I.S.	
Roof Cladding		Grade/Water Test				Fire Engineer	
Eng. Verification		Pick-up Completed				Emergency Lighting	

Comments

F/W & S/W to lateral

Pressurisation/Extraction

Sprinklers

Back Flow

Lift

Electrical Certificate

Gas Certificate

Reconciliation of Inspection

Estimate

Actual

Refund/Debit

Builder:**Plumber:****Drainlayer:****Gas Fitter:**

All work inspected is in accordance with the Building Consent. ✓

Some work is not satisfactory as detailed above and rectification is required.

Inspection TypeRectification
time frameSigned: R. P. P. Date: 12/4/2001**SITE INSPECTION REPORT****This is not a Code Compliance Certificate****Key**

R = Rectification Required

✓ = Approved

 CHRISTCHURCH CITY COUNCIL - ENVIRONMENT	CHRISTCHURCH CITY COUNCIL BUILDING INSPECTION SERVICES		PROJECT NO:
	Site Address: <u>28 Cyclopedia Lane</u> Description of Consent: <u>chilly o garage</u>		<u>10011228</u>

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition		Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties		Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports		Anti-scald, fitted		BA9 Received		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.		Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings		Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt		Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection		Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes		Ventilation (HVAC)	
Mesh		Blockwork Constn.	S2	Main Vent/AAV		Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves		Surface Water Sumps	
Barriers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers		" Route	
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces		" Toilet	
Preline Building	M4A	Connections		Ceiling Insulation		" Grab Rails	
M/C - walls/ceilings %		½ High Brick Insp.	S8	Fire Resistant Rating		" Hardware	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Carpark/Signage	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		Producer Statements	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		Structural ()	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		As Built Drainage Plan	
Lintels		F/W → Approved Outfall		Solid Fuel Heater		HVAC	
Insulation Walls		S/W → Approved Outfall		Landscaping (Y/N)		Fire Alarm Installer	
Insulation Ceilings		Main Vent Position		Hard Standing levels		F.P.I.S.	
Roof Cladding		Grade/Water Test				Fire Engineer	
Eng. Verification		Pick-up Completed				Emergency Lighting	

Comments


- DPC in place
 - O10 floor ties at 600 CRS
 - yet to place reinforcing bar at all int corners

Pressurisation/Extraction
 Sprinklers
 Back Flow
 Lift
 Electrical Certificate
 Gas Certificate

Reconciliation of Inspection

Estimate
 Actual
 Refund/Debit

Builder:	Plumber:	Drainlayer:	Gas Fitter:
All work inspected is in accordance with the Building Consent.			Inspection Type <u>M2</u>
Some work is not satisfactory as detailed above and rectification is required.			
Signed: <u>[Signature]</u> Date: <u>28.3.01</u>			Rectification time frame/...../.....
SITE INSPECTION REPORT This is not a Code Compliance Certificate			Key R = Rectification Required ✓ = Approved

 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	<h1 style="margin:0;">CHRISTCHURCH CITY COUNCIL</h1> <h2 style="margin:0;">BUILDING INSPECTION SERVICES</h2>	PROJECT NO: <div style="font-size: 1.5em; font-family: cursive;">10011228</div>
Site Address: 28 Hylsham Lane		
Description of Consent: dwelling & gas		

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing	<input checked="" type="checkbox"/>	Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition	<input checked="" type="checkbox"/>	Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties	<input checked="" type="checkbox"/>	Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports	<input checked="" type="checkbox"/>	Anti-scald, fitted		BA9 Received		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.		Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings		Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt		Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection		Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes		Ventilation (HVAC)	
Mesh		Blockwork Constn.	S2	Main Vent/AAV		Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves		Surface Water Sumps	
Barriers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers		" Route	
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces		" Toilet	
Preline Building	M4A	Connections		Ceiling Insulation		" Grab Rails	
M/C - walls/ceilings %		½ High Brick Insp.	S8	Fire Resistant Rating		" Hardware	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Carpark/Signage	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		Producer Statements	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		Structural ()	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		As Built Drainage Plan	
Lintels		F/W → Approved Outfall		Solid Fuel Heater		HVAC	
Insulation Walls		S/W → Approved Outfall		Landscaping (Y/N)		Fire Alarm Installer	
Insulation Ceilings		Main Vent Position		Hard Standing levels		F.P.I.S.	
Roof Cladding		Grade/Water Test				Fire Engineer	
Eng. Verification		Pick-up Completed				Emergency Lighting	

Comments <div style="font-family: cursive; font-size: 1.2em; padding: 10px;"> Siting as per plan, bearing OK (sighted engineers report 2016s & R10 links at 600cs, D10 floor ties to go ~ Surveyor not req'd dwlly moved to ensure compliance with recession plan </div>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>Pressurisation/Extraction</td><td></td></tr> <tr><td>Sprinklers</td><td></td></tr> <tr><td>Back Flow</td><td></td></tr> <tr><td>Lift</td><td></td></tr> <tr><td>Electrical Certificate</td><td></td></tr> <tr><td>Gas Certificate</td><td></td></tr> <tr><td> </td><td></td></tr> <tr><td colspan="2">Reconciliation of Inspection</td></tr> <tr><td>Estimate</td><td></td></tr> <tr><td>Actual</td><td></td></tr> <tr><td>Refund/Debit</td><td></td></tr> </table>	Pressurisation/Extraction		Sprinklers		Back Flow		Lift		Electrical Certificate		Gas Certificate				Reconciliation of Inspection		Estimate		Actual		Refund/Debit	
Pressurisation/Extraction																							
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Reconciliation of Inspection																							
Estimate																							
Actual																							
Refund/Debit																							

Builder:	Plumber:	Drainlayer:	Gas Fitter:	
All work inspected is in accordance with the Building Consent. ✓			Inspection Type <div style="font-family: cursive; font-size: 2em; text-align: center;">M1.</div>	
Some work is not satisfactory as detailed above and rectification is required.				
Signed: [Signature] Date: 26.1.3.10.			Rectification time frame /...../.....	
SITE INSPECTION REPORT This is not a Code Compliance Certificate				Key R = Rectification Required ✓ = Approved

ABA 1001/228

DYERS RD TIMBER
291 Dyers Rd CHRISTCHURCH

(03) 384-4111 Fax (03)384-4110
PRODUCER STATEMENT

12:57pm 26 MAR 2001
Ver 2.41.20 (L) PAGE 1
Job Ref: 9494

TRUSS DESIGN CRITERIA

Customer name : STONEWOOD HOMES 28 AYLSHAM LANE

Site address : CREAGH HOUSE
LOT 170 AYLSHAM LANE

DESIGN CRITERIA

Roofing - Metal Tile
Ceiling - Gib Board (9.5mm)
Top chord restraints - 380 mm
Bottom chord restraints - 600 mm
Standard truss spacing - 900 mm
Standard roof pitch - 27.00 deg

Design wind speed - 37 m/s
Region - n/a
Terrain category - n/a
Height of Structure - 3 m
Shielding Classification - n/a
Topographic Classification - n/a
Internal pressure coefficient - 0.3
Snow Load (U.L.S.) - 464 Pa

This building has been
designed using a Snow
Load of

0.5 KPa

The truss designs for this job have been determined using computer software provided by the Technical Division within Pryda Truss Systems. These designs are in accordance with sound and widely accepted engineering principles and comply with the following New Zealand Standards:-

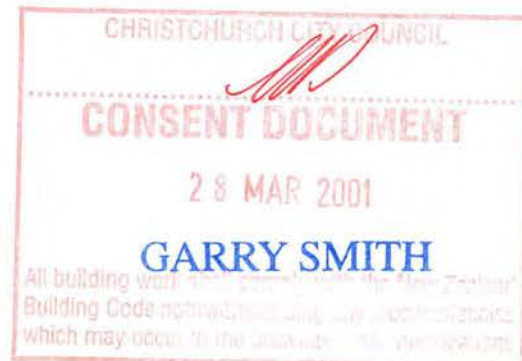
NZ4203 : 1992 General Structural Design and Design Loadings for Buildings
NZ3603 : 1993 Timber Design
AS1649 : 1974 Determination of Basic Working Loads for
Metal Fasteners for Timber

These trusses shall be installed, connected and braced in accordance with the recommendations given in :-
AS4440-1997 Installation of nailplated timber trusses.

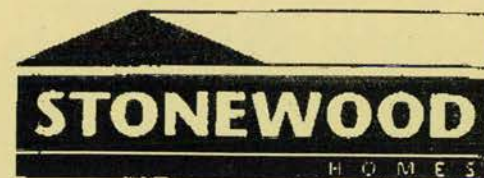
We confirm that the trusses for this project have been manufactured in accordance with the fabrication specifications provided by Pryda Truss Systems

Signed : _____

Date : 26/3/01



TO	Christchurch City Council
FAX NO	371 1920
FROM	Scott
ATTN	Roseanne / John Blaken
DATE	25/6/01
PAGES (INCL. THIS PAGE)	4



204 Main North Road
 PO Box 20 278, Papanui
 Christchurch
 New Zealand
 Phone: 64 3 354 2344
 Fax: 64 3 354 2342
 Email: info@stonewood.co.nz
 Internet: www.stonewood.co.nz

Code of compliance

- project NO 10011228
 28 Alysham lane


BA9 form ✓

Producer statement ✓

- can you please fax code
 back soon as poss

Thanks

Scott.

 CHRISTCHURCH CITY COUNCIL BUILDING INSPECTION SERVICES		PROJECT NO: 10011228	
Site Address: 28 Oyls Ham Lane		Description of Consent: dwlly garage	
Prepour Foundation	M1	Preline Plumbing	M4B
Siting/Levels/Bearing		Pipe Type/Sizing	
Ground Condition		Water Isolation Valve	
Reinforcing/Slab Ties		Lagging/Pressure Test	
Eng./Soil Reports		Anti-scald, fitted	
Sub-floor Drainage	M1A	Soil Pipes/Vents	
A.S.3500/Drainage		Fire Resistant Lining	M5
Overflow Relief		Penetration/Connection	
Prepour Slab	M2	Concrete Construction	S1
Tailings/DPM		Reinforcing/Eng. Repts	
Mesh		Blockwork Constrn.	S2
Wastes		Reinforcing/cleanouts	
Sub Floor	M3	Steel Construction	S3
Fire Connections		Size/connections	
Bearers/Joists/Treatment		Solid Plaster System	S5
Sub Ventilation		Substrate/Contrl/Flash	
Sub Insulation		Brick / Shelf Angle	S6
Preline Building	M4A	Connections	
M/C - walls/ceilings %		1/2 High Brick Insp.	S8
Plate/Truss Fixings		Cavity/Expansion	
Framing/Grade		Drainage	M6
Bracing/Roof and Walls		Bedding/Cover	
Floor Joist Layout		Inspection/M.V.	
Lintels		F/W → Approved Outfall	
Insulation Walls		S/W → Approved Outfall	
Insulation Ceilings		Main Vent Position	
Roof Cladding		Grade/Water Test	
Eng. Verification		Pick-up Completed	
Comments - BA9 form to be completed - Construction Review to come from engineer All else OK.		Final (Comm/Ind) BA9 Received Car Parking Marked Downpipe/Rainhead Gully Trap/T.Vent Trade Waste Glass/Safety/Visibility Barriers/Stair/Rails Anti-scald, Provided Ventilation (HVAC) Fire Resistant Rating Fire Alarm Type Egress/Signage Surface Water Sumps Accessible Facilities " Route " Toilet " Grab Rails " Hardware " Carpark/Signage Producer Statements Structural () As Built Drainage Plan HVAC Fire Alarm Installer F.P.I.S. Fire Engineer Emergency Lighting Pressurisation/Extraction Sprinklers Back Flow Lift Electrical Certificate Gas Certificate Reconciliation of Inspection Estimate Actual Refund/Debit	
Builder:	Plumber:	Drainlayer:	Gas Fitter:
All work inspected is in accordance with the Building Consent.		Inspection Type: M8	
Some work is not satisfactory as detailed above and rectification is required.		Rectification time frame	
Signed: [Signature] Date: 21.6.01		Key	
JOHN BLANKEN 025 340 719		R = Rectification Required ✓ = Approved	
SITE INSPECTION REPORT This is not a Code Compliance Certificate			

 CHRISTCHURCH <small>CITY COUNCIL - ENVIRONMENT</small>	CHRISTCHURCH CITY COUNCIL ENVIRONMENTAL SERVICES UNIT PO Box 237, Christchurch Fax 371-1920, Telephone 371-1284, 371-1904	FORM: BA9
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Dear Building Owner

**COMPLETION OF YOUR BUILDING PROJECT
FINAL INSPECTION AND CODE COMPLIANCE CERTIFICATE**

Once your building project has been completed you are required to advise the City Council's Field Inspection Team so that they can carry out a final inspection.

Following this inspection you will receive a Code Compliance Certificate providing that the building work is correctly completed in accordance with the Building Code.

Therefore, to set this process in motion you need only complete and detach the lower part of this form labelled Form BA9 and return it to the City Council.

Note, that before completing Form BA9, please check that you have fulfilled the conditions of Building Consent, if any. This is important if you have been employing professional consultants to carry out inspection work during the course of construction, as a confirming "Producer Statement" may be required by the Council as part of the conditions.

FURTHER NOTE: Before the Council issues the Building Project's Code Compliance Certificate a copy of a Certificate of Compliance for any electrical work and/or certification certificate for any gas fitting work carried out with this project must be provided.

Yours faithfully
ENVIRONMENTAL SERVICES MANAGER

FORM BA9	APPLICANTS ADVICE NOTICE OF COMPLETED BUILDING WORK	
To: Team Leader Field Inspections Christchurch City Council PO Box 237, Christchurch	PROJECT NO 10011228	
<i>[Cross each applicable box and attach relevant documents]</i>		
You are hereby advised that: <input checked="" type="checkbox"/> All <input type="checkbox"/> Part only as specified in the attached particulars of the building work under the above building consent is believed to have been completed to the extent required by that Building Consent.	You are requested to issue: <input checked="" type="checkbox"/> A final Code Compliance Certificate <input type="checkbox"/> An interim Code Compliance Certificate for only The attached particulars include: <input checked="" type="checkbox"/> Producer statements (if required)	
I <u>Stonewood Homes</u> advise that the above building project is complete to the extent required by the building consent (including any conditions) and hereby request the Council to make a final inspection for the purposes of obtaining a Code Compliance Certificate:		
<div style="text-align: right;">(please tick)</div>		
Date Inspection Required: _____ Time: AM <input type="checkbox"/> PM <input type="checkbox"/>		
Site Address: <u>28 Aylsham Lane</u>		
Contact Name: <u>Scott</u> Contact Phone: <u>025 310 400</u>		
Postal Address for receipt of Code Compliance Certificate or any further correspondence: <u>PO Box 20 278 Bishopdale.</u>		
Signed by or for and on behalf of the owner: <u>[Signature]</u> Date: <u>25/6/01</u>		



**Eliot Sinclair
& Partners Limited**
Consulting Surveyors • Consulting Engineers

Our Ref.: 200328

19 April 2001

Land Surveyors
Civil & Structural Engineers
Land Development Consultants
Hydrographic and
Photogrammetric Surveyors
Advanced Computer Applications
in Surveying and Engineering

Level 5
151 Kilmore Street
PO Box 4597
Christchurch, New Zealand
Telephone (03) 379-4014
Fax (03) 365-2449
Email esp@eliotstin.co.nz

PRODUCER STATEMENT - CONSTRUCTION REVIEW

Clause B1 Structure

To: Christchurch City Council
Environmental Services Unit
PO Box 237
CHRISTCHURCH

23 APR

COPY

FOUNDATION TRENCH FOR NEW HOUSE

AT 28 AYLSHAM LANE (LOT 170), CHRISTCHURCH

PROJECT NO. 10011228

I, **Richard H J Wilson**, being a Registered Engineer and holding a current Annual Practising Certificate and being an employee of **Eliot Sinclair & Partners Ltd.**, have been engaged by **Mr B Craegh** to confirm the adequacy of the perimeter foundation trench soil bearing conditions in respect of the requirements of **Clause B1 of the Building Regulations 1992**.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000.00, I confirm that personnel under my control have carried out periodic reviews of the work appropriate to the engagement. Based upon these reviews and information supplied by the contractor during the course of the works, it is my opinion that the work has been carried out in such a manner as to meet the relevant requirements of **Clause B1 of the Building Regulations 1992**.

Signature

Richard H J Wilson
B.E., M.I.P.E.N.Z.

Registration No. 209652

c.c. Mr B Craegh
55 Sarabande Avenue
Christchurch

*Stonewood Homes
Attn Dave Busch.*

Directors:

Morton D. Sinclair B.E. B.Sc. M.I.P.E.N.Z. M.N.Z.I.S. M.P.L.E.I.N.Z. Reg. Eng. Reg. Surv.
Bruce E. Sinclair B.Sc. M.N.Z.I.S. M.P.L.E.I.N.Z. Reg. Surv.
Maurice W. Perwick Dip. Surv. M.N.Z.I.S. Reg. Surv.
Mark A. Allen B. Surv. N.Z.C.E.S. M.N.Z.I.S. Reg. Surv.
John des C. Brouard B.E. M.I.P.E.N.Z. Reg. Eng.

Associates:

Sylvie M. Butters B. Surv. M.N.Z.I.S. Reg. Surv.
Roy E. Garfield Dip. Surv. M.N.Z.I.S. Reg. Surv.
Warren J. Haynes B. Surv. M.N.Z.I.S. Reg. Surv.
Ken G. Burrows N.Z.C.E. A.N.Z.I.S.
Richard H.J. Wilson B.E. M.I.P.E.N.Z. Reg. Eng.

200328-002P-rh/jw.doc

ESTIMATE OF CONSTRUCTION INSPECTIONS

Date: 16 February 2001

PROJECT NO.: 10011228
DESCRIPTION OF CONSENT: Dwelling with Attached Garage
SITE ADDRESS: 28 Aylsham Lane
OWNER'S NAME: Barry and Val Creagh
OWNER'S ADDRESS: 55 Sarabanda Avenue

SEE CONDITIONS

MANDATORY NOTICE INSPECTIONS	No.	Cost	Total
M1 Excavation/Foundation/Reinforcing	1	51.50	51.50
M2 Slab on Grade/DPC	1	51.50	51.50
M4A Pre-line including Plumbing & Drainage	1	51.50	51.50
M6 Drains	1	51.50	51.50
M7 Pre-Stopping/Bracing	1	51.50	51.50
M8 Final Inspection	1	51.50	51.50
HH Half High Brick Inspection	1	51.50	51.50
		Subtotal	<u>\$360.50</u>

SUPPLEMENTARY INSPECTIONS	No.	Cost	Total
		Subtotal	<u>\$360.50</u>

THESE INSPECTIONS ARE TO BE PRE-PAID	TOTAL	<u>\$360.50</u>
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Notes:

1. The above mandatory notice inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1)(b)(i-v).
2. The number of supplementary inspections is dependant on the nature of the building work and the manner of construction. The Council may require prior notification of work proceeding before covering up or closing in, subject to arrangement with the Building Inspector.
3. Inspections which are necessary due to non-complying or incomplete work or that rise as a result of a rectification notice are additional, and will be charged at the rate of \$60.00/hour and invoiced separately.

For all inspection requests pertaining to this consent, please phone 3711904.
Inspections for the following day must be booked prior to 4pm.


BUILDING CONSENT CONDITIONS

As at : 16 February 2001

PROJECT NO.: 10011228
DESCRIPTION OF CONSENT: Dwelling with Attached Garage
SITE ADDRESS: 28 Aylsham Lane
OWNER'S NAME: Barry and Val Creagh
OWNER'S ADDRESS: 55 Sarabanda Avenue

The Building Consent is subject to the following conditions, which must be satisfied before the Code Compliance Certificate can be issued:

- The **foundation concrete** shall not be placed until the Design Engineer has **reported, in writing to the Christchurch City Council**, confirming that the foundation design is appropriate for the foundation conditions which have been exposed for him. NOTE: It is the owners/builders responsibility to formally notify the Design Engineer before pouring any concrete or enclosing any structure.
- **Roof truss design and layout plan** complying with New Zealand Standard 3604:1999, Clause 10.2.2 and C.8.6.1.4 being supplied to the Council's Inspector at the time of the pre-line inspection.
- The **owner's consultants responsible for inspection of the building** works shall provide a statement upon completion of the works to confirm that the appropriate inspections have been conducted and that the building work has been completed to the extent required by the building consent.
- A **record of each site visit** made by the owner's consultant shall be kept on site, preferably in a folder in the builders shed for reference by City Council Inspectors carrying out audit compliance inspections.

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<p align="center">CHRISTCHURCH CITY COUNCIL</p> <p align="center">CERTIFICATE ISSUED UNDER SECTION 35 (1A) BUILDING ACT 1991</p>	<p align="center">BUILDING CONSENT NO:</p> <p align="center">10011228</p>
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Site Address: 28 Aylsham Lane

Owner: B & V Creagh.

Applicant: Dave Busch.

Proposal: Erect Dwelling & Garage.

<p>RESTRICTIONS ON IMPLEMENTING BUILDING CONSENT</p>

Until the authorisation identified below has been obtained under the Resource Management Act 1991:

Building work to which the above building consent relates may be undertaken, except that no part of the foundation/floor shall be poured or the ground floor constructed until the Council has received a certificate from a registered surveyor verifying that the siting and foundation/floor levels are in accordance with the approved consent plans.

Please forward the building location certificate to the Team Leader- Field Inspections, Civic Offices. Fax 371-1920

Signed for and on behalf of the Council: F.A. Bustin Date: 16/2/01

Name: F.A. BUSTIN Position: BUILDING CONSENT OFFICER

For: Area Development Officer



CHRISTCHURCH CITY COUNCIL

16/02/2001

CREAGH, BARRY EDWARD
C/O STONEWOOD HOMES
P O BOX 20278
CHRISTCHURCH

SEE CONDITIONS

Dear Sir/Madam,

BUILDING CONSENT PROJECT NO. 10011228
LOCATED AT 28 AYLHAM LANE, STYX, CHRISTCHURCH 8005

I am pleased to advise you that your approved building consent is now available for collection upon payment of outstanding fees listed on the following page. Please present the attached Tax Invoice sheet when you uplift the consent from the Sackburn S.C.

STARTING WORK

Please note that the building consent is not valid until the fees have been paid and you are in possession of the consent documents, together with the Inspection Schedule and Conditions of Consent. Building work must not commence without you first uplifting the building consent.

Please ensure that you collect your building consent within 30 days of the above date.

Your building consent will lapse if work has not started within 6 months of its date of issue or if reasonable progress has not been made within 12 months after work has started, unless you have applied for and Council has approved an extension of time.

ARRANGING INSPECTIONS

It is important you arrange the inspections as per the Inspection Schedule, giving the Council at least one full days notice prior to placing any concrete, or covering in any of the work. Phone 371.1904 or fax 371.1920.

CANCELLATION OF THE PROJECT

Should you decide not to proceed with the building project then please contact the office that received your application.

Please note that if you cancel this application consent and PIM processing fees, must still be paid. Please quote the application number above on all communications with the Council.

Thank you for your custom and we look forward to being able to assist you in the future.

Signed

JA Bustin

for

Area Development Officer



CHRISTCHURCH CITY COUNCIL

ENVIRONMENTAL SERVICES UNIT

TAX INVOICE

BUILDING CONSENT FEES

INV 18893
GST NO 53-198-554
DATE 16/02/2001

CREAGH, BARRY EDWARD

C/O STONEWOOD HOMES
P O BOX 20278
CHRISTCHURCH

CONSENT APPLICATION NO: ABA10011228
OWNERS NAME: MAURICE R CARTER LIMITED
PROJECT STREET ADDRESS: 28 AYLSHAM LANE STYX
CUSTOMER CODE: 3029374
INVOICED TO DATE: \$0.00

FEE CODE	DESCRIPTION	THIS INVOICE
B01	Project Information Memorandum	160.00
B02	Accept & Issue Consent	95.00
B03	Process and Grant	210.00
B04	Inspections	360.50
B05	Code Compliance Grant/Issue	30.00
B06	BRANZ Levy	153.00
B07	Building Industry Auth. Levy	99.45
VCI	Vehicle Crossing Inspn Fee	60.00
WCN	Water Connection Fee	345.00
WST	Treatment Plnt Capacity Upgrade	607.50

TOTAL (GST inclusive) \$2120.45

 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 BUILDING CONSENT	FORM: BA4 PROJECT NO. 10011228
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PROJECT LOCATION AND DESCRIPTION

Street Address: 28 AYLHAM LANE, STYX, CHRISTCHURCH 8005

Description of Work: DWELLING WITH ATTACHED GARAGE

Legal Description: LOT 170 DP 83050

Valuation Roll : 00000 00000

SEE CONDITIONS

OWNER/APPLICANT

Name: CREAGH, BARRY EDWARD

Mailing Address: C/O STONEWOOD HOMES
P O BOX 20278
CHRISTCHURCH

Contact:

PROJECT DETAILS

Type description:

New Construction

Intended life:

Indefinite, but not less than 50 years

Intended uses(s):

Dwelling

Estimated value (inclusive of GST): \$ 153000.00

Application Received: 12/02/2001

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty nor permit any breach of any other Act.

Please note that your Building Consent will lapse if work has not commenced within six months of its date of issue or if reasonable progress has not been made within twelve months after work has commenced, unless an extension of time has been approved by the Council.

This Building Consent is issued subject to the conditions specified in the attached pages (if any) headed 'Conditions of Project No.: 10011228'

Signed for and on behalf of the Council:

Name: M. Buxton

Position: Building Consent Officer Date: 16/02/2001

REFER AMENDMENTS ON PAGE 2.

ALSO ALL REFERENCE TO N.Z.S. 3604.1990 IS TO BE READ AS 1999.

1

PRELIMINARIES AND GENERAL

CONSENTS COPY

The New Zealand Standards and the New Zealand Building Code shall overrule any standards as set out in this preliminary.

1.0 GENERAL**1.1 READING OF PLANS AND SPECIFICATIONS:**

The Plans and Specifications will be read as one document. The contractor should ask all sub-tradesmen to read the particular section of the specification to see what specific requirements apply, apart from general trade practises.

1.2 SITE:

Visit the site so as to be fully acquainted with the facilities or difficulties of access thereto and the nature and extent of the proposed work.

1.3 CONSENTS AND FEES:

Allow for giving all notice to local and other authorities, obtaining all necessary permits and paying all fees and charges.

1.4 INSURANCE:

The contractor shall insure the works in an approved Fire Office and such insurance shall cover the full value of the premises when completed. The contractor shall be held responsible for any damage or loss by fire to the works and such things as are covered by the "Policy" until the completion of the contract.

1.5 VARIATIONS:

No variation of any kind shall be made to the contract without direct instruction in writing from the employer. The price of any variations must be agreed to in writing before being proceeded with.

1.6 SAFETY PRECAUTIONS:

Allow for complying with all requirements of the New Zealand Building Code.

1.7 POWER SUPPLY:

The contractor will arrange for the Contractors Power Supply connection on site and arrange all necessary fees to be paid.

1.8 ATTENDANCE OF TRADES:

Make good after all trades. The Contractor shall leave all necessary holes, chases, sleeves, ducts etc. as required by subsequent trades.

1.9 SETTING OUT:

Any discrepancy between work as set out and the drawings must be reported to the designer before any work is carried out. The contractor is responsible for the accuracy of the setting out and shall provide all labour, instruments, steel tapes, lines, pegs, etc. as necessary.

1.10 DIMENSIONS:

Figured dimension drawings shall take preference to scaled dimensions and large scale drawings given preference to smaller. Unless expressly stated otherwise, dimensions shall be taken to define bare surfaces of concrete, timber frames and the like. All dimensions shall be verified on site before commencing any work.

1.11 MATERIALS AND WORKMANSHIP:

All materials shall be best of their respective kinds; qualities, classes and grades hereinafter specified and shall comply with the requirements of the New Zealand Building Code relevant New Zealand Standards.

1.12 REGULATIONS AND STANDARDS:

SEE CONDITIONS

Rec'd 12 FEB 2001

Sockburn Service Centre

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT

7AB
16 FEB 2001

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specification.

The whole of the work in all trades shall comply with in every respect the requirements of the local authorities and New Zealand Standards, Codes and Recommendations.

1.13 SCAFFOLDING:

Allow for the provision and erection of all external and internal scaffolding required, allowing free use of the same to all tradesmen engaged in the works, maintaining to the satisfaction of the authorities and removing at completion.

1.14 FINISHED WORK:

It should be clearly understood that a high standard of workmanship and finish is required throughout this contract. Should any trade consider that any surface finish or fitting for his own thereon, it shall be his responsibility to notify the contractor before anything further is done, and under no circumstances whatever shall such finishing work be proceeded with until the necessary improvements have been made. Failing such notification and correcting, the finish trade concerned will be held responsible for a poor finish due to such satisfactory conditions.

1.15 CLEARING SITE

The contractor shall allow in his tenders for the completion of the building in all respects. At completion, the site and the whole of the building shall be left completely free from rubbish and residue and ready for occupation.

2.0 EXCAVATOR

2.1 GENERAL

Refer to the General and Special Conditions of Contract and Preliminary Clauses which shall apply to all work in this section.

2.2 EXCAVATION

The area of the top of the site to be covered by the building shall be stripped of all top growth and vegetable matter. Excavate for all foundation pads, piles, slabs etc. as shown on the drawings.

Should soft clay, peat or filled ground be encountered on the site, an engineer shall be consulted for additional foundation details.

Before placing steel or pouring concrete, the excavations shall be cleaned and the bottoms dry and firm.

2.3 BACKFILLING:

Backfill around foundations with approved material and thoroughly consolidate. Remove all timber and other rubbish and loose material before backfilling.

2.4 REMOVAL OF SPOIL:

The excavator shall remove all surplus material away from the area of building. Stockpile on the site where directed by the owner.

3.0 CONCRETER

3.1 GENERAL:

All work shall comply with the NZS 1999. Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to all work in this section.

3.2 MATERIALS AND WORKMANSHIP:

The whole of the concrete work shall comply with the New Zealand Code and relevant New Zealand Standards.

3.3 CONCRETE STRENGTH:

The following strength shall be used unless specified otherwise on plans.

- A. Foundations, pads, piles, and stops 17.5 Mpa *20 M.P.A. IF EXPOSED AS PER N.Z.S. 3604.1999.*
- B. Filling of reinforced blockwork 17.5 Mpa

3.4 FORMWORK:

The formwork and falsework shall be constructed as specified in N.Z.S.9.3a. The formwork is to be constructed to provide a high standard of "fairface" finish.

3.5 REINFORCING:

The reinforcing steel shall comply with the following requirements.

- A. Mildsteel reinforcing <plain>, shall be grade 300.
- B. Mildsteel reinforcing <deformed>, shall be grade 300.

3.6 FLOOR SLAB:**A. Dampproofing:**

Lay "moistop" DPC over 6-10mm washed gravel.

B. Floorslab:

The concrete floor slab laid over the moistop and washed gravel shall be 100mm thick unless specified on the plans.

C. Floor Finish:

The slab shall be finished while still green. Any resulting ridges shall be trowelled off with a steel float. A high standard finish is expected. Allow to fill and finish with a steel float all pockets recesses chases etc. left for pipework and other trades.

D. Construction Joints:

Form construction joints using boxed construction joints in one direction and sawn 30mm depth in the other direction made not more than three days after concrete has been placed.

Saw cuts shall be filled with grout to prevent edges fretting. Reinforcing shall be continuous across all construction joints shall be at 4.000m² maximum.

3.7 CHASES ETC.:

Form all chases, pockets, flashing grooves etc. as are necessary for the complete and proper execution of the work.

3.8 EMBEDDED ITEMS:

Provide and build in all bolts, fixings, etc. necessary for the proper execution of the works. Co-operate with all other tradesmen and trades and build in all items required by them.

3.9 CONCRETE PILES:

Ordinary concrete piles to N.Z.S. 1999 shall for this project be precast concrete piles shall be formed insitu where indicated on drawings, reinforced and to depths in accordance with N.Z.S. 1999.

4.0 BRICKLAYER NZBC**4.1 PRELIMINARY AND GENERAL:**

All work will be carried out in accordance with the NZBC and the NZS 1999. Read and note any clauses under Preliminary and General of this specification where they apply to this trade.

4.2 MATERIALS AND WORKMANSHIP:

All materials and workmanship shall comply with the New Zealand Building Code and relevant chapters of New Zealand Standards. Only first class workmanship will be accepted.

- A. Bricks for external veneers and foundation walls shall be of the colour and type selected by the owner.
- B. Cement shall comply with the New Zealand Standards.

- C. Plasticisers shall be used in accordance with the manufacturers and no other additives are to be used in conjunction with these materials. On no account will further additions be made at the time of retempering mortar.
- D. Water shall be drinking quality.
- E. Sand for mortars shall be mercer No.1 sand and/or shall comply with the relevant clauses of New Zealand Standards.

4.3 PREPARATION OF MORTAR:

Mortar shall be prepared by mixing in an approved mixer. Measurement of materials shall be volume using suitable containers. Mortar shall be mixed until a homogenous mass is obtained but not for less than five minutes. All mortar whether on the boards or left in the mixer shall be used within 90 minutes.

4.4 BRICKLAYING:

Bricks shall be laid in stretcher bond true to line level and plumb and in accordance with the best trade practice. All joints will be completely filled with mortar and the bricks shall be disturbed as little as possible after initial positioning. Joints shall not be more than 0.5mm thick and shall be tooled as work proceeds. Construct brick veneer with approved ties at spacings in accordance with materials and workmanship to relevant New Zealand Standards. A cavity of not less than 40mm and not more than 75mm shall be maintained between building paper and veneer. Where necessary weep holes shall be left every third joint for the discharge of water. Keep the cavity and upstand clean, free from mortar protrusions and droppings. Keep pipes or electrical wire, junction boxes etc. out of the cavity. Build in the required number of subfloor vents to provide not less than 3500mm² of ventilation per 1.0m² of floor area. Thoroughly clean down the face of work on completion and leave free of mortar stains and efflorescence.

5.0 BLOCKLAYER NZBC

5.1 GENERAL:

All work shall be carried out in accordance with the NZBC. Refer to the general and special Conditions of Contract and Preliminary clauses which apply to all work in this section.

5.2 MATERIALS AND WORKMANSHIP:

All materials and workmanship shall comply with the New Zealand Building Code and relevant chapters of New Zealand Standards. Only first class workmanship will be accepted.

5.3 SCOPE:

The concrete blockwork includes the supply and laying of all blockwork shown on the drawings. The blocklayer shall provide all materials, equipment, plant and labour necessary to carry out the whole of the concrete blockwork.

5.4 BLOCKS:

Blocks shall comply with the requirements of New Zealand Standards. All exposed surfaces of blocks will be true and square. Damaged blocks will not be accepted.

5.5 MORTAR:

Mortar shall comply with the requirements of New Zealand Standards.

5.6 BOND:

Blocks shall be laid in stretcher or stack bond as shown on the drawings. All joints shall be full and struck to provide a fairfaced finish to both faces. Complete bond shall be secured between the blocks and the mortar. Ensure that the bond is not broken by making adjustments to blocks after mortar has taken a set.

5.7 BUILDING IN:

Build in bolts, fixings, pipes, joinery, fittings etc. as are required to be built in by other trades. The blocklayer shall cut all openings and chases to neat size required.

5.8 WEEP HOLES:

Provide weep holes in blockwork at least 50mm below all bottom plates and below finished ground floor level, and below intermediate floor level, at approximately 800mm intervals. Drill or rake out weep holes to base of mortar bedding so as not to entrap any rain that might enter the walls.

5.9 CLEANING:

On completion of laying, clean down blockwork, remove mortar from adjoining surfaces and floors and leave work completely clean. Remove all scaffolding mortar, debris, etc. from the site.

6.0 PLASTERER**6.1 PRELIMINARY AND GENERAL:**

Read and note all clauses under Preliminary and General of this Specification where they apply to this trade.

6.2 WORK INCLUDED:

The solid plastering of all front and back steps, terrace if shown and foundations.

6.3 MATERIALS:

Cement: shall be medium setting Portland Cement of approved manufacture.

Sand: shall be to New Zealand Standards for sands for mortars, plasters and external renderings.

Hydrated Lime: shall be mill hydrated of an approved brand.

Bonding Agents: if used shall be in accordance with makers instructions.

6.4 WORKMANSHIP:

All work to be best trade practice, and generally where plastering is required by drawing. It shall mean finishing to 12mm thickness with a mix of one part cement to three parts sand with 10% of hydrated lime added and finished to a straight and even surface with a wood float.

6.5 FOUNDATIONS:

Concrete foundation walls shall be prepared by removing projections making good any defects and finishing with a dash coat of 1 to 3 cement and sand applied to give a regular and satisfactory coverage.

6.6 STEPS AND TERRACE:

Plaster up in one operation. One coat 12mm thick to terraces and porch slabs, 12mm thick to verticals and sides etc. Wood float up then given light sweeps with steel float to remove blemishes.

6.7 COMPLETION AND CURING:

Leave all work complete and clear away all plaster droppings. Keep work damp and maintain all finishes to completion.

6.8 EXTERIOR PLASTER:

Such backgrounds and plaster shall be erected according to of N.Z.S.3604 1990, either rigid or non-rigid backings, and plastered according to relevant New Zealand Standard.

7.0 FIBROUS OR GIB. PLASTERER**7.1 PRELIMINARY AND GENERAL:**

Read all notes, all clauses under Preliminary and General of this Specification where they apply to this trade.

7.2 MATERIALS AND WORKMANSHIP:

All fibrous plaster or Gibraltar sheets and other products shall be manufactured and fixed, strictly in accordance with the relevant New Zealand Standard. The whole of the labour required for the erection, fixing, wadding and stopping shall be that of competent fibrous plaster tradesmen. Admixtures, release agents and stopping material shall not be of a deleterious nature nor used in quantities sufficient to impair the properties of the sheet when used with or without decoration.

7.3 FRAMING

All noggings, trimmings, straightening and packing of studs or joists, necessary for the fixing of fibrous or Gibraltar board products shall be provided and completed by the builder before the commencement of such work.

Timber framing shall comply with relevant New Zealand Standard and shall be pre-dried to the required equilibrium moisture content. The surface to which Fibrous or Gibraltar board is fixed must be clean, straight and dry.

8.0 METALWORKER

8.1 GENERAL:

Refer to the General and Special Conditions of Contract and Preliminary clauses which shall apply to the work of this section.

8.2 SCOPE:

Fabrication and supply of all steelwork as shown on the drawings. All steelwork shall comply with the New Zealand Building Code and relevant chapters of the New Zealand Standards.

8.3 GALVANISED M.S. ANGLE LINTELS:

Masonry veneer above windows and door openings shall be supported by galvanised M.S. Lintels. Angle lintel dimensions shall be calculated as set out in the following schedule:

Maximum width of opening	Lintel size		
1.5m	70x	70x	6mm
2m	100x	75x	8mm
2.4m	125x	75x	8mm
3m	150x	75x	10mm
3.6m	150x	90x	10mm
4.2m	200x	100x	10mm

M.S. Lintels shall have a maximum landing of 200mm on their supporting masonry unless stated otherwise on the drawings and to be provided with weep holes and be galvanised.

9.0 CARPENTER

9.1 GENERAL:

This specification is to be read in conjunction with the General Clauses, the Plans and General Conditions of Contract.

- A. All timber construction shall conform with the principles laid down in N.Z.S.3604 1990 and the New Zealand Building Code.
- B. All timber used shall conform to the relevant New Zealand Standard and be free from large loose or dead knots, wavy edges and other defects and must be fillet stacked on sit under weatherproof covers until used.
- C. All framing timbers are to be air seasoned not exceeding the required maximum moisture content.
- D. All dressing timbers are to be air seasoned or kiln dried not exceeding the required maximum moisture content.
- E. The sizes of all timbers are the nominal size drawn unless stated to be the finished size by the abbreviation EX.

- F. All framing timbers to be gauged or thickened where required to produce regular plane surfaces.
- G. All timbers described as Dressing grade are to be dressed and sanded smooth on all exposed faces.
- H. All external finishing timbers are to be primed or stained before fixing. (all surfaces)
- I. The Contractor shall supply all material plant and labour to complete the framing and finished carpentry.

9.2 LINTELS:

Calculate lintel sizes as set out in schedule included in this specification.

9.3 FRAMING:

All framings shall be generally 100 x 50mm as shown on the drawings.

Purlins, trusses, beams, joists etc. shall be shown on the drawings. Roof to pitch as indicated on plan and to detail and property checked, birds mouthed and well fixed in accordance with N.Z.S. 1999. Ceiling joists, ceiling runners, valley rafters, strutting beams and underpurlins to be sizes specified on the appropriate schedules included in N.Z.S. 1999.

Allow to frame up and finish whole of work as detailed. Allow to do all bracing, dawning, packing etc. for linings, finishings and fittings as drawn.

9.4 FASTENING AND FABRICATION:

- A. The contractor should especially note that all aspects of fastening and fabrication of timber framing members and wood based products on this contract shall accord with the following clauses of N.Z.S. 1999.
- B. Reference shall also be made to appendix A of N.Z.S. 1999 for the proper fixing of sheet lining and cladding materials for walls and ceilings that are not wood based especially where such materials are used as diaphragms and for wall bracing.
- C. Mild steel structural components used in sub-floor spaces, exposed to the weather or in position where condensation or dampness will occur shall be hot dipped galvanised after forming and shall provide the necessary "capacities" called for by N.Z.S. 1999 dependant on function and location.
- D. In all other cases, select and use connectors according to manufacturers literature conforming to N.Z.S. 1999 requirements.

9.5 INSULATION:

All roofs and floors are to be insulated in accordance with New Zealand Standard.

Walls – Insulate perimeter walls with 75mm thick fibreglass insulating batts.

Ceiling – Insulate ceiling of dwellings with 100mm thick fibreglass batts.

9.6 BUILDING PAPER:

Breather type building paper to be fixed to the outside faces of the exterior timber wall framing and fix horizontally with 150mm laps.

9.7 METER RECESS:

Provide recess for electrical Meter Board where directed to the satisfaction of the local Electric supply Authority.

9.8 ACCESS HATCH:

Provide access manhole to ceiling 500 x 500mm where directed.

9.9 FITTING JOINERY:

The Carpenter shall take delivery of all timber joinery fittings and frames and built in carefully, fitted up with necessary hardware.

9.10 HARDWARE:

Allow to supply and fit all hardware to include locks, doors furniture, cupboard doors and drawer handles.

10.0 ROOFER:**10.1 GENERAL:**

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to this section of the Contract. (See also plumber)

10.2 SCOPE OF WORK:

Supply and fix roofing materials necessary to complete the work as shown on the drawings.

10.3 WORKMANSHIP:

The roofing contract will be carried out by competent contractors and all work shall be done on strict accordance with the manufacturers specifications for each phase of the work and comply with the New Zealand Building Code and the relevant New Zealand Standard.

10.4 PREPARATORY WORK:

Provide all gutters, valleys and underflashings before cladding commences. Ensure all edges of roof cladding are adequately supported around projections such as pipes, ducting and roof lights.

11.0 JOINER**11.1 GENERAL:**

- A. To erect in a good and workmanlike manner incorporating the New Zealand Building Code N.Z.S. 1999. Refer to the General Conditions of Contract and the Preliminary Section of this specification, and the drawings for the scope and quality of this work.
- B. All timbers are to be the best of their classes, free from large loose or dead knots, wavy edges and other defects.
- C. All interior finishing timbers are to be dried and not exceeding the required maximum moisture content.
- D. All timbers described as Dressing Grade are to be dressed and sanded smooth on all faces.
- E. All joinery is to be accurately set out, properly machined and framed together, and finished to a clean, even and smooth surface, and free from cutter marks or other imperfections.
- F. The prices shall include for all work in providing and fixing joinery work complete.
- G. Before commencing any fabrication work, the joiner shall verify all sizes on the job, as measurements shown take no account for wall linings and other variations beyond the designers control.
- H. All timbers used in joinery shall be treated against borer attack.

11.2 EXTERIOR TIMBER JOINERY:

Fabricate exterior timber windows and door joinery as shown on the drawings. Check jambs and mullions into head and sills. Generally house member to the depth of the rebate.

11.3 INTERIOR DOOR FRAMES:

Fabricate grooved interior doorframes glued and nailed.

11.4 WARDROBE AND STORAGE CUPBOARDS:

Construct wardrobe and storage cupboards as shown on the drawings complete with customwood cupboard doors, shelves, cleats etc. for building in.

11.5 KITCHEN JOINERY UNITS:

Construct kitchen joinery units complete with doors, drawers, shelves and bench tops as shown on the drawings, to be standard where possible.

11.6 BATHROOM UNITS:

Construct vanity unit generally using customwood.
Vanity top shall be as selected by owner.

11.7 LAUNDRY UNITS:

Construct laundry joinery units as shown on the drawings. Laundry tub cabinet and storage cupboard unit shall be selected by owner.

12.0 PLUMBER NZBC B2 G12 TO AS1 G13 AS1/AS2

12.1 PRELIMINARY AND GENERAL:

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to this section of the Contract.

12.2 GENERAL:

All work and materials used to this part of the Contract shall be in accordance with the NZBC BCE1/AS1 (gutters and downpipes) G12AS1, G13AS2 relevant chapters of the New Zealand Standards. All work will be performed by registered Tradesman.

12.3 SCOPE:

The work shall consist of the supply of all plant, materials and labour for the completion of the installation of a rainwater catchment system, water reticulation and sanitary services, all flashings and cappings, valley gutters, vents, flues, ducts, etc.

12.4 SPOUTING:

The rainwater catchment system shall be complete with spouting, all overflows, downpipes, associated brackets, snow-straps and fastenings.

Use brass screws to fix downpipe brackets to walls. Downpipes shall connect directly into sumps without any cranks, offsets etc.

12.5 FLASHINGS:

All penetrations through the roof shall be flashed with lead. All sundry flashings shall be 0.6mm galv. Steel.

12.6 CYLINDER:

Allow to supply, install and connect to all services copper lagged and steel cased cylinder unless otherwise specified on the drawings. Form box for element and thermostat and install a tempering valve complying with N.Z.S.4617 to limit hot water temperature to 55 degrees Celsius.

12.7 WASTES:

Where waste and vent pipes are to be installed with all work carried out in strict accordance with the manufacturers instructions for working and using the material. Great care will be taken to ensure that they are adequately supported where they run horizontally.

12.8 PIPES AND PIPEWORK:

Supply and run 25mm PVC pipe supply line from main street mains. Cold water reticular within dwelling to be run in. PVC installed in strict accordance with the manufacturers instructions for working and using the materials. Hot water reticulation within the dwelling to be run in copper, All pipes to be concealed in the walls or under the floor.

12.9 TAPS AND FAUCETS AND VALVES:

Consult with owner on choice of brands and fixing of all taps, faucets and mixing valves.

13.0 DRAINLAYER NZBC

13.1 GENERAL:

The whole of the drainage work shall be carried out in accordance with the NZS BC B2 E1 to AS1 G13 AS1/AS2, the By-laws of the Local Authority and to the satisfaction of its inspectors, and shall be paid for out of the PC sum shown. Additional cost over the amount shall be paid for by the owner.

13.2 EXTENT OF WORK:

Work in this section of the contract comprises all surface and foul water drainage up to above ground level to connect to plumbers work. Include all pipes and fittings, construction of manholes, all gully traps and connection for terminal vents, soil and waste pipes. The Drainlayer shall confer with the Contractor before the foundations are laid to fix the exact position of all connections of wastes and drains.

13.3 STANDARD OF WORK:

The whole of the work shall be carried out by experienced Tradesman to the satisfactions and shall conform to the requirements of the New Zealand Building Code and relevant chapters of the New Zealand Standard. Obtain all permits, service all notices and pay all fees required and arrange for all tests.

13.4 MATERIALS:

All materials shall be the best of their respective kinds.

13.5 CONNECTION TO EXISTING DRAINAGE:

The Drainlayer is responsible for verifying the depth of the connection and commence laying his drains from this point.

13.6 DRAIN TRENCHES:

The excavation of trenches for drains shall be accurately made with base clean and true so that no unnecessary filling is required.

13.7 FITTINGS:

The plan shows the layout of the system. Additional fittings that are normally required such as inspection points and inspection bends, etc that may be required but are not specifically shown must be allowed for by the drainlayer to comply with New Zealand Building Code.

13.8 SEWER AND STORMWATER CONNECTIONS:

Arrange for the connection of drains to sewer and stormwater where provided and pay all charges in connection therewith.

13.9 COMPLETION:

Properly backfill all trenches, consolidate as filling proceeds and leave area in a tidy state.

14.0 ELECTRICIAN

14.1 GENERAL:

Refer to the General and Special Conditions of Contract and Preliminary Clauses which shall apply to all work in this section.

14.2 PREAMBLE:

All electrical work to be carried out in accordance with the New Zealand Building Code and the relevant New Zealand Standards.

14.3 SCOPE OF WORK:

The electrical contract consists of the supply of all materials, plant and labour for the complete light and power system.

14.4 TRENCHES:

600mm minimum depth trench to be dug for mains. After mains have been laid, back fill and consolidate trenches.

14.5 MAIN SUPPLY:

Arrange with the power board, allow for and pay all fees for the connection of all underground or overhead supply to the residence.

14.6 METER BOX:

Supply and fit galvanised steel meter box with hinged door in position as shown on the drawings.

14.7 SWITCHBOARD:

Electrician shall fabricate a switchboard panel complete with all necessary circuit breakers, transformers etc.

14.8 SWITCHES:

PDL Series 500.

14.9 SOCKET OUTLETS:

PDL Series 500

14.10 LIGHT FITTINGS:

Wire for, supply, install and connect to services 60 watt light bulbs and batten holders to light points shown on drawings.

14.11 WATER HEATING ELEMENTS:

Allow to supply, wire for and install the water heating element and thermostat in hot water cylinder complete with remote control switch. Water heating cylinder supplied and installed by plumber.

15.0 PAINTER

15.1 PRELIMINARY AND GENERAL:

Refer to the General and Special Conditions of Contract and Preliminary Clauses which apply to work in this section.

15.2 GENERAL

- A. The prices for all painting are to include for preliminary labours – dusting, brushing, cleaning off, rubbing down, washing – preparatory to each coat, leaving the paintwork etc. clean and perfect at completion.
- B. All hardware, furniture, bolts, fittings, etc. shall be removed prior to painting and refitting on completion.
- C. Adequate precautions must be taken during and after painting operations to protect all work from dust, dirt, or any other disfigurement and provision must also be made against paints and stains making floors or other work. Any such marks or splashes must be removed or masked out to the satisfaction of the owner.
- D. The prices are to allow for colour variations from room to room and within each room.

15.3 MATERIALS AND WORKMANSHIP:

- A. All painting materials described in this specification to be approved paints in accordance with the New Zealand Building Code and the relevant New Zealand Standard.

- B. All paints shall be thoroughly mixed or stirred before use. They shall also be stored as to minimise exposure to extremes of temperature.
- C. Thinning of paint materials when necessary, shall be carried out with the type of thinner and proportions recommended by the Manufacturer of the paint.
- D. All primers shall be applied by brush, subsequent coats may be applied by brush, spray or roller.
- E. Each coat of paint shall be allowed to dry before the next is applied.
- F. No paint shall be applied to surfaces structurally or superficially damp and all surfaces must be free from condensation, dirt, etc. before the application of each coat.
- G. Primed or undercoated woodwork and metalwork shall not be left for an undue period before completing the painting process
- H. No exterior or exposed painting shall be carried out in adverse weather conditions, such as extremes of temperature or during rain, fog, etc.
- I. All colours and finishes are to be those selected by the owner in consultation with the painter.
- J. All work shall be carried out in accordance with the good trade practice and all work shall comply with the New Zealand Building Code and relevant New Zealand Standard. Before commencing to paint any surface the painter will draw the Owner's or Agent's attention to marked defects which will prevent him from producing a satisfactory finish. It is to be clearly understood by the painter that it is his responsibility to see that all surfaces to be painted are thoroughly cleaned down. All timber surfaces should be lightly sanded. After Completion of each undercoat, necessary sanding of the surfaces will be done before applying succeeding coats of paint. Stop all nail holes and cracks under the first coat.

15.4 PAPERING:

Before hanging any paper apply one good coat of size.

15.5 STAINING:

Painter shall provide owner with a standard sample prior to commencing any staining to ensure the desired colour is achieved.

15.6 VARNISHING:

Where varnishing is required such as doors, architrave's and skirting give one coat of approved P.V.A. sealer followed by two coats of clear varnish finishing egg-shell gloss lightly sanding between coats.

16.0 GLAZIER

16.1 GENERAL:

Refer to the General and Special Conditions of contract and Preliminary Clauses which shall apply to work in this section.

16.2 SCOPE:

The Glazing Contractor shall apply all labour, plant and materials necessary to complete glazing work as shown on the drawings.

16.3 WORKMANSHIP AND MATERIALS

All work and materials shall be in accordance with the New Zealand Building Code and the relevant New Zealand Standard.

17.0 TELEPHONE

The connection of the telephone is not part of this contract. It is the owners responsibility to make all representations with Telecom and get the home pre-wired prior to the exterior veneer or sheathing being put in place.

OWNERS SIGNATURE : DATE :

OWNERS SIGNATURE : DATE :

STONEWOOD HOMES
ACCEPTANCE: DATE :

The New Zealand Standards and the New Zealand Building Code shall overrule any standards as set out in this preliminary

**THE NEW ZEALAND BUILDING CODE AND NEW ZEALAND STANDARDS MUST
BE ADHERED TO**

ESTIMATE OF CONSTRUCTION INSPECTIONS:PROJECT NO: 10011228


CONSENT FORM 7

DESCRIPTION OF CONSENT: DWELLING & GARAGESITE ADDRESS: 28 AYLHAM LANE

MANDATORY NOTICE INSPECTIONS		No	Notes
M1	Excavation/Foundation/Reinforcing	1	
M1A	Sub-Floor Drainage		
M2	Slab on Grade/DPC	1	
M3	Frame Construction Sub-Floor		
M4A	Pre-lining/including Plumbing	1	
M4B	Plumbing		
M5	Fire Resistant Linings		
M6	Drains	1	
M7	Pre-Stopping/Bracing	1	
M8	Final	1	
HH	Half High Brick Inspection	1	
SUPPLEMENTARY INSPECTIONS			
S1	Concrete Construction		
S2	Blockwork Construction		
S3	Steel Construction		
S4	Timber Construction		
S5	Solid Plaster		Condition 51
S6	Brick Shelf Angle		Condition 52
S7	Fire Safety Systems		
AUDIT INSPECTIONS			
A1	Concrete Construction		
A2	Blockwork Construction		
A3	Steel Construction		
A4	Timber Construction		
A5			
A6			
A7			
SUB TOTALS			
RECTIFICATION INSPECTIONS			
R1			
R2			
R3			
R4			
COMPLETED BY SBI'S		TOTALS	7 360-50

NOTES FOR FIELD INSPECTION TEAM:

10011228

 CHRISTCHURCH <small>CITY COUNCIL - ENVIRONMENT</small>	CHRISTCHURCH CITY COUNCIL APPLICATION FOR BUILDING CONSENT	FORM: BA3 PROJECT NO: 10011228
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PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)

Has a Project Information Memorandum been issued for this project? ☒ No ☐ Yes ⇒ Project No.: _____

APPLICATION DETAILS [_____]	PROJECT DETAILS [_____]
<ul style="list-style-type: none"> OWNER (as defined by the Building Act 1991) Full Name(s): <u>Berry, Val Cragh</u> <u>55 Sarabande Ave</u> Street Address: _____ Mailing Address: _____ Phone: <u>352 9 574</u> Fax: _____ 	<ul style="list-style-type: none"> LOCATION Street Address: <u>28 Aybham Lane</u> Lot: <u>170</u> DP: <u>83050</u> Other: _____
<ul style="list-style-type: none"> APPLICANT (Must be authorised by the owner to make this application) Name: <u>Dave Bosch</u> Company: <u>Stonewall Homes</u> Mailing Address: <u>PO Box 20278 CCHM</u> Street Address: <u>204 Main North Rd</u> Phone: <u>354 2344</u> Fax: <u>354 2342</u> 	<ul style="list-style-type: none"> DESCRIPTION OF WORK: <u>New</u> <u>Drainage with attached</u> <u>Garage</u>
Estimated Value of proposed work (inclusive of GST): \$ <u>153-000-00</u>	<ul style="list-style-type: none"> INTENDED USE: <u>Residential</u>
Building Consent to be uplifted from: <input checked="" type="checkbox"/> <u>Seckburn</u> Service Centre <input type="checkbox"/> If prepaid post to Owner / Applicant (delete one)	<ul style="list-style-type: none"> Will the building undergo a change of use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> Water Supply Is a new supply required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance from LH / RH boundary (looking from street) <u>200</u> metres Nominate street if a corner site: _____ 	<ul style="list-style-type: none"> Intended Life if less than 50 years: _____ years Being stage <u>1</u> of an intended <u>1</u> stages
<ul style="list-style-type: none"> FLOOR AREA Ground Floor: Existing _____ m² Add <u>208</u> m² Other Floor: Existing _____ m² Add _____ m² Accessory Building Area: Existing _____ m² Add _____ m² 	<ul style="list-style-type: none"> Planning - Site Coverage Total area of all buildings over foundation at ground level. Existing _____ m² Proposed <u>208</u> m²
<ul style="list-style-type: none"> Road Opening / Footpath Opening Is an opening required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select type of service: <u>Sewer / Stormwater</u> 	<ul style="list-style-type: none"> Vehicle Crossing (in relation to this Building Consent) Is a vehicle crossing required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Select: New / Extension / Residential / Commercial

SECTION 1

FOR COUNCIL USE ONLY

Prepaid Fee: \$ _____
 Receipt No: _____
 Receiving Officer's Name: M Pottinger
 Date Received: 12/2/01

DRAINAGE INFORMATION

Block Plan ☐ Full PIM ☒ N/A ☐
 Date Requested 12/2/01

HAZARDS: _____

Have you provided the following information?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)			
• Certificate of Title: Recent search copy of (less than 6 months old)			
• Plans & specification of an acceptable standard			
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)			
• Recession planes (including to internal boundaries) indicated			
• Site levels relating to top of roadside kerb, and finished floor level indicated			
• Hill sites: indicate contours, drive gradients and building heights			
• Site boundaries nominated			
• Shared access ways/other areas			
• Foulwater drains			
• Stormwater drains			
• Stormwater discharge for hardstanding areas detailed to an approved outfall			
• Water Service Details			
• Vehicle crossing position indicated on site plan			
• Vehicle access manoeuvre and parking area indicated			
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access			
• Site area per unit indicated			
• Site coverage: % details			
• Living and service courts indicated			
• Landscaped area indicated and planting plan produced			
• Demolition Details			
• Swimming pool: design, fence and discharge			
• Backflow prevention			
• Waterway setbacks indicated			
• Notable and protected site trees indicated			
• Heritage site or building affected?			
• Resource Consent Application			
• Development Application			
• Subdivision details			

SECTION 3	Yes	No	N/A
• Structural drawings			
• Foundation design and report on ground conditions			
• Blockwork: design including foundations			
• Retaining walls: design heights, position, sub soil drainage and safety barriers			
• Fire partitions: dividing walls, common walls			
• Window positions & opening windows indicated			
• Safety glass provisions specified			
• Thermal insulation and R value indicated			
• Sound insulation indicated			
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details			
• Solid fuel heater: make, model and location			
• Accurate layout & details of plumbing systems			
• Alternative Solutions details			
• Access and facilities for people with disabilities			
• Access Route Details			
• Dangerous goods: storage and sign details			
• Gas bottle: storage location and capacity if over 10kg			
• Soakpit, septic tank and pumping station design details.			
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved			
• Specifications in duplicate			
• Pegging certificate for two or more units on site			
• Bracing calculations and layout			
• Roof truss design statement and layout			
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229			
• BA20 form (Producer Statement information)			
• Fire Safety Summary or Fire Design Statement			
• Compliance Schedule details			

WALKER : RODGER

Barristers and Solicitors

CONFIRMATION OF FAX

ADDRESSEE:**STONEWOOD HOMES****ATTN: DAVE****FACSIMILE NO:****354 2342****RE:****CREAGH****NO. OF PAGES (INCLUDING THIS PAGE):****THREE****DATE SENT:****7/2/01****OUR REFERENCE:****MARIE FOR MICHAEL WALKER****COMMENTS:*****COPY CERTIFICATE OF TITLE AS REQUESTED******MARIE***

If all pages are not received, please advise.

If this transmission is illegible in any way, please contact us by telephone (03) 365 7930 or fax (03) 365 7982, Christchurch. Postal Address - P O Box 13 553. Street Address - 242 Manchester Street, Christchurch

CAUTION: The information in this message and attached papers is confidential and may also be legally privileged. If received by other than the intended recipient, notice is given that any use, dissemination, or reproduction is prohibited. If received in error, please notify us immediately and destroy the message and attached papers. Thank you for your assistance.

Michael C. Walker LL.B.
Andrea N. Rodger LL.B.

242 Manchester Street, PO Box 13553, DX WP 21002, Christchurch.
Telephone (03) 365-7930 Fax (03) 365-7982 e-mail walkrod@ihug.co.nz

Also at Akaroa

COPY

**CERTIFICATE OF TITLE
UNDER LAND TRANSFER ACT 1952**

R. W. Muir
Registrar-General
of Land

Identifier **CB48A/191**
Land Registration District **Canterbury**
Date Issued **16 November 2000**

Prior References
CB47B/399

Estate	Fee Simple
Area	724 square metres more or less
Legal Description	Lot 170 Deposited Plan 83050

Proprietors
Barry Edward Creagh and Valerie Elaine Creagh

Interests

A481638.11 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 16.11.2000 at 12.40 pm
Fencing Covenant in Transfer A481638.17 - 16.11.2000 at 12.40 pm
Land Covenant in Transfer A481638.17 - 16.11.2000 at 12.40 pm
Fencing Covenant in Transfer 5014729.1 - 13.12.2000 at 11:22 am

CB48A/191

TERMINAL AUTHORITY Christchurch City
Surrey by Davis, Lovell-Smith Limited
Iss'd 1:600 Dtd May 2000

Approved as to Summary
H. J. [illegible]
Deposited N.Y. 16th [illegible]
[illegible] for Registrar-General of Land
[illegible]
DP83050

DP83050

Diagram W
Not in North

کتابخانه

CONVING

4574

BARNES ROAD

Diagram W
Not in North

12. FEB. 2001 16:53 RECEIVED TIME 12. FEB. 2001 16:53



CHRISTCHURCH CITY COUNCIL

DOCUMENT TRANSFER

Date 12/2/01From: SOCKBURN SERVICE CENTRE

Issued to: BUILDING CONSENTS
FENDALTON SERVICE CENTRE
LINWOOD SERVICE CENTRE
CITY SERVICE CENTRE



DOCUMENT DESCRIPTION	COPIES
1011228 28 Aylsham Lane	
Lot 170 of 83050	
soil + ground: Peat - found in subdivision	
see attachment	
Reply to Steve Corrington	

Reasons for Transfer:

HAZARD INFORMATION / PROTECTED TREES / SUB-DIVISION
CONSENTS REQUEST

Form 101 (1) is applicable box

Status:



Main



Consent



Other



Computer Generated

Comments:

1 64 3 3722473





CHRISTCHURCH

CITY COUNCIL · ENVIRONMENT

RESOURCE MANAGEMENT ACT 1991/BUILDING ACT 1991

HAZARDS OR SPECIAL SITE CHARACTERISTICS

LOCATION: Aylsham Lane NUMBER: 28

LEGAL DESCRIPTION: LOT: 170 D.P: 83050 WARD: Papanui

ALTERNATIVE ADDRESS:

DATE RECORDED: 21-11-2000 SEVERITY: 2 ACCURACY: A

RECORDED BY: Leo O'Loughlin COMPUTER ENTRY: MAP ENTRY: 21-11-2000

DETAILS: The locality is known to have suspect ground conditions (Soft ground : Peat found in this subdivision.)

All building consents complying with NZ Building Code will need to be accompanied by a report in respect of specific foundation design by an experienced Registered Engineer

BUILDING PERMIT/CONSENT:

LOCATION OF INFORMATION: Civic Office Property File:

SOURCE OF INFORMATION: Subdivision File : PAP / 99 / 935 . FILE NO: DATE:

..... FILE NO: DATE:

Consent Notice Pursuant to Section 221 Resource Management Act 1991 FILE NO: ..DATE: 19-10-2000

DATE RECORDED: SEVERITY: ACCURACY:

RECORDED BY: Leo O'Loughlin COMPUTER ENTRY: MAP ENTRY:

DETAILS:

.....

BUILDING PERMIT/CONSENT:

LOCATION OF INFORMATION: Civic Office Property File:

SOURCE OF INFORMATION: FILE NO: DATE:

..... FILE NO: DATE:

DATE RECORDED: SEVERITY: ACCURACY:

RECORDED BY: Leo O'Loughlin COMPUTER ENTRY: MAP ENTRY:

DETAILS:

.....

BUILDING PERMIT/CONSENT:

LOCATION OF INFORMATION: Civic Office Property File:

SOURCE OF INFORMATION: FILE NO: DATE:

..... FILE NO: DATE:

KEY Severity ☐ 1 Low ☐ 2 Moderate ☐ 3 Extreme ☐ 4 Unknown

 Accuracy ☐ A Confirmed ☐ B Unconfirmed ☐ C Personal Observation



CHRISTCHURCH CITY COUNCIL

DOCUMENT TRANSFER

Date: 12/2/01

From: SOCKBURN SERVICE CENTRE

Issued to: **BUILDING CONSENTS**
FENDALTON SERVICE CENTRE
LINWOOD SERVICE CENTRE
CITY SERVICE CENTRE

☐
☒
☐
☐
☐

DOCUMENT DESCRIPTION	COPIES
1011228 28 Aylsham Lane	
Lot 170 of 83050	
soil + ground: Peat, found in subdivision	
see attached	
Reply to Steve Corrington	

Reasons for Transfer:

HAZARD INFORMATION / PROTECTED TREES / SUB-DIVISION
CONSENTS REQUESTED

Please tick (x) in applicable box

☐ Mail ☐ Courier ☒ faxed
☐ Computer Generated

Copies to: _____



Eliot Sinclair & Partners Limited

Consulting Surveyors • Consulting Engineers

Our Ref: 200328

1 November 2000

Mr B. Craegh
55 Sarabande Avenue
CHRISTCHURCH 5

Dear Mr Craegh

Re: Foundation Requirements for Lot 170 - Aylsham Lane, Christchurch

Further to our recent telephone conversation, we write to confirm likely foundation requirements for a house on the above section.

Soil testing, comprising hand auger and penetrometer tests, was carried out on 24 October 2000 as set out on the attached Site Investigation Record.

The testing and Council records indicate that the soil profile consists of 700 to 800mm of generally firm filling over most of the site with a deep topsoil layer of about 600mm thickness over the front third of the lot. Beneath the fill or topsoil layer moderately firm silt and sand layers extend to gravel at about 2.1-2.6m depth where the testing was terminated. The test results are consistent with information obtained on other nearby lots.

For all types of timber framed housing on a concrete floor slab, we recommend that where the deep topsoil layer exists, the perimeter foundation and any points of concentrated loading are supported on concrete pads excavated through the topsoil layer to about 700mm below ground level. Where filling has replaced the deep topsoil then standard foundations should be adequate. The size and spacing of the pads will need to be determined by us after design of the house and confirmed after excavation of the perimeter foundation.

We expect that the cost of the additional foundation work, over and above the cost of a 'standard' foundation, will be in the order of \$500 including G.S.T. In addition, our costs for investigation, reporting for Building Consent purposes and during construction will total approximately \$650 including G.S.T. We will probably need to carry out two inspections during construction.

Please feel free to call me if you have any queries at all. Otherwise, we will await your preliminary building plans before proceeding with documentation for Building Consent purposes.

Yours faithfully

John Brouard
ELIOT SINCLAIR & PARTNERS LTD.

Encl.
jdcb:li

Land Surveyors
Civil & Structural Engineers
Land Development Consultants
Hydrographic and
Photogrammetric Surveyors
Advanced Computer Applications
in Surveying and Engineering

Level 5
151 Kilmore Street
PO Box 4597
Christchurch, New Zealand
Telephone (03) 379-4014
Fax (03) 365-2449
Email esp@eliotsin.co.nz



Directors:

Marton D. Sinclair B.E. B.Sc. M.I.P.E.N.Z. M.N.Z.I.S. M.P.L.E.I.N.Z. Reg. Eng. Reg. Surv.
Bruce E. Sinclair B.Sc. M.N.Z.I.S. M.P.L.E.I.N.Z. Reg. Surv.
Maurice W. Perwick Dip. Surv. M.N.Z.I.S. Reg. Surv.
Mark A. Allan B. Surv. N.Z.C.I.S. M.N.Z.I.S. Reg. Surv.
John des C. Brouard B.E. M.I.P.E.N.Z. Reg. Eng.

Associates:

Sylvia M. Butters B. Surv. M.N.Z.I.S. Reg. Surv.
Roy E. Garside Dip. Surv. M.N.Z.I.S. Reg. Surv.
Warren J. Haynes B. Surv. M.N.Z.I.S. Reg. Surv.
Ken G. Burrows N.Z.C.D. A.N.Z.I.S.
Richard H.J. Wilson B.E. M.I.P.E.N.Z. Reg. Eng.



**Eliot Sinclair
& Partners Limited**
Consulting Surveyors • Consulting Engineers

Level 5, 151 Kilmore Street, Christchurch
PO Box 4597, Christchurch N.Z.
Ph. (03) 379-4014 Fax. (03) 365-2449

Job Number
200328

Date Tested
24/10/00

Page 1 of 2

SITE INVESTIGATION RECORD

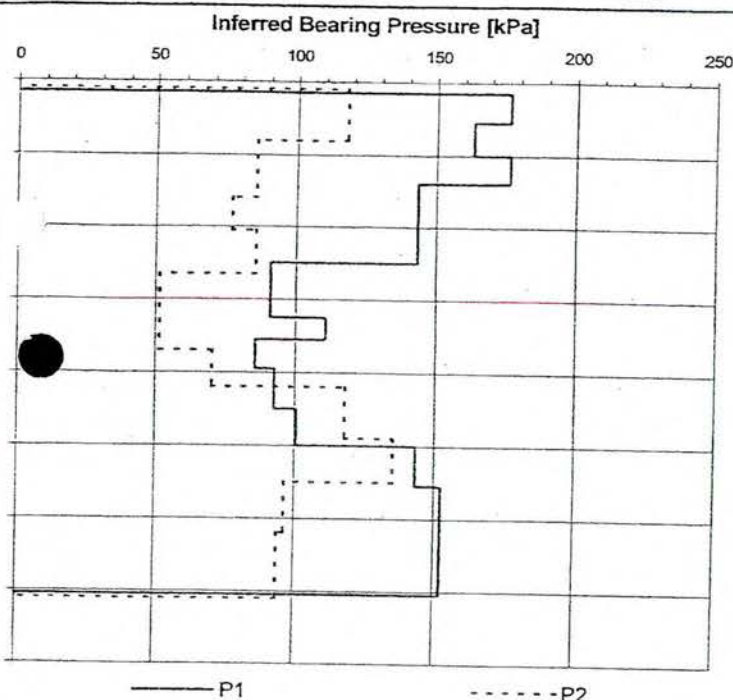
Client
Mr Barry Craegh

Site
Aylsham Lane, Regents Park, Chch

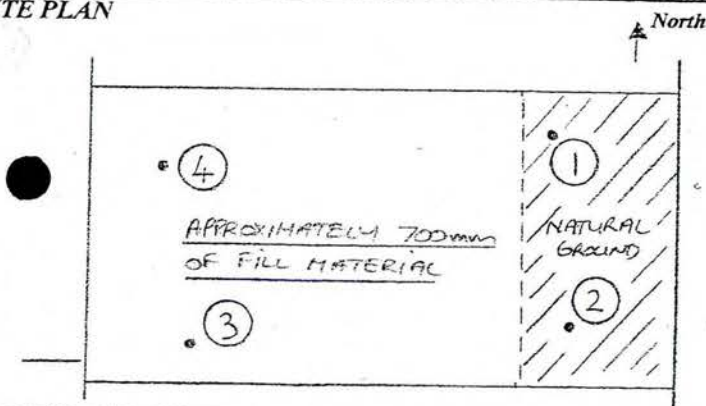
D.P.
Lot **170**

Project No.

SCALA PENETROMETER TESTS



SITE PLAN



COMMENTS

DEPTH

[m]

GL

0.2

0.4

0.6

0.8

1.0

1.2

1.4

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2.0

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3.0

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4.0

BORE LOGS

Hand
Auger

☒

Machine
Auger

☐

Test
Pit

☐

GL

0.2

0.4

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0.8

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Job Number
200328

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24/10/00

Page 2 of 2

D.P.
Lot 170

Project No.

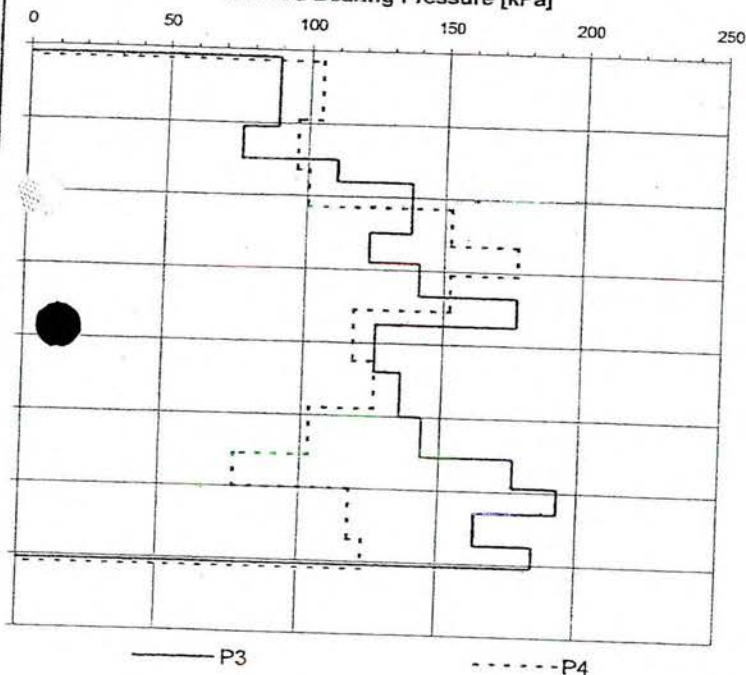
SITE INVESTIGATION RECORD

Client
Mr Barry Craegh

Site
Aylsham Lane, Regents Park, Chch

SCALA PENETROMETER TESTS

Inferred Bearing Pressure [kPa]



BORE LOGS

DEPTH

[m]

Hand
Auger



Machine
Auger



Test
Pit



GL

0.2

0.4

0.6

0.8

1.0

1.2

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3.2

3.4

3.6

3.8

4.0

TOPSOIL FILL

LIGHT BROWN FINE
SANDY SILT FILL
WITH TRACES
OF GRAVEL

LIGHT BROWN
NATURAL MOTTLED
SILT

LIGHT BROWN
FINE SANDY SILT

LIGHT BROWN MOTTLED
SILT

BLUISH GREY SILTY
FINE SAND

LIGHT GREY
WET SAND

BLUISH GREY
MOTTLED FINE SANDY
SILT WITH TRACES
OF ROOTS

BLUISH GREY WET SAND

SANDY GRAVEL

2600 STOP

SITE PLAN

North

See page 1 of 2

COMMENTS

Registered Engineer

Date:

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? ☐ Yes ☒ No

If yes briefly describe your proposed programme: _____

- Estimated start date: ASP (please note building work must be started within 6 months of Consent issue date)

- Estimated finish date: _____

- Is a registered engineer involved?

For design ☐ Yes ☒ No

For Inspection ☐ Yes ☒ No

- Is a Producer Statement to be offered?

Producer Statement: Design ☐ Yes ☒ No

Producer Statement: Inspection ☐ Yes ☒ No

- Is a registered master builder involved in the project? ☐ Yes ☒ No

Steven M. M. M. Name (optional)

SECTION 4

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

EXTG NEW

- | | | |
|---|--------------------------|--------------------------|
| (a) Automatic sprinkler systems or other systems of automatic fire protection | <input type="checkbox"/> | <input type="checkbox"/> |
| (b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire | <input type="checkbox"/> | <input type="checkbox"/> |
| (c) Emergency warning systems for fire or other dangers | <input type="checkbox"/> | <input type="checkbox"/> |
| (d) Emergency lighting systems | <input type="checkbox"/> | <input type="checkbox"/> |
| (e) Escape route pressurisation systems | <input type="checkbox"/> | <input type="checkbox"/> |
| (f) Riser mains for fire service use | <input type="checkbox"/> | <input type="checkbox"/> |
| (g) Any automatic backflow preventer connected to a potable water supply | <input type="checkbox"/> | <input type="checkbox"/> |
| (h) Lifts, escalators, or travelators or other similar systems | <input type="checkbox"/> | <input type="checkbox"/> |
| (i) Mechanical ventilation or air conditioning system serving all or a major part of the building | <input type="checkbox"/> | <input type="checkbox"/> |
| (j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code | <input type="checkbox"/> | <input type="checkbox"/> |
| (k) Building maintenance units for providing access to the exterior and interior walls of buildings | <input type="checkbox"/> | <input type="checkbox"/> |
| (l) Such signs as are required by the building code in respect of the above mentioned systems | <input type="checkbox"/> | <input type="checkbox"/> |
| NONE OF THE ABOVE | | <input type="checkbox"/> |

SECTION 5

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

EXTG NEW

- | | | |
|---|--------------------------|--------------------------|
| (m) Means of escape from fire | <input type="checkbox"/> | <input type="checkbox"/> |
| (n) Safety barriers | <input type="checkbox"/> | <input type="checkbox"/> |
| (o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 47a of the Building Act 1991 | <input type="checkbox"/> | <input type="checkbox"/> |
| (p) Handheld hoses for fire fighting | <input type="checkbox"/> | <input type="checkbox"/> |
| (q) Such signs as are required by the building code or section 47a of the Building Act 1991 | <input type="checkbox"/> | <input type="checkbox"/> |

SECTION 5A

SECTION 6

☐ **Builder's Name:** Stenwood Homes **Phone:** 3542344
Address: PO Box 20278 CMC **Fax:** 3542344

☐ **Building Certifier's Name:** CCC **Phone:** _____
Address: _____ **Fax:** _____

☐ **Plumber's Name:** MM Plumbing **Phone:** 3719446
Address: Unit 2 405 Coleridge Street **Fax:** _____

☐ **Drainlayer's Name:** MM Plumbing **Phone:** _____
Address: Box 16133 **Fax:** _____

☐ **Engineer's Name:** Eliot Sinclair **Phone:** 3794014
Address: PO Box 4597 CMC **Fax:** 3652449

☐ **Designer's Name:** Stenwood Homes **Phone:** _____
Address: _____ **Fax:** _____

	YES / NO / NA		YES / NO / NA		YES / NO / NA
Have you fully completed:	Section 1 <input checked="" type="checkbox"/>	Section 4 <input checked="" type="checkbox"/>	Section 6 <input checked="" type="checkbox"/>		
	Section 2 <input checked="" type="checkbox"/>	Section 5 <input checked="" type="checkbox"/>	Section 7 <input checked="" type="checkbox"/>		
	Section 3 <input checked="" type="checkbox"/>	Section 5A <input checked="" type="checkbox"/>			

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- **Building Consent Fees**
 The charges incurred by the Council in processing this application are payable whether or not the project proceeds. Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION

Print Name: Dave Bosch **Date:** 7 Feb

Signature: _____

SIGNED BY or FOR AND ON BEHALF OF THE OWNER

Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 371 1995 Fax 371 1792	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372 2639	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372 2539
---	--	--

Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO 29183 Telephone 351 7109 Fax 372 2748	Papanui Service Centre Cnr Langdons Rd & Restell St PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
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All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

SECTION 7

CONSENT PROCESSING CHECK SHEET – HOUSING

RFI No.

	Section 35: Resource Consent	-
100	36: Land Subject to erosion, etc C1	-
101	2+ Allotments: Sect37 / Amalgamation C53 C54	-
109, 110	PIM Problems Resolved / Not available	-
111	Value	✓
112	CT	✓
114	Subdivision Conditions Certificate issued	✓
	Reserve / Development Fee	-
115	Pegging Certificate (2+ Units on 1 title)	-
501/117	Producer Statements C2, 4	-
116/118	Producer Statement Scope	-
502	Inspection Procedures	✓
503/504	Engineer signed set drawings / Confirmation	-
104	Structural check of existing building	-
	Hill Site / Retaining walls / Hazards <i>1. A. Sprayed</i>	-
120	Demolition C22	-
121/122	Specifications / Plans	✓
123/124	Site Plan to scale / Internal boundary positions	✓
125/126	Site levels kerb / Site levels datum <i>AS SubDiv</i>	✓
127	Flood prone site MIN FFL.....	-
128	Floor Levels: Masonry 150 (FGL) 100 (Paving)	✓
	Other 225 (FGL) 150 (Paving)	-
505	Foundations: Soils OK / Request Report <i>C49</i>	✓
	Copy Report to Hazard File	✓
132	Wall and footing size / Reinf C24	✓
133	Post foundations 3604 section 9	✓
	Slab: Ties/DPC/Mesh/Joints	✓
135	Tanking: Wall DPC: Top edge sealing	-
136	Blockwork: Steel & foundations 4229	-
	Subfloor: Ventilation 3604 section 6.14	-
138	Part. board clearance-550 mm	-
	Pile footings / Piles	-
141/143	Subfloor bracing / Member sizes	-
	Add. protection for Fixings if <600 above GL or if vents >0.7 m2 / 100 m2	-
	Durability:	✓
	Zone 1 exposed Bolts – Galv + Add protection	✓
	Steel plates – Galv.+ paint	✓
	Conc founds - 20 MPa <i>A</i>	✓
	Seaspray Zone Steel fixings - SS	-
	Brick veneer ties & lintels - SS	-
	Conc founds - 25 MPa	-
	Timber Species & Treatment / Window reveals	✓
-/142/143	Walls: Sizes: Lintels / Beams / Studs	✓
144	Cantilevers: Joists / Lintels	-
145/146	Offset Loadbearing Walls / 1st floor joists	-
147/-	Roof: Truss Design & Layout / Rafters <i>C10</i>	✓
148	High Point Loads on Lintels 3604 C 8.6.1.4	✓
	H3 ply to unventilated skillion roofs	-
150	Bracing –Wind zone	✓
	Dragon Ties/Ceiling Diaphragms	✓

151	Insulation: Floor/Wall/Clg	✓
	Energy Efficiency H1	✓
152	Sound Insulation G6 / City Plan Noise	-
153/154	Claddings - Brick <i>C52</i>	✓
156	- Plaster systems, Cert / Type C50	-
158	- Solid plaster C51	-
	- Other	-
160	Window / cladding flashings / Sealants	✓
161/-	Roofing type & pitch	✓
162	Internal Gutters: Size and overflows	-
163	Snow boards E2.3.1 > 30m above sea level	-
164	Downpipes E1/AS1/Table 5	✓
301	Fire Codes - SR - Refer to Fire Safety	-
	- SH - Escape 24m dead end	-
306	- FRR 1m off boundary	-
	- Fire wall fixings / battens	-
	Access Routes / Landings / Headroom	-
166	Anti-slip D1/AS1/Table 2	✓
167	Common & Main Pvt: Tread 280+ Riser 190-	-
	Sec Pvt: Tread 250+ Riser 200-	-
	Minor Pvt: Tread 220+ Riser 220-	-
168	Step details / all handrails	-
169	Barriers B1/AS2 and F4	-
	Window sill heights F4	-
175	Ventilation E3 and G4	✓
	Natural light G7	✓
177	Laundry Space G2/AS1/Fig 1	✓
178	Kitchen Space G3/AS1/Fig1	✓
	Sanitary Fixtures G1 - WC space	✓
184	Woodburner / Flue height	-
	Gas storage over 100 kg	-
185/186	Well water / Backflow prevention	-
	Easements: Drains in, Buildings Over	✓
188-189	Discharge: Septic tanks	✓
-/190	Wastes & Vents / Foul Drains	✓
191	Stormwater Drains / Outfalls C6	✓
193/194	Surface water / Channel C85	-
	S W Sumps/ Subsoil drains-sump	-
197	Common Drains	-
490-498	Pools: fences, backflow, discharge C74	-
	Highlight sheet - Altn Sol, section 35(1a), Unusual items	✓
199	Partial Processing	-

✓ = OK

A = Documents Amended

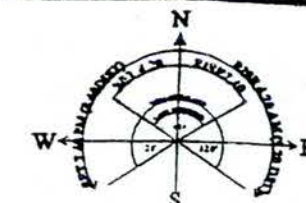
Q = Queried

- = Not Applicable

Refer to Amendments Sheet for those items that should be amended on plans.

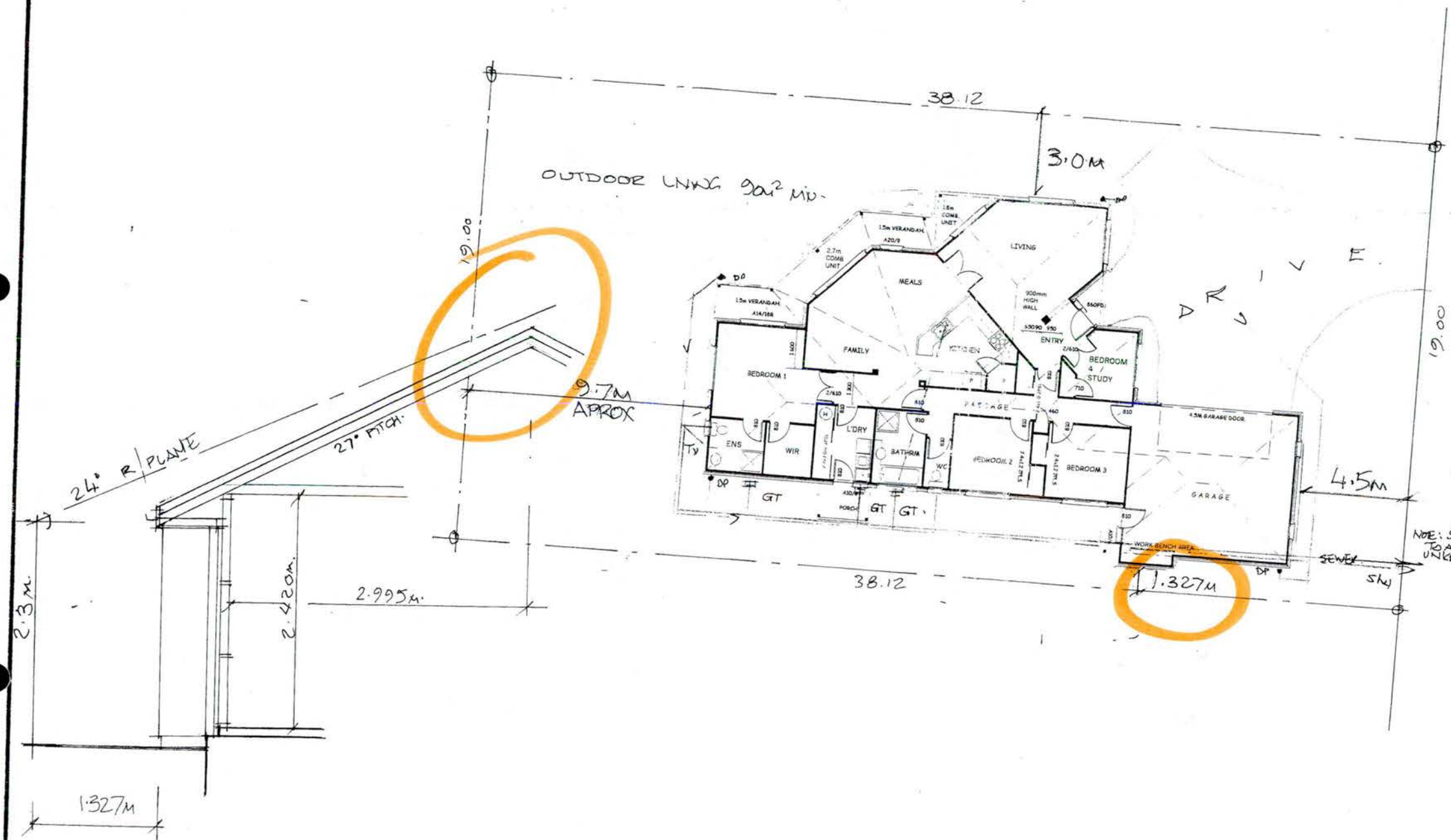
35(1A) RAISED

28 AYLHAM LANE. 10011228



AMENDED
PLANS
SITING.

CHRISTCHURCH CITY COUNCIL
JABuster
CONSENT DOCUMENT
23 FEB 2001
All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications.



NOTE: SHOWN SEWER TO JOIN TO APPROVED COLLECTOR'S POSITIONS UNKNOWN

SITE AREA = 724m²
BUILDING AREA = 208m²
SITE COVERAGE = 28.7%

PLANNING APPROVAL OK
Date 23/2/01

Signature *JABuster*

LEGEND:-
SEWER PIPE
STORM WATER PIPE
65 mm DOWN PIPE

This plan developed for the purchaser
is copyright to Stonewood Homes Ltd.



STONEWOOD HOMES LTD.
204 Main North Road, Papanui.
P.O. Box 20 278, Papanui, Christchurch.
Ph. (03)354 2344. Fax (03)354 2432.

Proposed home for: CREAGH
LOT 170. AYLHAM LANE

Drawn IDC		Checkd	Plan Number 90304	Sheet 4
Treed		Date	Scale 1:200	Series of
				Ref

SHEET A

(CIRCLE whichever is applicable)

NAME: B + V CRENGH

STOREY: Single or top
 Lower of two or middle of three
 Lower of three

WIND AREA: High / Medium / LowSTOREY HEIGHT = 5.3 m

SITE ADDRESS:

Lot 170 -AYLSHAM LANECHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION

Rec'd 12 FEB 2001

Sockburn Service Centre

PROJECT No. 10011228

1)

FOR EARTHQUAKE

Roof weight: Light / heavyAverage roof slope: 28 °

Earthquake Zone: A / B / C

E = 4.2 B.U.'s/m²

2)

WIND along the building (W1)

Average roof height: 3.0 mGreatest roof slope: 28 °W1 wall = 54 B.U.'mW1 roof = B.U.'mW1 total = 54 B.U.'m

ALONG

3)

WIND across the building (W2)

Average roof height: 3.0 mGreatest roof slope: 28 °W2 wall = 54 B.U.'mW2 roof = B.U.'mW2 total = 54 B.U.'m

ACROSS

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT

ROOF or BUILDING LENGTH 10 FEB 2001 BL = 23.770 mROOF or BUILDING WIDTH EW = 14.453 mGROSS ROOF or BUILDING PLAN AREA GFA = 208 m²

All building work is in compliance with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

EARTHQUAKE: LOAD (ALONG and ACROSS)

E x GFA = 4.2 x 208 = 873.60 B.U.'s

WIND: LOAD ALONG

W1 x EW = 54 x 14.453 = 780.46 B.U.'s

WIND: LOAD ACROSS

W2 x BL = 54 x 23.770 = 1283.58 B.U.'s

ALONG

SHEET B

ACROSS

Wall or Bracing Line			Wall Bracing Elements Provided				
1	2	3	4	5	6	7	8
Total Bracing Units Required for this storey	Line Label	Minimum B.U.'s Required	Bracing Element (H)	Type (Table 20)	Rating B.U.'s (Table 20)	Length of Element (m)	B.U.'s Achieved
From sheet A greater of earthquake or wind along	A	238	1	BR7	145	1.2	174
			2	BR7	145	1.2	174
			3	BR7	145	1.2	174
	B	70	4	BR5	85	1.5	127.50
			5	pu	60	0.9	54
			6	GIB	50	3.2	160
			7	pu	60	1.0	60
			8	GIB2	50	2.2	132
			9	GIB1	50	2.8	140
		238	10	GIB	50	3.2	160
			11	pu	60	1.0	60
			12	GIB	50	3.2	160
TOTAL							1581.50

CHRISTCHURCH CITY COUNCIL

7th Feb.

CONSENT DOCUMENT

15 FEB 2001

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

873.60

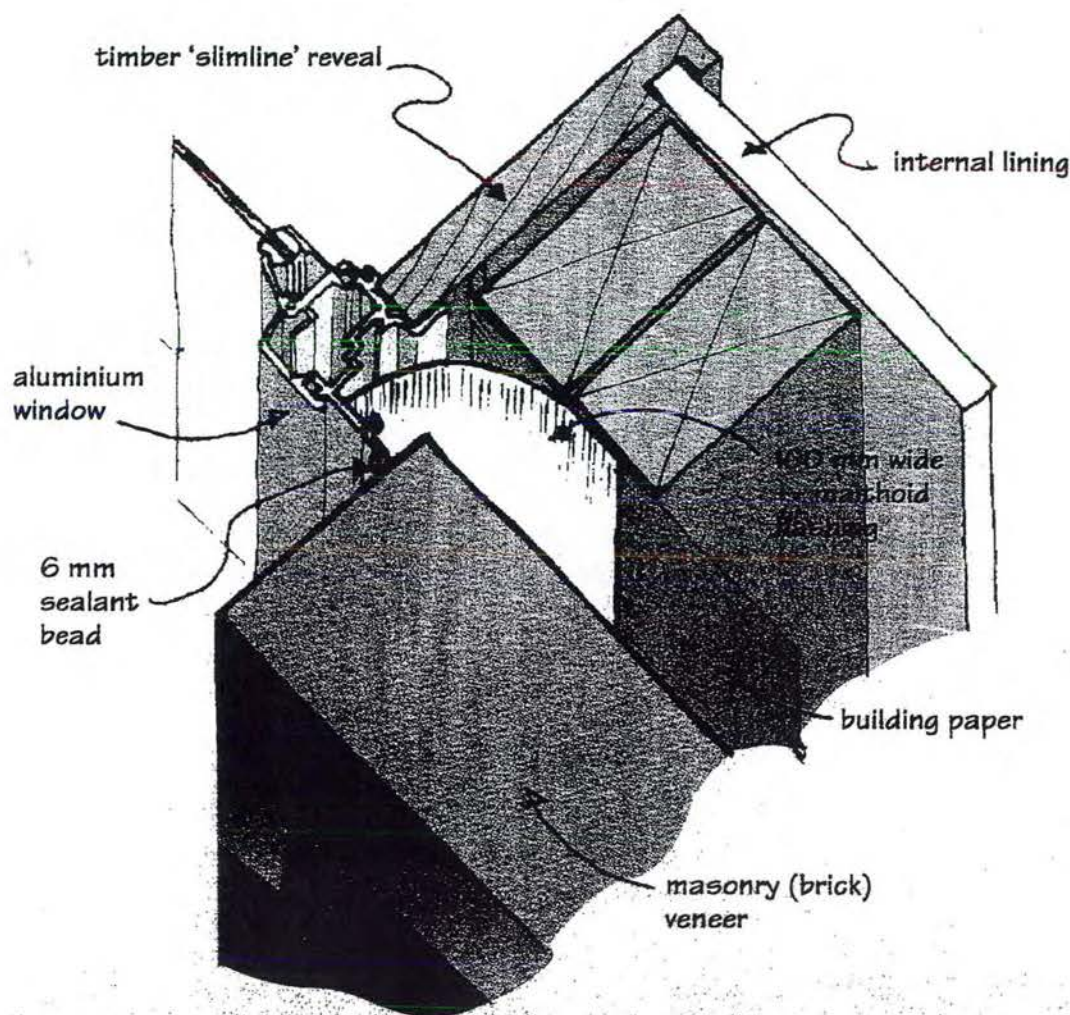
Wall or Bracing Line			Wall Bracing Elements Provided					
1	2	3	4	5	6	7	8	
Total Bracing Units Required for this storey	Line Label	Minimum B.U.'s Required	Bracing Element NO.	Type (Table 20)	Rating B.U.'s (Table 20)	Length of Element (m)	B.U.'s Achieved	
From sheet A greater of earthquake or wind across	M	145	13	pu	60	1.2	72	
			14	pu	60	1.0	60	
			15	GIB2	75	2.2	157.50	
			16	GIB1	75	2.5	187.50	
	N	70	17	GIB2	75	2.2	157.50	
			18	GIB2	80	3.2	256	
	O	70	19	BR5	115	1.4	161	
			20	BR5	115	1.5	172.50	
			21	GIB2	80	3.2	256	
	P	145	22	GIB1	75	2.8	216	
			23	pu	60	1.0	60	
					TOTAL			1561.4

CHRISTCHURCH CITY COUNCIL
746.
15 FEB 2001
CONSENT DOCUMENT
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

873.60

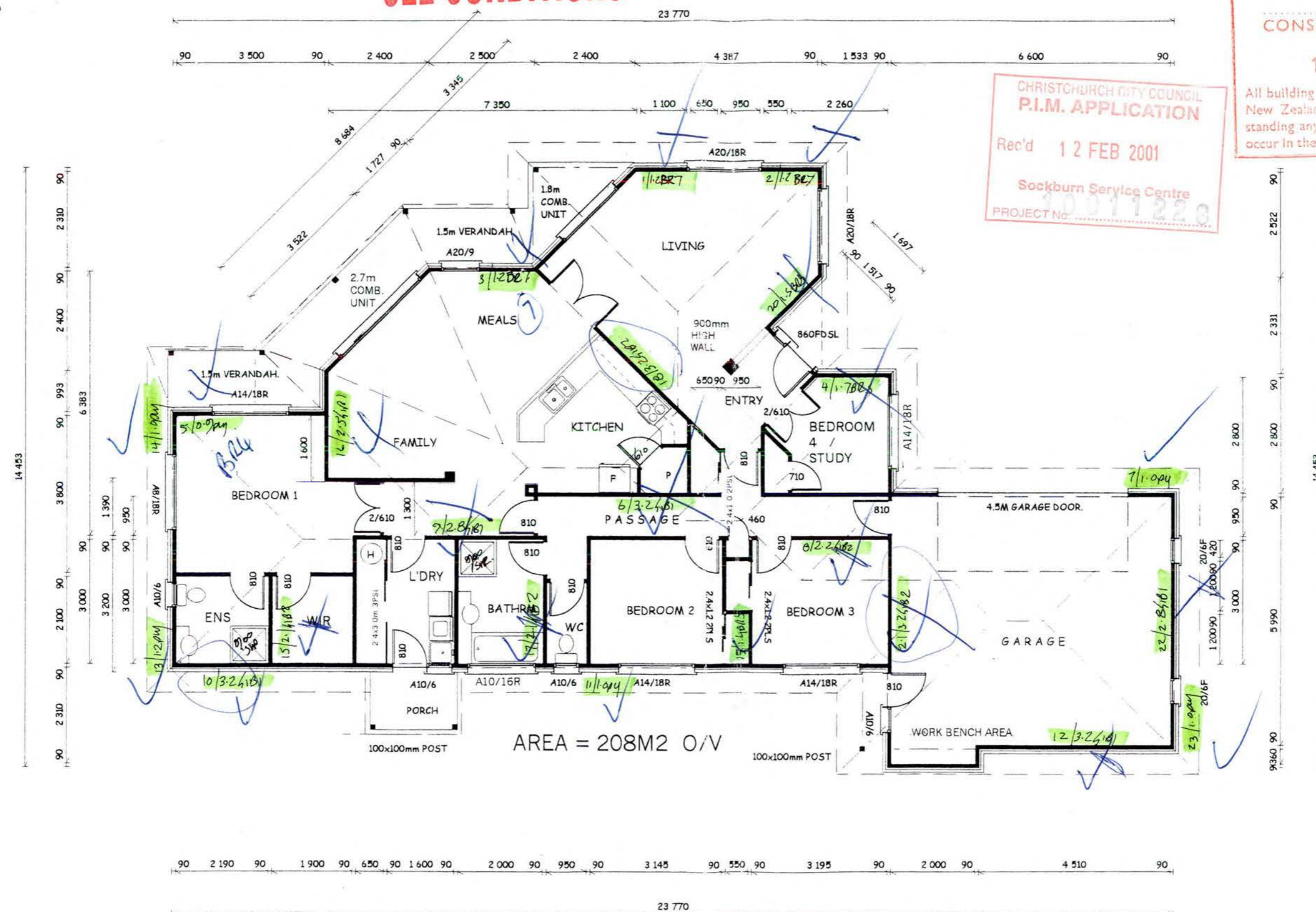
1283.58

Figure 8.27 Masonry Veneer — Aluminium Window Jamb / SILL Detail



Note: All Dimensions are shown "Over Frame" The Builder is to allow for the approved veneer and cavity

SEE CONDITIONS



CHRISTCHURCH CITY COUNCIL
JABuater
CONSENT DOCUMENT

16 FEB 2001

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

CHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION

Rec'd 12 FEB 2001

Sockburn Service Centre

PROJECT No. 01122

N O T E : ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE UNDERSIDE OF SOFFITS (ONLY ON HOUSES WITH SOFFITS). AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS (ESPECIALLY IN CASES WHERE THERE IS NO SOFFITS approx 2.040 m high.)

STONEWOOD
HOMES.

204 Main North Road
P.O Box 20 278, Papanui,
Christchurch. New Zealand
Phone: 64 3 354 2344.
Fax: 64 3 354 2342
Email: info@stonewood.co.nz
Internet: www.stonewood.co.nz

Proposed home for : **B & V . C R E A G H .**

LOT. 170. AYLSHAM LANE.

Plan Number.	
--------------	--

90304

Sheet.

1

Drawn.
JERM OR IGGY.

Checked.

Scales.

Series of.

Traced.

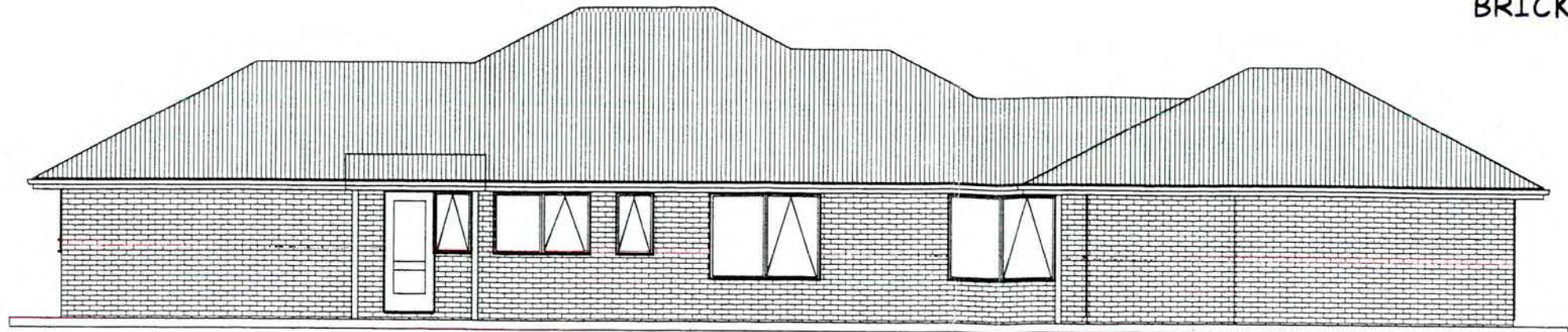
Date:

1 : 100

Ref.

Note: All Dimensions are shown "Over Frame" The Builder is to allow for the approved veneer and cavity.

28 DEGREE COLOURSTEEL ROOF .
BRICK VENEER.

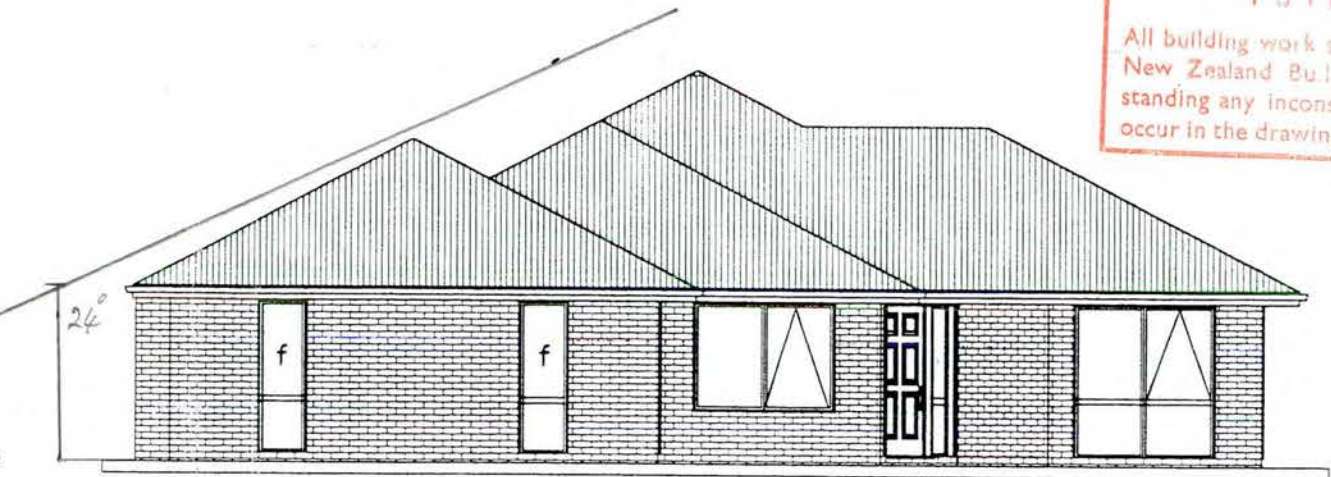


ELEVATION . A .

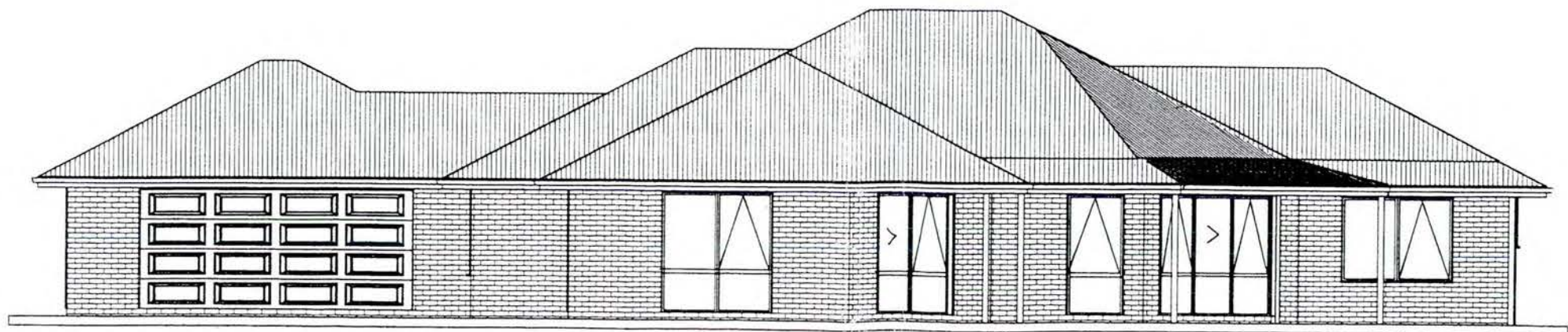
CHRISTCHURCH CITY COUNCIL
7AB.
CONSENT DOCUMENT
15 FEB 2001
All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications.



ELEVATION . B .



ELEVATION . D .



ELEVATION . C .

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STONEWOOD
HOMES.

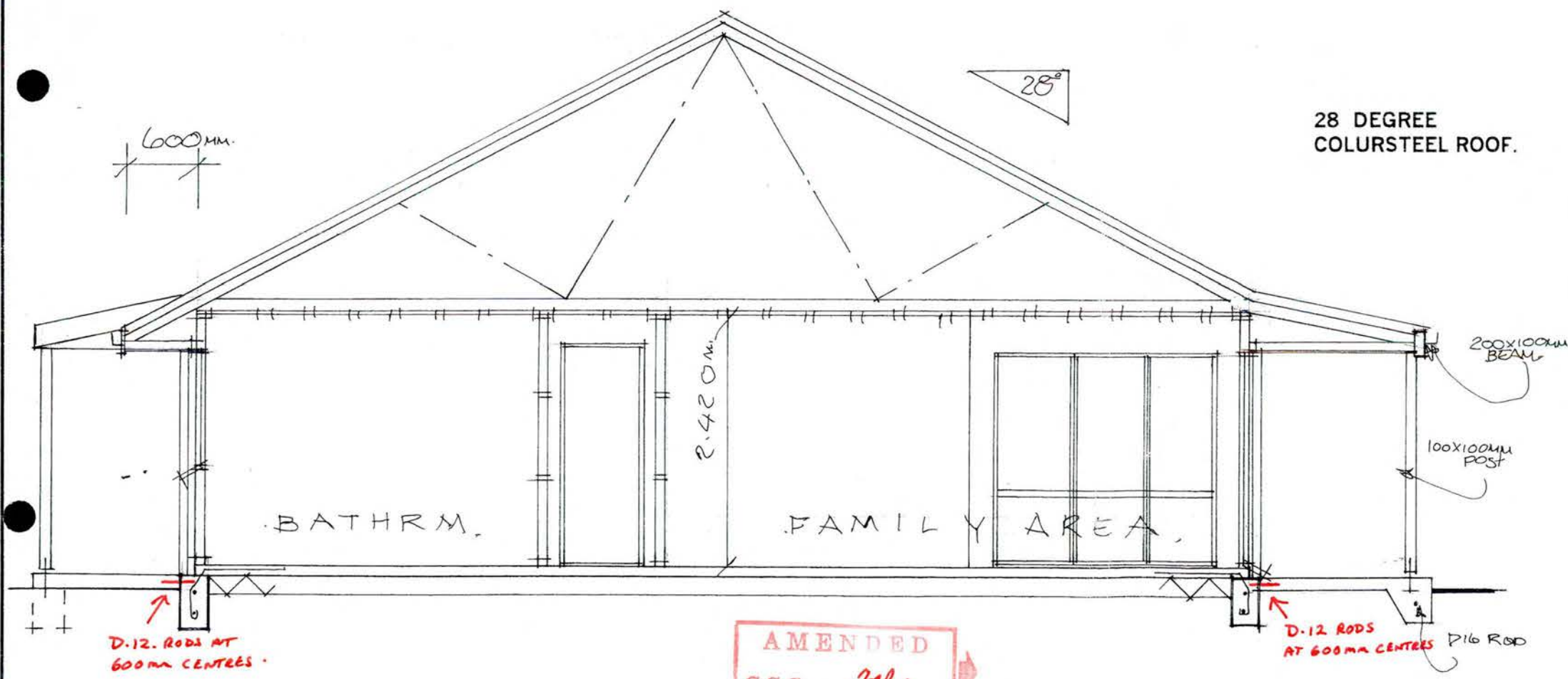
204 Main North Road .
P.O Box 20 278, Papanui .
Christchurch, New Zealand.
Phone: 64 3 354 2344.
Fax: 64 3 354 2342
Email : info@stonewood.co.nz
Internet : www.stonewood.co.nz

Proposed home for : B & V . C R E A G H .
LOT. 170 . A Y L S H A M L A N E .

Plan Number.		Sheet.	
90304		2	
Drawn. JERM OR IGGY	Checked.	Scales.	Series of.
Traced.	Date:	1 : 100	Ref.

CHRISTCHURCH CITY COUNCIL
FAB
CONSENT DOCUMENT
16 FEB 2001
All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications.

10011228



REFER TO FOUNDATION DETAIL.

CROSS SECTION.

This plan is developed for the purchaser
and is copyright to Stonewood Homes Ltd.

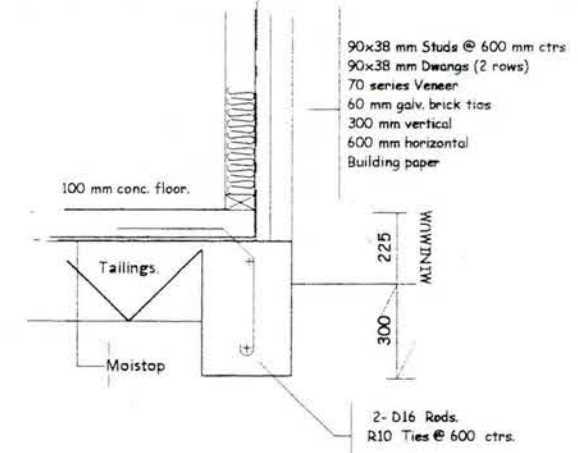
**STONEWOOD
HOMES.**
204 Main North Road.
P.O Box 20 278, Papanui.
Christchurch. New Zealand.
Phone: 64 3 354 2344.
Fax: 64 3 354 2342
Email: info@stonewood.co.nz
Internet: www.stonewood.co.nz

Proposed home for : **B & V . CREAGH.**
LOT. 170 . AYLSHAM LANE.

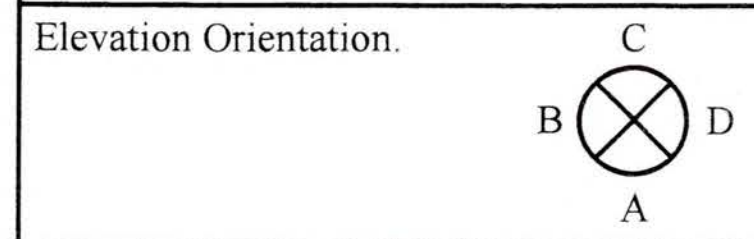
Notes:
1. Foundation construction to
comply with N.Z.S 3604 and local
building bylaws.

CONSTRUCTION SCHEDULE:

- Coloursteel roof 28 Deg. pitch.
 - Plate trusses @ 900mm ctrs.
 - Pryde plate or gang nail.
 - 144x31 mm ceiling plated.
 - 90x38 mm top plate (lazer)
 - 69x31 mm ceiling battens @ 400 mm ctrs.
 - Metal fascia & spouting system.
 - Hardiflex to soffits.
 - 90x38 mm studs @ 600 mm ctrs (lazer)
 - 90x38 mm dwangs 2 row (lazer)
 - Metal "L" brace.
 - 50 mm cavity.
 - 60 mm galv. brick ties. 300 mm vertical.
 - 600 mm horizontal.
 - 100 mm concrete floor.
 - Tailings.
 - Moistop.
 - 2- D16 Rods.
 - D10 starters @ 600 mm ctrs.
- NOTE:
All construction to comply with
NZS 3604 1999.



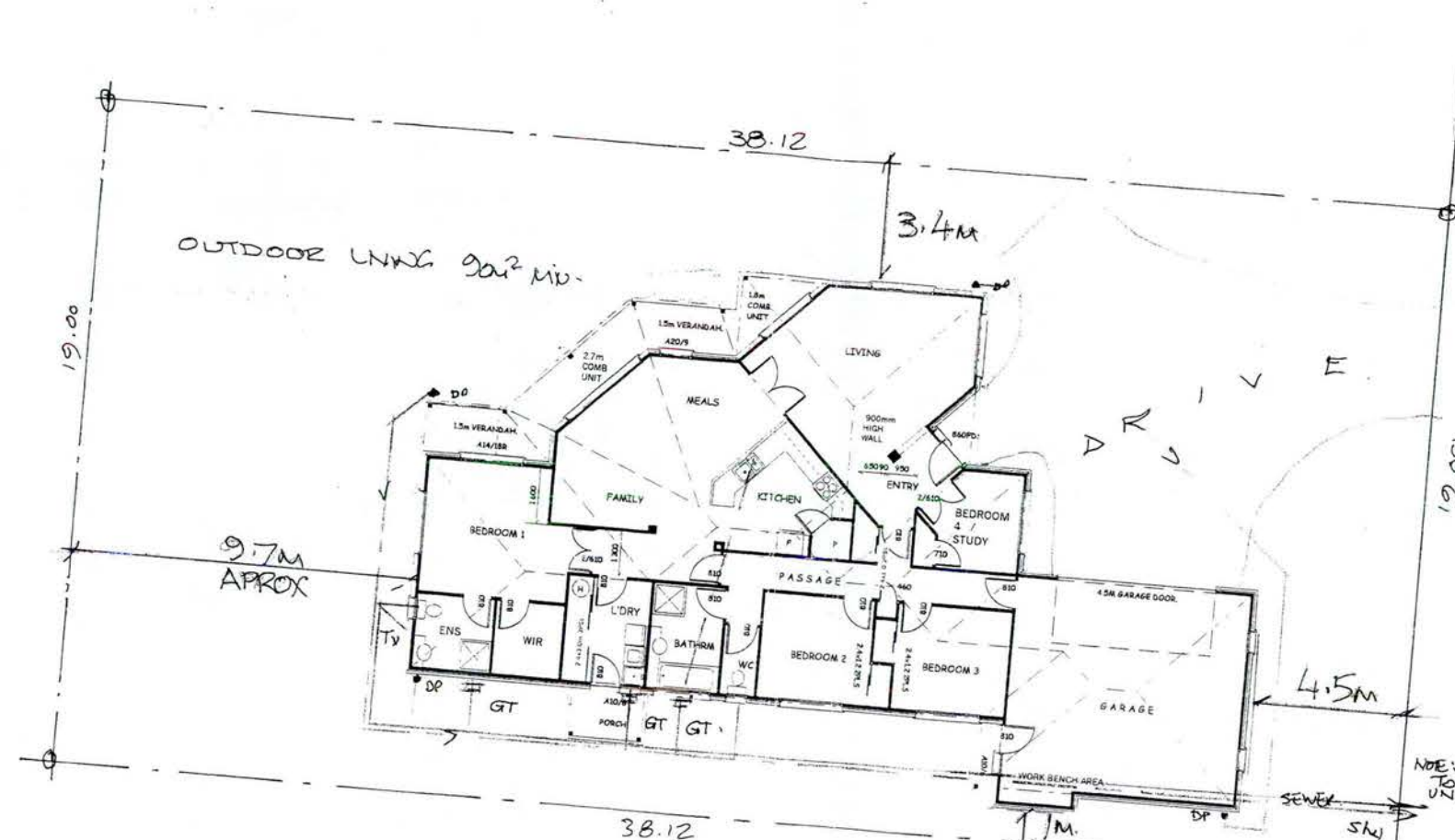
STANDARD BRICK VENEER FOUNDATION.



		Plan Number.	Sheet.
		90304	3
Drawn.	Checked.	Scales.	Series of.
Traced.	Date:	1 : 50	Ref.



CHRISTCHURCH CITY COUNCIL
 7AB.
 CONSENT DOCUMENT
 16 FEB 2001
 All building work shall comply with the
 New Zealand Building Code notwith-
 standing any inconsistencies which may
 occur in the drawings and specifications.



AYLSHAM LANE.

NOTE: SINK & SEWER TO JOIN
 TO APPROVED COLLECTOR'S POSITIONS
 UNKNOWN

SITE AREA = 724m²
 BUILDING AREA = 208m²
 SITE COVERAGE = 28.7%

NOTE.
 WHERE DRAIN RUNS UNDER
 FLOOR SLAB, INSPECTION POINT
 IS REQUIRED EACH SIDE OF BUILDING.

AMENDED
 C.C.C. 7AB.

LEGEND:-

— SEWER PIPE
 - - - STORM WATER PIPE
 ● 65 mm DOWN PIPE

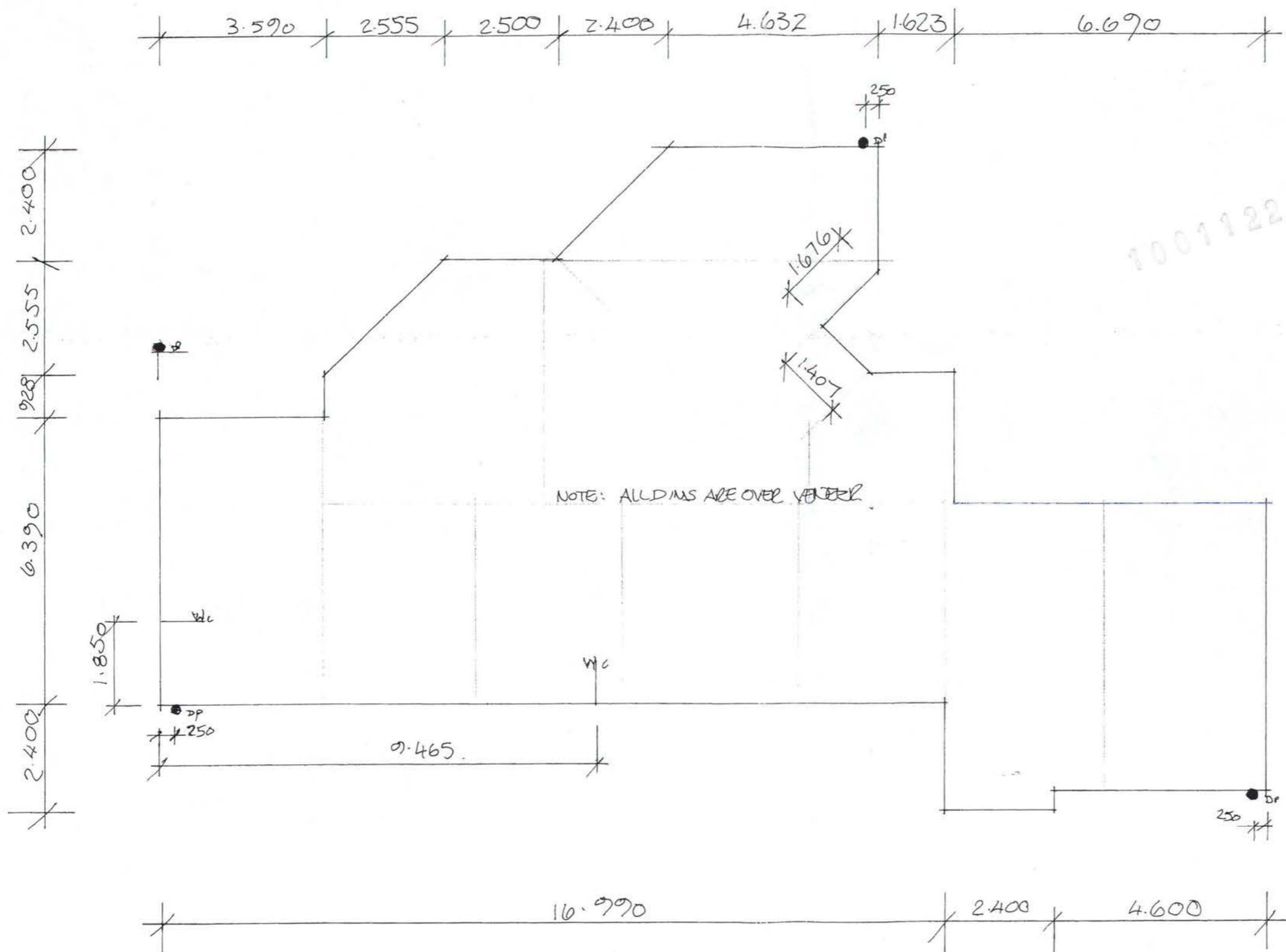
This plan developed for the purchaser
 is copyright to Stonewood Homes Ltd.



STONEWOOD HOMES LTD.
 204 Main North Road, Papanui.
 P.O. Box 20 278, Papanui, Christchurch.
 Ph. (03)354 2344. Fax (03)354 2432.

Proposed home for: CREAGH.
 LOT. 170. AYLSHAM LANE.

Drawn IDC		Checked	Plan Number 90304	Sheet 4
Treed		Date:	Scale 1:200	Series of
				Ref





CHRISTCHURCH CITY COUNCIL

ENVIRONMENTAL SERVICES UNIT

TAX INVOICE

BUILDING CONSENT FEES

INV 18893
GST NO 53-198-554
DATE

CREAGH, BARRY EDWARD

C/O STONEWOOD HOMES
P O BOX 20278
CHRISTCHURCH

CONSENT

APPLICATION NO: ABA10011228

OWNERS NAME: MAURICE R CARTER LIMITED

PROJECT STREET ADDRESS: 28 AYLSHAM LANE
STYX

CUSTOMER CODE: 3029374

INVOICED TO DATE: \$0.00

Christchurch City Council
Official Receipt

Receipt 129071 23Feb01 08:46
stonewood homes
28 AYLSHAM LANE
STYX 8005

CHEQ \$2,120.45
TOT \$2,120.45

BLDG 3029374 \$2,120.45
*Includes GST of 0.00
Loc SOCK Draw 1 Cashier XSOC1

FEE CODE

DESCRIPTION

B01	Project Information Memorandum	160.00
B02	Accept & Issue Consent	95.00
B03	Process and Grant	210.00
B04	Inspections	360.50
B05	Code Compliance Grant/Issue	30.00
B06	BRANZ Levy	153.00
B07	Building Industry Auth. Levy	99.45
VCI	Vehicle Crossing Inspn Fee	60.00
WCN	Water Connection Fee	345.00
WST	Treatment Plnt Capacity Upgrade	607.50

R 129071
23/2/01

TOTAL (GST inclusive)

\$2120.45





CHRISTCHURCH CITY COUNCIL
SOCKBURN SERVICE CENTRE

16 February 2001

Dave Busch
Stonewood Homes
P O Box 20278
Christchurch.

Dear Sir,

PROJECT INFORMATION MEMORANDUM PROJECT NUMBER 10011228

Please find enclosed your Project Information Memorandum in respect of the proposed Dwelling with Attached Garage at 28 Aylsham Lane.


Your application for a building consent in respect of the above proposed will now be processed unless you advise the Council to cancel or suspend the application.

Please note also that the Project Information Memorandum may reveal matters affecting compliance with the Building Act 1991, or other authorisations required.

Yours faithfully

Cindy Hawthorne
Senior Technical Clerk
for
AREA DEVELOPMENT OFFICER

FILE COPY

 <p>CHRISTCHURCH CITY COUNCIL · ENVIRONMENT</p>	<p>CHRISTCHURCH CITY COUNCIL</p> <p>BUILDING ACT 1991</p> <p>Project Information Memorandum</p>	<p>FORM BA2A PROJECT NO:</p> <p>10011228</p> <p>Issued 16/02/2001</p>
---	--	--

Site Address: 28 Aylsham Lane

Legal Desc: Lot No: 170

DP No: 83050

Applicant: Dave Busch
Stonewood Homes
204 Main North Road
Christchurch

Owner: Barry and Val Creagh

Proposal: Dwelling with Attached Garage

- The following matters have been identified in respect of the building project:

- Council's records indicate the site has suspect bearing capacity due to the presence of soft ground and peat. A report, and if the conditions require, a foundation design by a Structural Engineer may be required prior to the approval of a Building Consent.

The application shows that the building will be constructed on or close to:

- ☐ the recession plane on the southern boundary

A certificate from a registered surveyor must be provided to the Council prior to the foundation/floor slab being poured which verifies that:

- ☐ the foundation height and finished floor level
(and)
☐ the building siting from the legal boundary at the critical points detailed above are in accordance with the Building Consent plans approved by the Council.

The options available are:

1. Amend the plans so that the building is no longer within 200mm of the measurements identified above. Amended plans should be forwarded to this office if you choose this option.
2. Uplift the Building Consent together with a Section 35(1A) Certificate prepared by the Council. This will specify that the foundation/floor shall not be poured or constructed until the certificate from a registered surveyor has been received by the Council. If you choose this option, please advise this office so that a Section 35(1A) Certificate can be arranged.

cont

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Page 2

DRAINAGE:

Drainage Plan provided

- Please refer to the supplementary information provided by the Council's Water Services Unit.

Total Project Information Memorandum fees \$ 160.00**Paid** \$ nil**Receipt No.:****Balance to pay** \$ 160.00 *Fee is payable upon uplifting building consent*Signed for and on behalf of the Council: _____  Date: 16-Feb-01**NAME:** Cindy Hawthorne**POSITION:** SENIOR TECHNICAL CLERK

This project may proceed subject to the issue of a Building Consent and any other necessary authorisations being obtained.

NB: *This Project Information Memorandum will lapse and be of no effect if a Building Consent has not been issued within 24 calendar months from the above date of issue.*

FILE COPY

Provide one liners etc. to support remarks on reverse side.

2. ϕ

Checked	Comment	Officer	Date	Time
<input checked="" type="checkbox"/> Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<i>ABW</i>	<i>16/2/01</i>	
<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<i>ABW</i>	<i>16/2/01</i>	
<input type="checkbox"/> Traffic	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Envir. Health	<input type="checkbox"/> Yes <input type="checkbox"/> No			
Transitional District Plan		Proposed City Plan		
Zoning	<i>RES. L.</i>	Zoning		<i>L(1A)</i>
Designations		Designations		
Road widening		Footprint/Sam		
Protected Item		Protected Item		
Airport Noise		Airport Noise		
Site area		Site area		
Shape factor		Net site area		<input checked="" type="checkbox"/>
Res. Site Density/Plot Ratio		Res. Site Density/Plot Ratio		<input checked="" type="checkbox"/>
Site coverage		Site coverage		<input checked="" type="checkbox"/>
Height		Height		<input checked="" type="checkbox"/>
Recession Planes		Recession Planes		<input checked="" type="checkbox"/> <i>2 @ Southern</i>
Street scene		Street scene		<input checked="" type="checkbox"/>
Garage setback		Garage setback		<input checked="" type="checkbox"/>
Internal boundary setback		Internal boundary setback		<input checked="" type="checkbox"/>
Waterway setback		Waterway setback		<input checked="" type="checkbox"/>
Separation distance/windows/balcony		Window/balcony setback		<input checked="" type="checkbox"/>
Outdoor living/service area		Outdoor living/service area		<input checked="" type="checkbox"/>
Landscaping		Landscaping		<input checked="" type="checkbox"/>
Storage space		Storage space		<input checked="" type="checkbox"/>
Accessory building length		Accessory building length		<input checked="" type="checkbox"/>
Accessory building area		Cont. building length		<input checked="" type="checkbox"/>
Design and appearance		External appearance		<input checked="" type="checkbox"/>
Other		Other		<input checked="" type="checkbox"/>
		Traffic		
Car parking/garageable spaces		Car parking/garageable space		<input checked="" type="checkbox"/>
Visitor Park		Visitor Park		<input checked="" type="checkbox"/>
Access/gradients		Access/gradients		<input checked="" type="checkbox"/>
Manoeuvring		Manoeuvring		<input checked="" type="checkbox"/>
Crossing separation		Crossing separation		<input checked="" type="checkbox"/>
Crossing distance		Crossing distance		<input checked="" type="checkbox"/>
Crossing width		Crossing width		<input checked="" type="checkbox"/>
Other		Other		<input checked="" type="checkbox"/>
Other		Activity		
Relocated buildings		Permitted		<input checked="" type="checkbox"/>
Family Flat		Controlled		<input checked="" type="checkbox"/>
Reserve Contrib/Dev Levy(Central)		Discretionary		<input checked="" type="checkbox"/>
(Suburbs)		Non-complying		<input checked="" type="checkbox"/>
Subdivision/Title issued				<input checked="" type="checkbox"/>
Cross-lease Owners consent				<input checked="" type="checkbox"/>
Resource Consents recorded				<input checked="" type="checkbox"/>
Other				<input checked="" type="checkbox"/>

64 3 3711386

CHRISTCHURCH CITY COUNCIL**- Environmental Services Unit -****Project Information Memorandum – Drainage / Water****16 February, 2001**

PIM No: 10011228
Address: 28 Aylsham Lane
Legal Info: Lot 170 DP 83050
Description: Dwelling
Service Centre: Sockburn

FILE COPY

The comments below incorporate information held by this unit that is considered to be relevant to the design of this project and is based on the information supplied to the Environmental Services Unit.

1.0 Levels

- 1.1 Minimum levels have been set as part of the underlying subdivision and providing these conditions were met the site is considered satisfactory at existing ground levels.
The site level is not to be lowered without consultation with the Environmental Services Unit.

2.0 Water Supply

- 2.1 It is a supply requirement that all water connections that are a nominal bore of Ø50mm or greater are fitted with either a double check valve or a reduced pressure zone backflow prevention device. The backflow prevention device must be installed just after the point of supply.
2.2 The water supply headworks fee has been requested as part of the underlying subdivision and is not required for this proposal.

3.0 Sanitary Sewer

- 3.1 A Wastewater Treatment Plant capacity upgrade contribution of \$607.50 incl. GST is required for this proposal.
3.2 Sanitary sewer is to be discharged to the existing lateral installed at subdivision stage.

4.0 Stormwater

- 4.1 Stormwater from the roof and hard stand areas are to be discharged to an approved outfall.
4.2 Interceptor / Silt traps will be required where surface drainage is proposed to connect directly to any open or piped stormwater system under the Council's control

5.0 Setbacks and Building restrictions

- 5.1 This proposal is unaffected by any Council easements, pipelines, open drains, waterways or building line restrictions.

Additional Comments:

Any requests for a variation to the above requirements to be made to the Environmental Services Unit.
The developer should supply plans showing:
Proposed Pipework, outfalls and connections etc
Existing and proposed Ground levels.

The developer is required to mitigate any adverse affects on adjoining properties. Failure to undertake such works may mean that the developer has some responsibility to adjacent owners at law.

64 3 3711386

Any dewatering activity from the site must conform to the requirements of the C.C.C. Standard CSS Part 3 1992 Section 5.3 Water. The final discharge from the site shall not exceed 50 PPM of suspended solids. An application for a dewatering discharge must be made to the City Streets Manager (C.C.C.) on the appropriate application form.

Benchmarks and manhole levels may be obtained from the Essential Services Customer Centre at no charge.

Prepared By:

Heath Wells

Customer Services Officer Tel: (03) 371-1314
Environmental Services Unit Fax (03) 371-1385
Christchurch City Council Email: heath.wells@ccc.govt.nz

64 3 3711386

CHRISTCHURCH CITY COUNCIL**- Environmental Services Unit -****Project Information Memorandum – Drainage / Water****16 February, 2001**

PIM No: 10011228
Address: 28 Aylsham Lane
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CHRISTCHURCH
WATER SERVICES UNIT

PH: 371 1300
FAX: 371 1385

64 3 3711386

RAINAGE RECORD PLANS

CAUTION

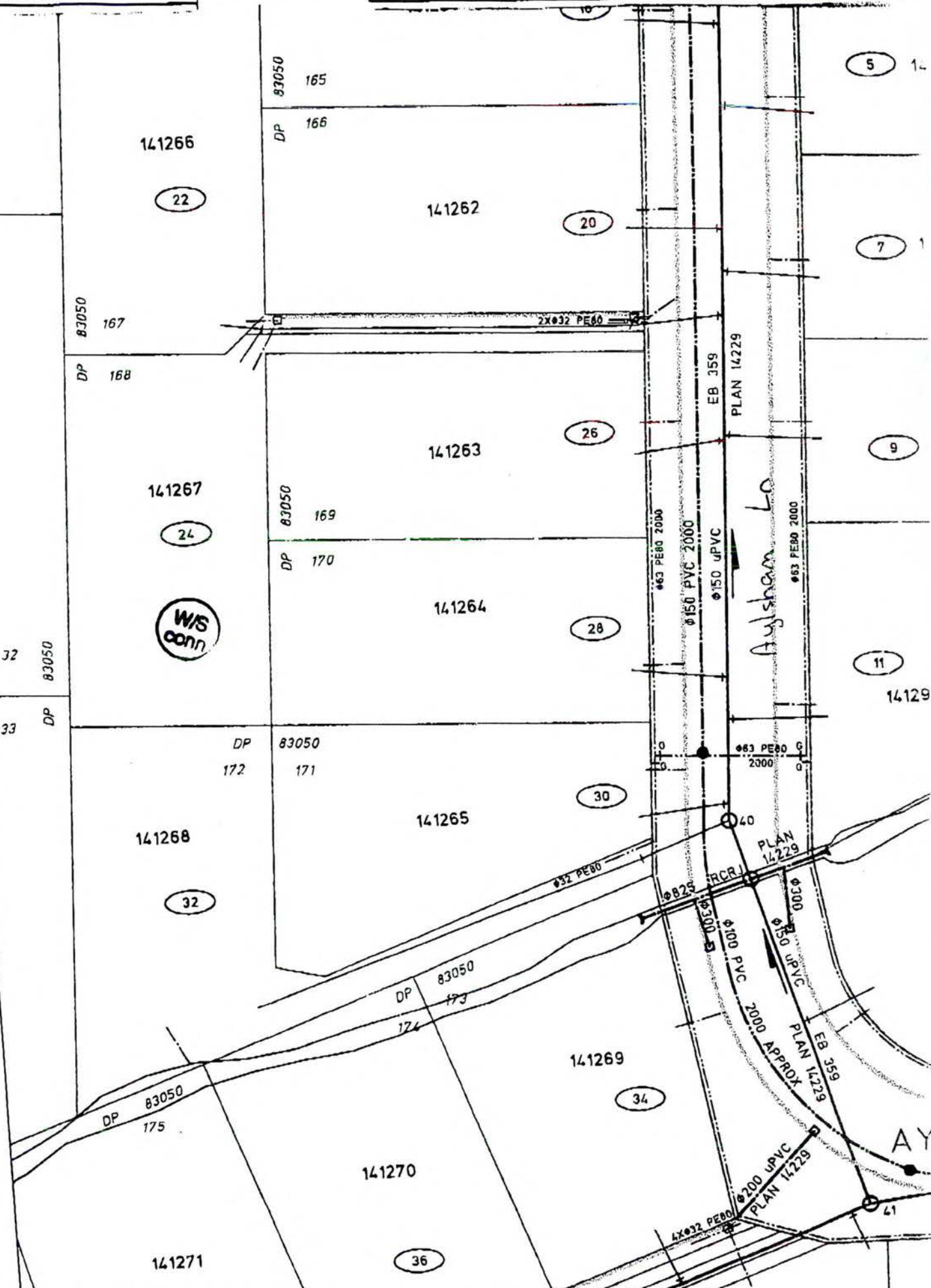
The accuracy of this plan and the measurements are not guaranteed and should be verified by inspection.

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1D011228


1/2000 1/500 1/396

15 FEB 2001



RECEIVED TIME 16. FEB. 8:39

PRINT TIME 16. FEB. 8:46

 CHRISTCHURCH CITY COUNCIL - ENVIRONMENT	CHRISTCHURCH CITY COUNCIL APPLICATION FOR BUILDING CONSENT	FORM: BA3 PROJECT NO: <u>10011228</u>
--	---	---

PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)

Has a Project Information Memorandum been issued for this project? ☒ No ☐ Yes ⇒ Project No.: _____

APPLICATION DETAILS [_____]	PROJECT DETAILS [_____]
<ul style="list-style-type: none"> OWNER (as defined by the Building Act 1991) Full Name(s): <u>Barry & Val Cragh</u> <u>55 Sarchands Ave</u> Street Address: _____ Mailing Address: _____ Phone: <u>3529 574</u> Fax: _____ 	<ul style="list-style-type: none"> LOCATION Street Address: <u>28 Aylsham Lane</u> Lot: <u>170</u> DP: <u>83050</u> Other: _____
<ul style="list-style-type: none"> APPLICANT (Must be authorised by the owner to make this application) Name: <u>Dave Bosch</u> Company: <u>Stonewall Homes</u> Mailing Address: <u>PO Box 20275 CHCH</u> Street Address: <u>204 Main North Rd</u> Phone: <u>354 2344</u> Fax: <u>354 2342</u> 	<ul style="list-style-type: none"> DESCRIPTION OF WORK: <u>New</u> <u>Drum with attached</u> <u>Garage</u>
Estimated Value of proposed work (inclusive of GST): <u>\$ 153 - 000 - 00</u>	<ul style="list-style-type: none"> INTENDED USE: <u>Res</u>
Building Consent to be uplifted from: <input checked="" type="checkbox"/> <u>Seelburn</u> Service Centre <input type="checkbox"/> If prepaid post to Owner / Applicant (delete one)	<ul style="list-style-type: none"> Will the building undergo a change of use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> Water Supply Is a new supply required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance from LH / RD boundary (looking from street) <u>200</u> metres Nominate street if a corner site: _____ 	<ul style="list-style-type: none"> Intended Life if less than 50 years: _____ years Being stage <u>1</u> of an intended <u>1</u> stages
<ul style="list-style-type: none"> Road Opening / Footpath Opening Is an opening required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select type of service: Sewer / Stormwater 	<ul style="list-style-type: none"> FLOOR AREA Ground Floor: Existing _____ m² Add <u>208</u> m² Other Floor: Existing _____ m² Add _____ m² Accessory Building Area: Existing _____ m² Add _____ m²
<ul style="list-style-type: none"> Planning - Site Coverage Total area of all buildings over foundation at ground level. Existing _____ m² Proposed <u>208</u> m² 	<ul style="list-style-type: none"> Vehicle Crossing (in relation to this Building Consent) Is a vehicle crossing required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Select: New / Extension / Residential / Commercial

FOR COUNCIL USE ONLY

Prepaid Fee: \$ _____ Receipt No: _____ Receiving Officer's Name: <u>M Pottinger</u> Date Received: <u>12/2/01</u>	DRAINAGE INFORMATION Block Plan <input type="checkbox"/> Full PIM <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Date Requested <u>12/2/01</u>
---	---

HAZARDS: _____

SECTION 1

Have you provided the following information?

Please tick the appropriate box

SECTION 2

Yes No N/A

• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)			
• Certificate of Title: Recent search copy of (less than 6 months old)			
• Plans & specification of an acceptable standard			
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)			
• Recession planes (including to internal boundaries) indicated			
• Site levels relating to top of roadside kerb, and finished floor level indicated			
• Hill sites: indicate contours, drive gradients and building heights			
• Site boundaries nominated			
• Shared access ways/other areas			
• Foulwater drains			
• Stormwater drains			
• Stormwater discharge for hardstanding areas detailed to an approved outfall			
• Water Service Details			
• Vehicle crossing position indicated on site plan			
• Vehicle access manoeuvre and parking area indicated			
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access			
• Site area per unit indicated			
• Site coverage: % details			
• Living and service courts indicated			
• Landscaped area indicated and planting plan produced			
• Demolition Details			
• Swimming pool: design, fence and discharge			
• Backflow prevention			
• Waterway setbacks indicated			
• Notable and protected site trees indicated			
• Heritage site or building affected?			
• Resource Consent Application			
• Development Application			
• Subdivision details			

SECTION 3

Yes No N/A

• Structural drawings			
• Foundation design and report on ground conditions			
• Blockwork: design including foundations			
• Retaining walls: design heights, position, sub soil drainage and safety barriers			
• Fire partitions: dividing walls, common walls			
• Window positions & opening windows indicated			
• Safety glass provisions specified			
• Thermal insulation and R value indicated			
• Sound insulation indicated			
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details			
• Solid fuel heater: make, model and location			
• Accurate layout & details of plumbing systems			
• Alternative Solutions details			
• Access and facilities for people with disabilities			
• Access Route Details			
• Dangerous goods: storage and sign details			
• Gas bottle: storage location and capacity if over 10kg			
• Soakpit, septic tank and pumping station design details.			
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved			
• Specifications in duplicate			
• Pegging certificate for two or more units on site			
• Bracing calculations and layout			
• Roof truss design statement and layout			
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229			
• BA20 form (Producer Statement information)			
• Fire Safety Summary or Fire Design Statement			
• Compliance Schedule details			

WALKER : RODGER

Barristers and Solicitors

CONFIRMATION OF FAX

ADDRESSEE:

STONEWOOD HOMES

ATTN: DAVE

FACSIMILE NO:

354 2342

RE:

CREAGH

NO. OF PAGES (INCLUDING THIS PAGE):

THREE

DATE SENT:

7/2/01

OUR REFERENCE:

MARIE FOR MICHAEL WALKER

COMMENTS:

COPY CERTIFICATE OF TITLE AS REQUESTED

MARIE



If all pages are not received, please advise.

If this transmission is illegible in any way, please contact us by telephone (03) 365 7930 or fax (03) 365 7982, Christchurch. Postal Address - P O Box 13 553. Street Address - 242 Manchester Street, Christchurch

CAUTION: The information in this message and attached papers is confidential and may also be legally privileged. If received by other than the intended recipient, notice is given that any use, dissemination, or reproduction is prohibited. If received in error, please notify us immediately and destroy the message and attached papers. Thank you for your assistance.

Michael C. Walker LL.B.
Andrea N. Rodger LL.B.

242 Manchester Street, PO Box 13553, DX WP 21002, Christchurch.
Telephone (03) 365-7930 Fax (03) 365-7982 e-mail walkrod@ihug.co.nz

Also at Akaroa

COPY

**CERTIFICATE OF TITLE
UNDER LAND TRANSFER ACT 1952**

R. W. Muir
Registrar-General
of Land

Identifier **CB48A/191**
Land Registration District **Canterbury**
Date Issued **16 November 2000**

Prior References
CB47B/399

Estate	Fee Simple
Area	724 square metres more or less
Legal Description	Lot 170 Deposited Plan 83050

Proprietors
Barry Edward Creagh and Valerie Elaine Creagh

Interests

A481638.11 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 16.11.2000 at 12.40 pm
Fencing Covenant in Transfer A481638.17 - 16.11.2000 at 12.40 pm
Land Covenant in Transfer A481638.17 - 16.11.2000 at 12.40 pm
Fencing Covenant in Transfer 5014729.1 - 13.12.2000 at 11:22 am

[illegible]



CHRISTCHURCH CITY COUNCIL

DOCUMENT TRANSFER

Date 12/2/01

From: SOCKBURN SERVICE CENTRE

Issued to: **BUILDING CONSENTS**
FENDALTON SERVICE CENTRE
LINWOOD SERVICE CENTRE
CITY SERVICE CENTRE



DOCUMENT DESCRIPTION	COPIES
1011228 28 Aylsham Lane	
Lot 170 of 83050	
soil + ground: Peat - found in subdivision	
see attached	
Reply to Steve Corrington	

Reasons for Transfer:

HAZARD INFORMATION / PROTECTED TREES / SUB-DIVISION
CONSENT REQUEST

Please tick (✓) in applicable box

Sanity



Mail



Counter



Other



Computer Recorded

Copies to:

1 64 3 3722473



RESOURCE MANAGEMENT ACT 1991/BUILDING ACT 1991

HAZARDS OR SPECIAL SITE CHARACTERISTICS

LOCATION: Aylsham Lane **NUMBER:** 28

LEGAL DESCRIPTION: LOT: 170 **D.P:** 83050 **WARD:** Papanui

ALTERNATIVE ADDRESS:

DATE RECORDED: 21-11-2000 **SEVERITY:** 2 **ACCURACY:** A

RECORDED BY: Leo O'Loughlin **COMPUTER ENTRY:** **MAP ENTRY:** 21-11-2000

DETAILS: The locality is known to have suspect ground conditions (Soft ground : Peat found in this subdivision.)

All building consents complying with NZ Building Code will need to be accompanied by a report in respect of specific foundation design by an experienced Registered Engineer

BUILDING PERMIT/CONSENT:

LOCATION OF INFORMATION: Civic Office Property File:

SOURCE OF INFORMATION: Subdivision File : PAP / 99 / 935 . **FILE NO:** **DATE:**

..... **FILE NO:** **DATE:**

Consent Notice Pursuant to Section 221 Resource Management Act 1991 **FILE NO:** **DATE:** 19-10-2000

DATE RECORDED: **SEVERITY:** **ACCURACY:**

RECORDED BY: Leo O'Loughlin **COMPUTER ENTRY:** **MAP ENTRY:**

DETAILS:

.....

BUILDING PERMIT/CONSENT:

LOCATION OF INFORMATION: Civic Office Property File:

SOURCE OF INFORMATION: **FILE NO:** **DATE:**

..... **FILE NO:** **DATE:**

DATE RECORDED: **SEVERITY:** **ACCURACY:**

RECORDED BY: Leo O'Loughlin **COMPUTER ENTRY:** **MAP ENTRY:**

DETAILS:

.....

BUILDING PERMIT/CONSENT:

LOCATION OF INFORMATION: Civic Office Property File:

SOURCE OF INFORMATION: **FILE NO:** **DATE:**

..... **FILE NO:** **DATE:**

KEY **Severity** ☐ 1 Low ☐ 2 Moderate ☐ 3 Extreme ☐ 4 Unknown

Accuracy ☐ A Confirmed ☐ B Unconfirmed ☐ C Personal Observation

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? ☐ Yes ☒ No

If yes briefly describe your proposed programme: _____

- Estimated start date: ASP (please note building work must be started within 6 months of Consent issue date)

- Estimated finish date: _____

- Is a registered engineer involved?

For design ☐ Yes ☒ No

For Inspection ☐ Yes ☒ No

- Is a Producer Statement to be offered?

Producer Statement: Design ☐ Yes ☒ No

Producer Statement: Inspection ☐ Yes ☒ No

- Is a registered master builder involved in the project? ☐ Yes ☒ No

Stewart Norman Name (optional)

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection	<input type="checkbox"/>	<input type="checkbox"/>
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	<input type="checkbox"/>	<input type="checkbox"/>
(c) Emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>
(d) Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>
(e) Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>
(f) Riser mains for fire service use	<input type="checkbox"/>	<input type="checkbox"/>
(g) Any automatic backflow preventer connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>
(h) Lifts, escalators, or travelators or other similar systems	<input type="checkbox"/>	<input type="checkbox"/>
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building	<input type="checkbox"/>	<input type="checkbox"/>
(j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code	<input type="checkbox"/>	<input type="checkbox"/>
(k) Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>	<input type="checkbox"/>
(l) Such signs as are required by the building code in respect of the above mentioned systems	<input type="checkbox"/>	<input type="checkbox"/>
NONE OF THE ABOVE		<input type="checkbox"/>

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

	EXTG	NEW
(m) Means of escape from fire	<input type="checkbox"/>	<input type="checkbox"/>
(n) Safety barriers	<input type="checkbox"/>	<input type="checkbox"/>
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 47a of the Building Act 1991	<input type="checkbox"/>	<input type="checkbox"/>
(p) Handheld hoses for fire fighting	<input type="checkbox"/>	<input type="checkbox"/>
(q) Such signs as are required by the building code or section 47a of the Building Act 1991	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 4

SECTION 5

SECTION 5A

SECTION 6

☐ Builder's Name: Stenswood Home Phone: 3542344
Address: PCBex 2027r CHCH Fax: 3542344

☐ Building Certifier's Name: CCC Phone: _____
Address: _____ Fax: _____

☐ Plumber's Name: MM Plumbing Phone: 3719446
Address: Unit 2 405 Coleridge Street Fax: _____

☐ Drainlayer's Name: MM Plumbing Phone: _____
Address: Argy 16133 Fax: _____

☐ Engineer's Name: Ediet Sinclair Phone: 3794014
Address: PCBex 4597 CHCH Fax: 3652649

☐ Designer's Name: Stenswood Home Phone: _____
Address: _____ Fax: _____

SECTION 7

	YES / NO / NA		YES / NO / NA		YES / NO / NA
Have you fully completed:	Section 1 <input type="checkbox"/> Yes	Section 4 <input type="checkbox"/> Yes	Section 6 <input type="checkbox"/> Yes		
	Section 2 <input type="checkbox"/> Yes	Section 5 <input type="checkbox"/> NA	Section 7 <input type="checkbox"/> Yes		
	Section 3 <input type="checkbox"/> Yes	Section 5A <input type="checkbox"/> NA			

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- **Building Consent Fees**
The charges incurred by the Council in processing this application are payable whether or not the project proceeds. Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION

Print Name: Dave Bosch Date: 7 Feb

Signature: _____
SIGNED BY or FOR AND ON BEHALF OF THE OWNER

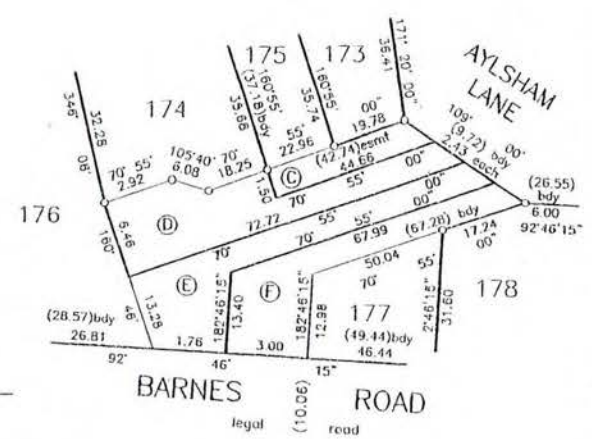
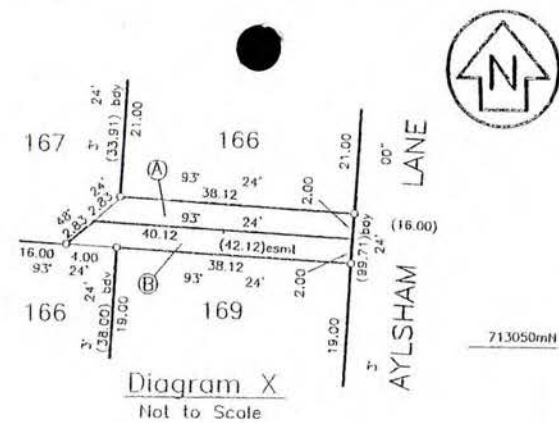
Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 371 1995 Fax 371 1792	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372 2639	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372 2539
---	--	--

Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO 29183 Telephone 351 7109 Fax 372 2748	Papanui Service Centre Cnr Langdons Rd & Restell St PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
---	---	--	---

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.



NOTE: THIS PLAN IS SUBJECT TO APPROVAL BY LAND INFORMATION NEW ZEALAND

Registered Owner

30 JUN 2000

MEMORANDUM OF EASEMENTS

Nature	Servient Lot No.	Tenement Shown	Dominant Tenement
Right of way, right to drain water and sewage, rights to convey water, electric power and telephonic communications	167 168 174 175 176 177	A B C D E F	lot 168 lots 175, 176, 177 lots 174, 176, 177 lots 174, 175, 176 lots 174, 175, 176
Right to convey electric power in gross	167 168 174 175 176 177	A B C D E F	Orion New Zealand Limited
Right to drain sewage in gross	174 175 176 177	C D E F	Christchurch City Council

SCHEDULE OF AREAS

Description	Area
Residential Lots (Lots 32, 33, 165-179)	1,609,280
Road to Vest in Christchurch City Council (Lot 601)	2,522m ²
Local Purpose (Landscape) Reserve to Vest in Christchurch City Council (Lot 603)	264m ²

Total Area 1,887,880ha

Comprised in C.T.47B/399 (Part)

I, **Weyland Daniel Wood** of Christchurch being a person entitled to practise as a Registered Surveyor, certify that -
(a) the surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Survey Act 1986 and the Survey Regulations 1988;
(b) this dataset is accurate, and has been created in accordance with that Act and those Regulations.

Dated at ... this ... day of ... 20 ... Signature

Field Book ... P. ... Traverse Book ... P. ...
Reference Plans ... S.O. ...

Examined ... Correct

Approved as to Survey

Chief Surveyor

Deposited this ... day of ... 20 ...


Registrar-General of Land

File Received Instructions

LAND DISTRICT Canterbury
SURVEY BLK. & DIST. VII Christchurch
NZMS 261 SHIT Record Map No.

LOTS 32,33,165-179,601,603 BEING SUBDIVISION OF LOT 4 D.P.81925

TERRITORIAL AUTHORITY Christchurch City
Surveyed by Davie, Lovell-Smith Limited
Scale 1:600 Date May 2000

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that thrives</i></p>	<p align="center">CHRISTCHURCH CITY COUNCIL</p> <p align="center">CERTIFICATE ISSUED UNDER SECTION 35 (1A) BUILDING ACT 1991</p>	<p align="center">BUILDING CONSENT NO:</p> <p align="center">10011228</p>
---	--	--

Site Address: 28 Aylsham Lane

Owner: B & V Creagh.

Applicant: Dave Busch.

Proposal: Erect Dwelling & Garage.

RESTRICTIONS ON IMPLEMENTING BUILDING CONSENT
--

Until the authorisation identified below has been obtained under the Resource Management Act 1991:

Building work to which the above building consent relates may be undertaken, except that no part of the foundation/floor shall be poured or the ground floor constructed until the Council has received a certificate from a registered surveyor verifying that the siting and foundation/floor levels are in accordance with the approved consent plans.

Please forward the building location certificate to the Team Leader- Field Inspections, Civic Offices. Fax 371-1920

Signed for and on behalf of the Council: F.A. Bustin Date: 16/2/01

Name: F.A. BUSTIN Position: BUILDING CONSENT OFFICER

For: Area Development Officer



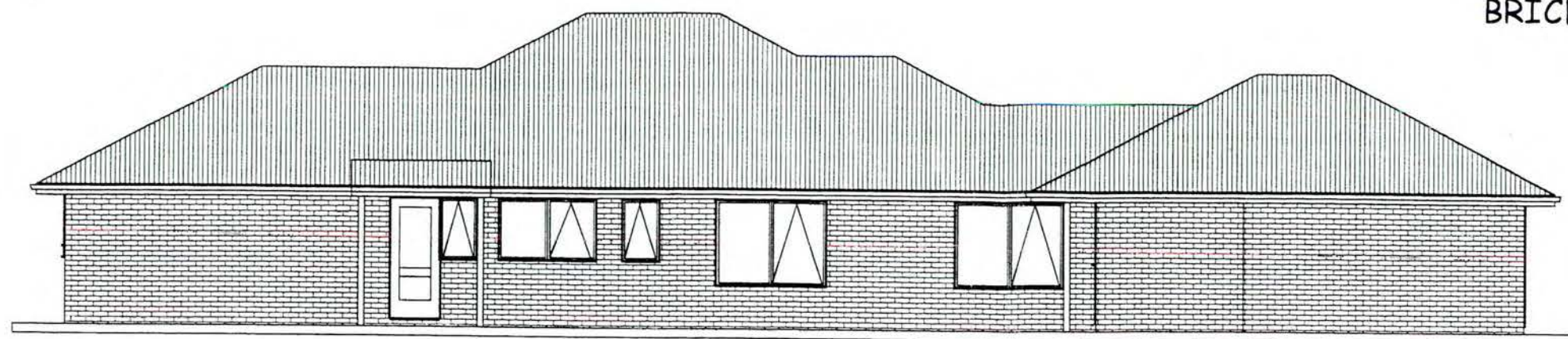
PLANNING APPROVAL OK
Date 16/2/01
Signature JAB:ustin

Proposed home for : **B & V . C R E A G H .**
LOT. 170 . AYLSHAM LANE .

		Plan Number. 90304	Sheet. 1
Drawn. JERM OR IGGY	Checked.	Scale. 1 : 100	Series of.
Traced.	Date:		Ref.

Note: All Dimensions are shown "Over Frame" The Builder is to allow for the approved veneer and cavity.

28 DEGREE COLOURSTEEL ROOF .
BRICK VENEER.

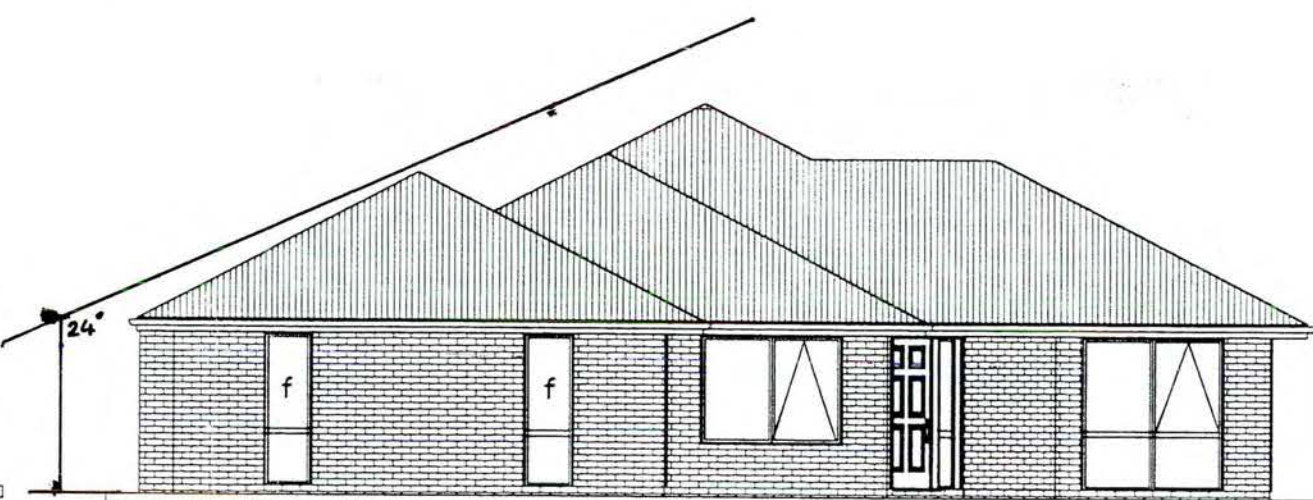


ELEVATION . A .

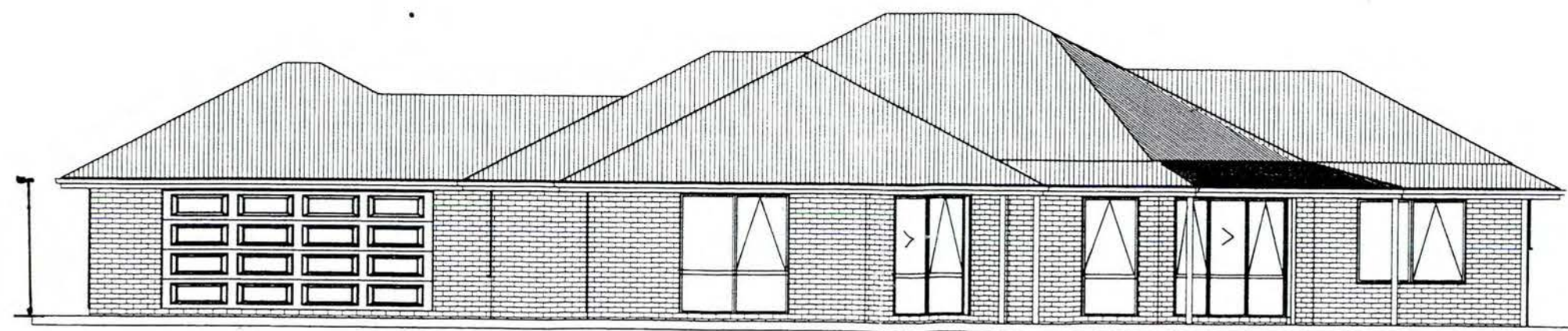
10011223



ELEVATION . B .



ELEVATION . D .



ELEVATION . C .

N O T E : ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE UNDERSIDE OF SOFFITS (ONLY ON HOUSES WITH SOFFITS). AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS (ESPECIALLY IN CASES WHERE THERE IS NO SOFFITS approx 2.040 m high.)

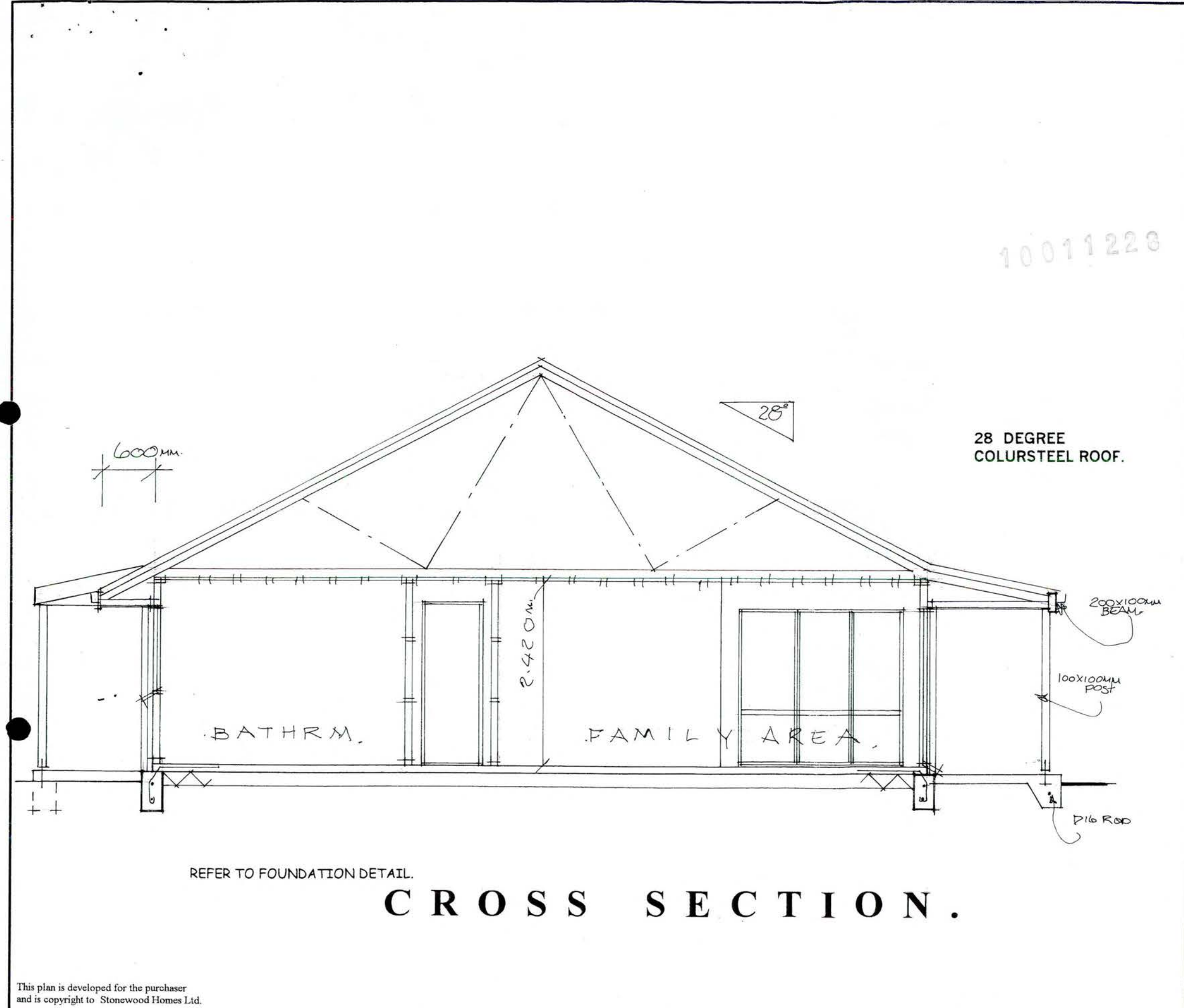
**STONEWOOD
HOMES.**

204 Main North Road .
P.O Box 20 278, Papanui .
Christchurch. New Zealand.
Phone: 64 3 354 2344.
Fax: 64 3 354 2342
Email : info@stonewood.co.nz
Internet : www.stonewood.co.nz

Proposed home for : **B & V . C R E A G H .**

LOT. **170 . A Y L S H A M L A N E .**

Plan Number.		Sheet.	
90304		2	
Drawn. JERM OR IGGY	Checked.	Scales.	Series of.
Traced.	Date:	1 : 100	Ref.



Notes:
1. Foundation construction to comply with N.Z.S 3604 and local building bylaws.

CONSTRUCTION SCHEDULE:

Coloursteel roof 28 Deg. pitch.
Plate trusses @ 900mm ctrs.
Pryde plate or gang nail.
144x31 mm ceiling plated.
90x38 mm top plate (lazer)
69x31 mm ceiling battens @ 400 mm ctrs.
Metal fascia & spouting system.
Hardiflex to soffits.
90x38 mm studs @ 600 mm ctrs (lazer)
90x38 mm dwangs 2 row (lazer)
Metal "L" brace.
50 mm cavity.
60 mm galv. brick ties. 300 mm vertical.
600 mm horizontal.
100 mm concrete floor.
Tailings.
Moistop.
2- D16 Rods.
D10 starters @ 600 mm ctrs.

NOTE:
All construction to comply with NZS 3604 1999.

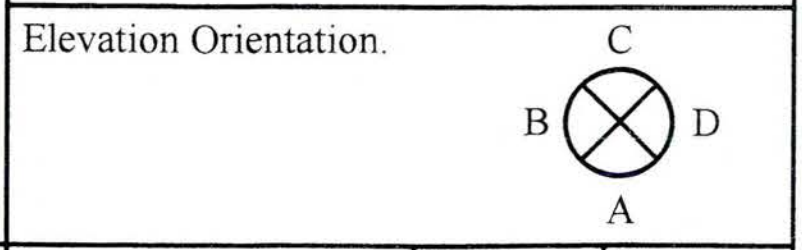
90x38 mm Studs @ 600 mm ctrs
90x38 mm Dwangs (2 rows)
70 series Veneer
60 mm galv. brick ties
300 mm vertical
600 mm horizontal
Building paper

100 mm conc. floor.
Tailings.
Moistop

2- D16 Rods.
R10 Ties @ 600 ctrs.

225
MINIMUM
300

STANDARD BRICK VENEER FOUNDATION.



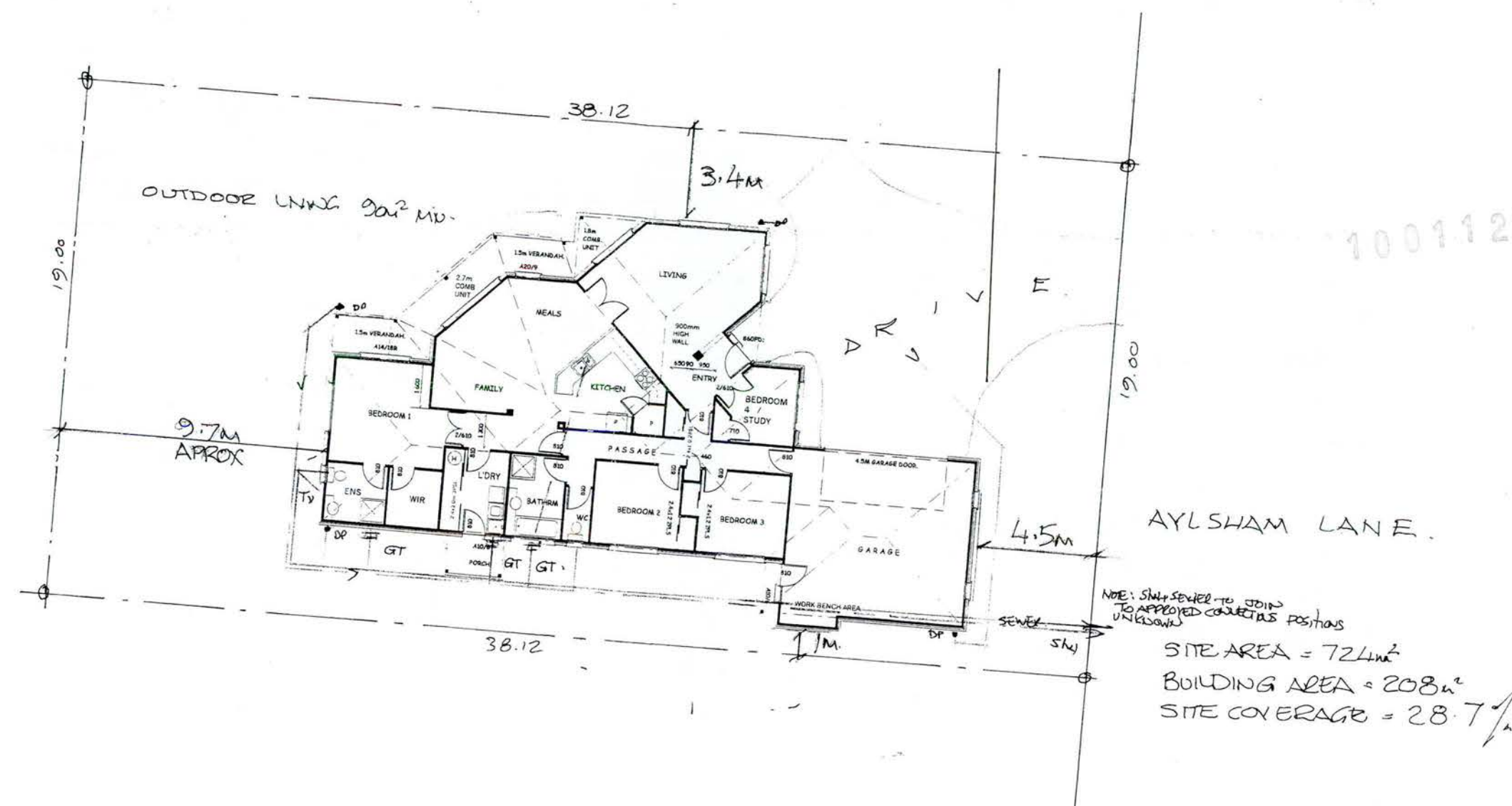
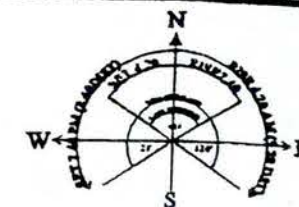
STONEWOOD HOMES.

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P.O Box 20 278, Papanui.,
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Phone: 64 3 354 2344.
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Email : info@stonewood.co.nz
Internet : www.stonewood.co.nz

Proposed home for : **B & V . CREAGH.**

LOT. **170 . AYLSHAM LANE .**

Plan Number.		Sheet.
90304		3
Drawn.	Checked.	Series of.
Traced.	Date:	Ref.
1 : 50		



LEGEND:-

- SEWER PIPE
- - - STORM WATER PIPE
- 65 mm DOWN PIPE

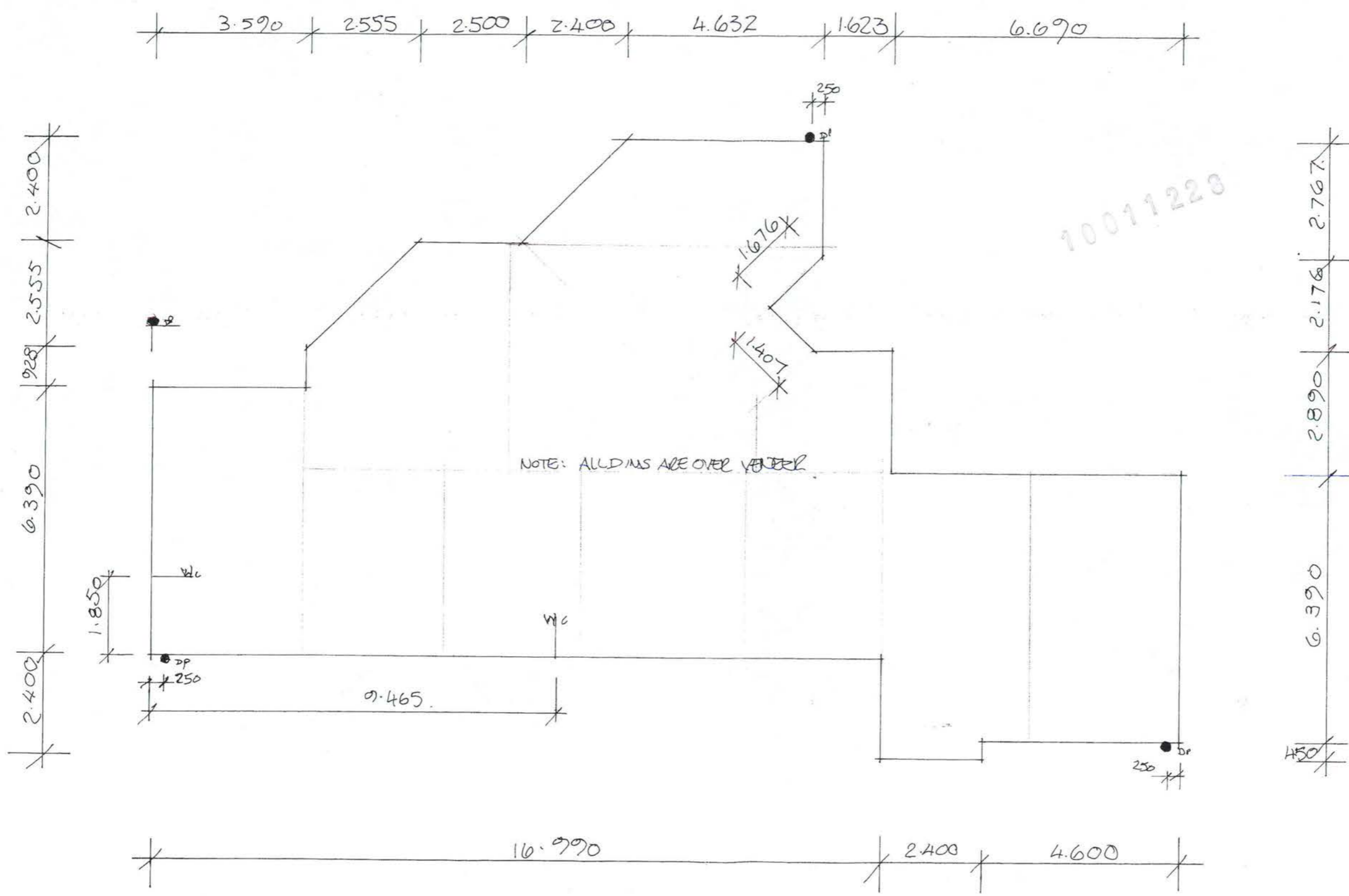
This plan developed for the purchaser
is copyright to Stonewood Homes Ltd.




STONEWOOD HOMES LTD.
204 Main North Road, Papanui.
P.O. Box 20 278, Papanui, Christchurch.
Ph. (03)354 2344. Fax (03)354 2432.

Proposed home for: CREAGH.
LOT. 170. AYLSHAM LANE.

Plan Number 90304		Sheet 4
Drawn EDC	Checked	Scale 1:200
Titled	Date:	Series of 2nd



 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 Project Information Memorandum	FORM BA2A PROJECT NO: 10011228 Issued 16/02/2001
---	---	---

Site Address: 28 Aylsham Lane

Legal Desc: Lot No: 170 **DP No:** 83050

Applicant: Dave Busch
 Stonewood Homes
 204 Main North Road
 Christchurch

Owner: Barry and Val Creagh

Proposal: Dwelling with Attached Garage

The following matters have been identified in respect of the building project:

Council's records indicate the site has suspect bearing capacity due to the presence of soft ground and peat. A report, and if the conditions require, a foundation design by a Structural Engineer may be required prior to the approval of a Building Consent.

The application shows that the building will be constructed on or close to:

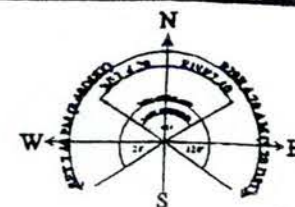
- ☐ the recession plane on the southern boundary

A certificate from a registered surveyor must be provided to the Council prior to the foundation/floor slab being poured which verifies that:

- ☐ the foundation height and finished floor level
 (and)
☐ the building siting from the legal boundary at the critical points detailed above are in accordance with the Building Consent plans approved by the Council.

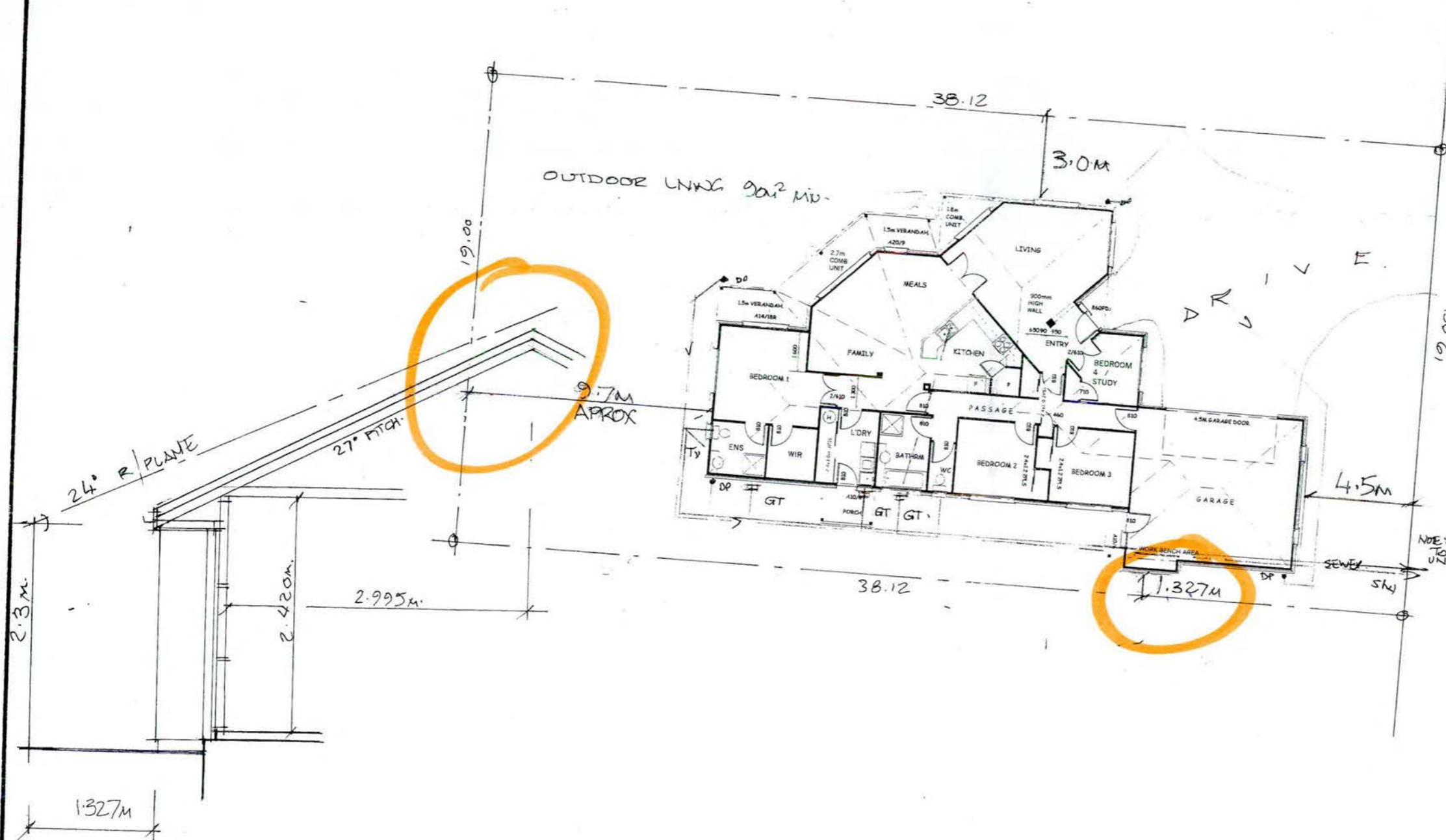
The options available are:

1. Amend the plans so that the building is no longer within 200mm of the measurements identified above. Amended plans should be forwarded to this office if you choose this option.
2. Uplift the Building Consent together with a Section 35(1A) Certificate prepared by the Council. This will specify that the foundation/floor shall not be poured or constructed until the certificate from a registered surveyor has been received by the Council. If you choose this option, please advise this office so that a Section 35(1A) Certificate can be arranged.



**AMENDED
PLANS**
SITING.

CHRISTCHURCH CITY COUNCIL
FABUSTEN
CONSENT DOCUMENT
23 FEB 2001
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.



NOTE: SHALY SEWER TO JOIN TO APPROVED COLLECTOR'S POSITIONS UNKNOWN

SITE AREA = 724.4m²
BUILDING AREA = 208m²
SITE COVERAGE = 28.7%

PLANNING APPROVAL OK

Date 23/2/01

Signature *FABUSTEN*

LEGEND:-

— SEWER PIPE
- - - STORM WATER PIPE
● 65 mm DOWN PIPE

This plan developed for the purchaser is copyright to Stonewood Homes Ltd.

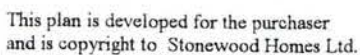


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204 Main North Road, Papanui.
P.O. Box 20 278, Papanui, Christchurch.
Ph. (03)354 2344. Fax (03)354 2432.

Proposed home for: CREAGH
LOT. 170. AYLSHAM LANE.

Drawn IDC	Checked	Plan Number <u>90304</u>	Sheet <u>4</u>
Dated	Date	Scale <u>1:200</u>	Series of
			Ref

AMENDED
PLANS



STONEWOOD
HOMES.

Proposed home for : **B & V . C R E A G H .**

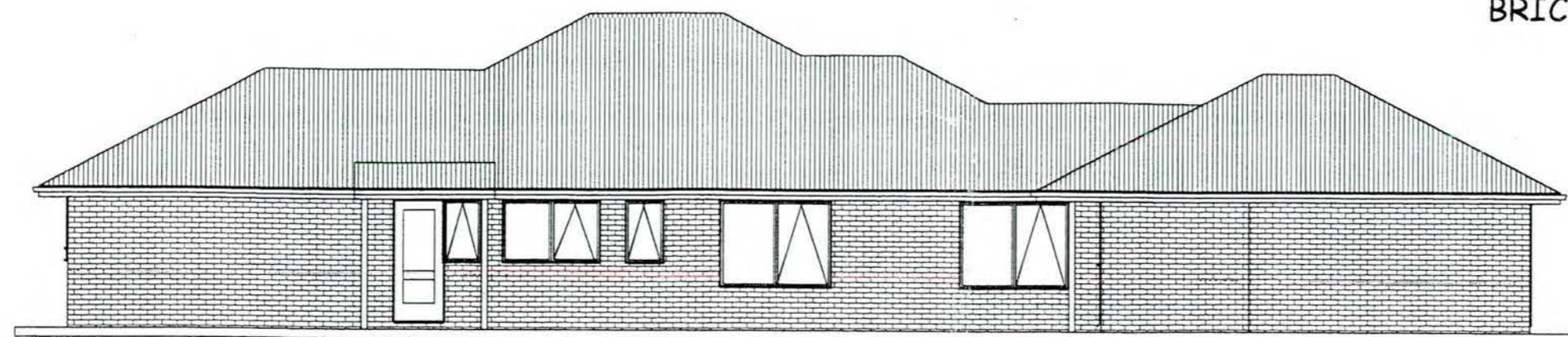
LOT. 170. AYLSHAM LANE.

		Plan Number. 90304	Sheet. 1
Drawn. JERM OR IGGY	Checked.	Scale. 1 : 100	Series of.
Traced.	Date:		Ref.

SCANNED: 12/03/2020 15:41:48 BATCH: 11322 DOC: CCCAUJD Box: 7509

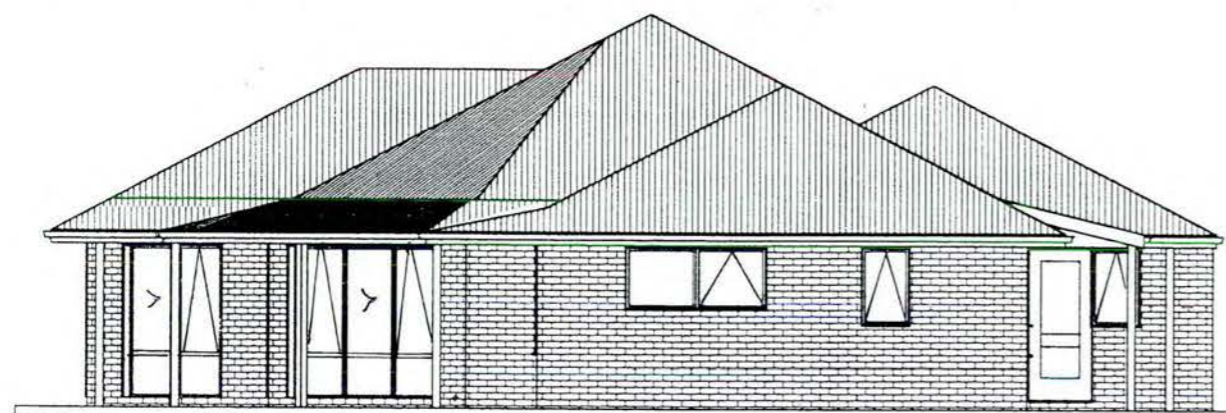
Note: All Dimensions are shown "Over Frame" The Builder is to allow for the approved veneer and cavity.

27 DEGREE COLOURSTEEL ROOF .
BRICK VENEER.



ELEVATION . A .

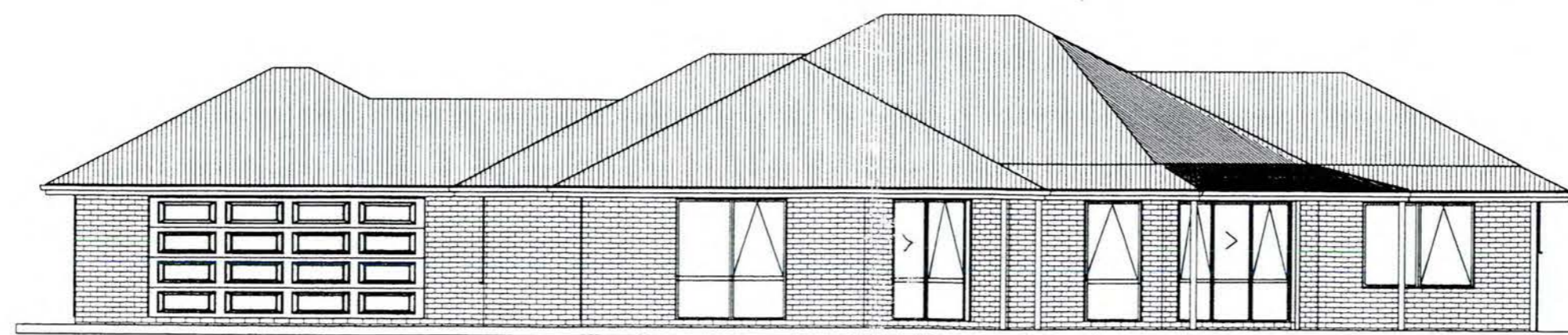
AMENDED
PLANS
SITING REFER
HIGHLIGHTED PLAN.



ELEVATION . B .



ELEVATION . D .



ELEVATION . C .

N O T E : ALL ALUMINIUM WINDOWS AND DOORS TO GO UP TO THE UNDERSIDE OF SOFFITS (ONLY ON HOUSES WITH SOFFITS). AND ALSO FULL HEIGHT WINDOWS TO BE THE SAME HEIGHT AS DOORS (ESPECIALLY IN CASES WHERE THERE IS NO SOFFITS approx 2.040 m high.)

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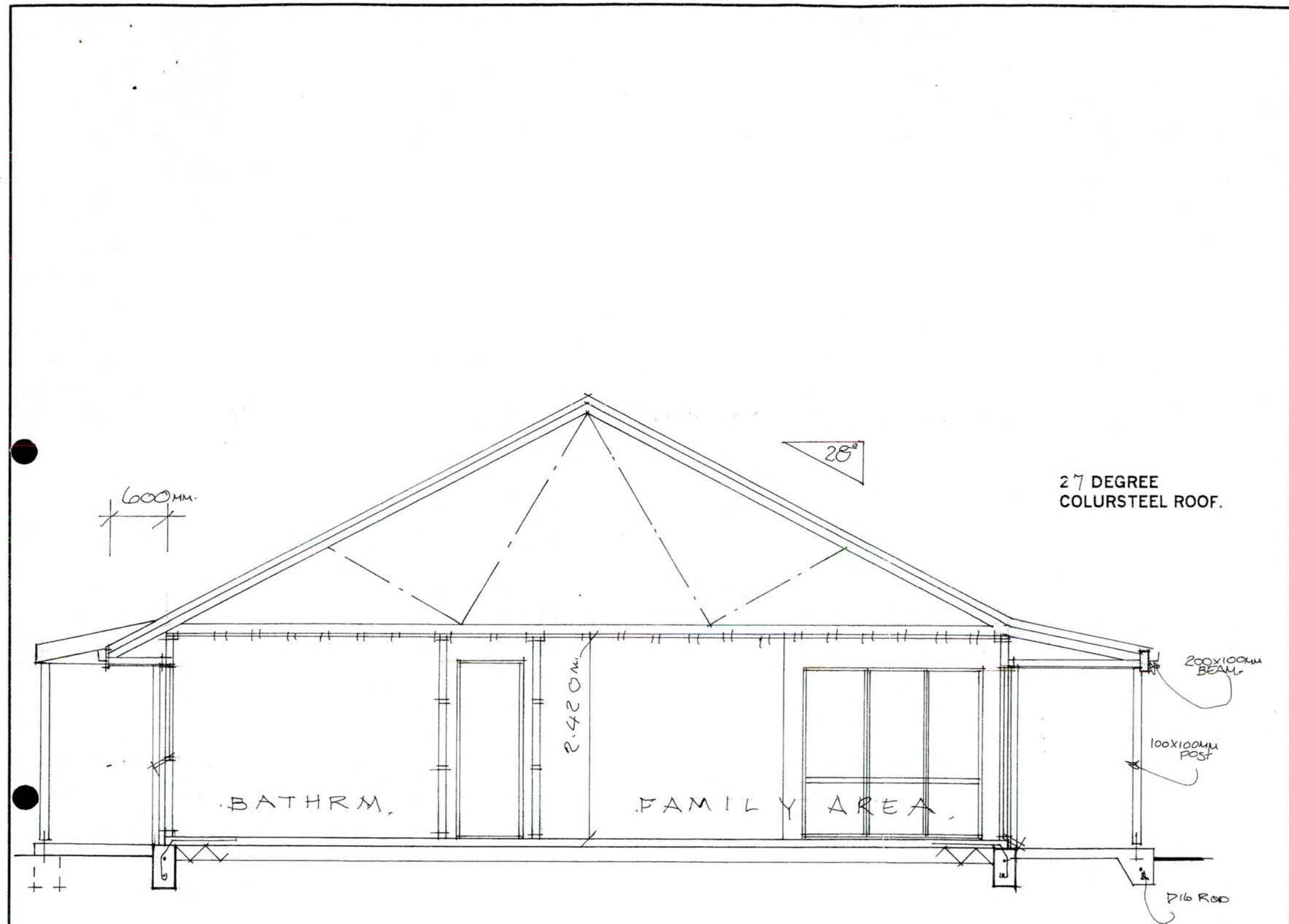
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Phone: 64 3 354 2344.
Fax : 64 3 354 2342
Email : info@stonewood.co.nz
Internet : www.stonewood.co.nz

Proposed home for : **B & V . C R E A G H .**

LOT. **170 . A Y L S H A M L A N E .**

Plan Number.		90304	Sheet.	2
Drawn.	Checked.	1 : 100	Series of.	
JERM OR IGGY	Date:		Ref.	



CROSS SECTION.

STONEWOOD HOMES.
204 Main North Road,
P.O Box 20 278, Papanui.,
Christchurch, New Zealand.
Phone: 64 3 354 2344,
Fax: 64 3 354 2342
Email : info@stonewood.co.nz
Internet : www.stonewood.co.nz

Proposed home for : **B & V . CREAGH.**
LOT. **170 . AYLSHAM LANE.**

Notes:
1. Foundation construction to comply with N.Z.S 3604 and local building bylaws.

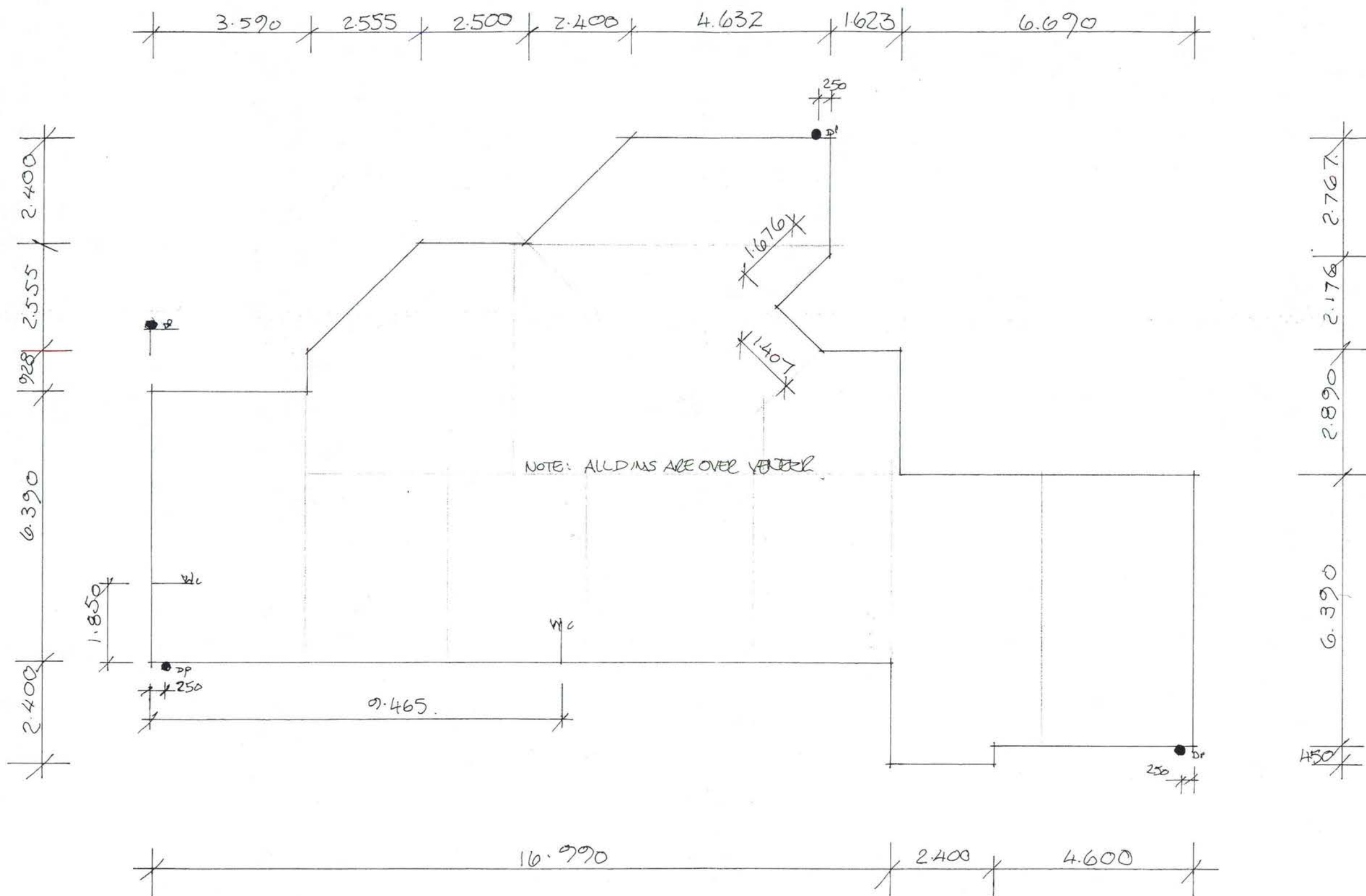
CONSTRUCTION SCHEDULE:

Coloursteel roof 27 Deg. pitch.
Plate trusses @ 900mm ctrs.
Pryde plate or gang nail.
144x31 mm ceiling plated.
90x38 mm top plate (lazer)
69x31 mm ceiling battens @ 400 mm ctrs.
Metal fascia & spouting system.
Hardiflex to soffits.
90x38 mm studs @ 600 mm ctrs (lazer)
90x38 mm dwangs 2 row (lazer)
Metal "L" brace.
40 mm cavity.
60 mm galv. brick ties. 300 mm vertical.
600 mm horizontal.
100 mm concrete floor.
Tailings.
Moistop.
2- D16 Rods.
D10 starters @ 600 mm ctrs.
NOTE :
All construction to comply with.
NZS 3604 1999.

STANDARD BRICK VENEER FOUNDATION.

AMENDED PLANS

Elevation Orientation.			
		Plan Number.	Sheet.
		90304	3
Drawn.	Checked.	Scales.	Series of.
Traced.	Date.	1 : 50	Ref.



AMENDED
PLANS