

## Code Compliance Certificate

### Section 43(3), Building Act 1991

#### Application

R Williams	No.	4225
17D Kiln Street		
Silverstream	Issue date	01/09/2015
UPPER HUTT 5019		

#### Project

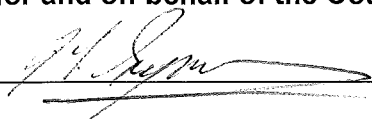
Description	Proposed deck and basement. Basement use is a rumpus room and office/workshop/bedroom
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$8,000
Location	25 Gentian Street, Timberlea
Legal Description	LOT 3 DP 66095
Valuation No.	1520532700

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

**Informational Note:** The building consent that this Code Compliance Certificate relates to has been amended so that building code clause B2.3.1 (durability time is modified to apply from the date of substantial completion) of the building works being **6 April 2001**.

Signed for and on behalf of the Council:

Name:



Date: 01 September 2015

## Waiver or Modification relating to B2 Durability on a Code Compliance Certificate

**Purpose:**

The purpose of this document is request for a waiver or modification as described in section 67 Building Act 2004.

Building Consent no: <u>4225</u>	Date: <u>6-4-2001</u>
Owner's Name: <u>RUTH WILLIAMS</u>	
Address: <u>17 D KILN STREET</u>	
Phone: <u>(04) 5286555</u>	Mobile: <u></u>

Project Description: <u>DECK ALTERATIONS</u>
Address: <u>25 GENTIAN STREET</u>
Legal Description: <u>LOT 3 DP 66095</u>

Request for waiver or modification in respect of compliance with Building Code Clause:  
B2 Durability

As the owner I agree substantial completion of the building, was the 6th Day of APRIL 2001

	Ruth CHESTERMAN	
Signature of Owner/agent	Print Name	Date

**Council Use Only**

Waiver no: \_\_\_\_\_

Recommendation (please tick) ☐ Approved ☐ Declined ☐ Comment

Signature of Council	Print Name	Date

Advised: (Please tick)

<input type="checkbox"/> Code Compliance Certificate dept informed	Date / /
<input type="checkbox"/> Department of Building and housing	Date / /

This code compliance certificate has been issued subject to the modification of clause b2.3 of the New Zealand Building Code incorporated in this building consent to the effect that the required durability periods for building elements put in place in the course of the work carried out under this building consent are to be measured from the date of the substantial completion of the building. In consultation with the owner an agreement has been reached to this date and this has been recorded & signed by the owner above.

## Application for Code Compliance Certificate

### Section 92, Building Act 2004

Send or deliver your application to: Upper Hutt City Council, Private Bag 907,  
838 – 842 Fergusson Drive, Upper Hutt. For enquiries, phone 527 2169..

### The Building Consent

Building Consent Number:

H 225

Issued by:

UHCC

### The Owner

Name of Owner: [include preferred form of title, eg, Mr, Miss, Dr, if an individual]

RUTH WILLIAMS MISS

Contact Person: [only required if different from owner]

ROCH CHESTERMAN MR

Mailing address:

17 D KILN STREET  
SILVERSTREAM

Street address/Registered office:

Contact details:

Landline: 04 528 6555

Mobile: 0272734113

Daytime:

After hours:

Facsimile number:

Email: RAPAEKINSON@HOTMAIL.COM

Please attach one of the following as evidence of ownership to this application:

☐ copy of certificate of title, ☐ lease, ☐ agreement for sale and purchase, ☐ or other document no older than 3 months showing full name of legal owner(s) of the building

### Agent

Name of Agent: [only required if application is being made on behalf of the owner]

Contact Person:

Mailing address:

Street address/Registered office:



**Contact details:**

Landline: \_\_\_\_\_

Mobile: \_\_\_\_\_

Daytime: \_\_\_\_\_

After hours: \_\_\_\_\_

Facsimile number: \_\_\_\_\_

Email: \_\_\_\_\_

**Relationship to Owner:** *[state details of the authorisation from the owner to make the application on the owner's behalf]*

Partner.

**First point of contact***[if different from Owner or Agent]***Name of contact:** \_\_\_\_\_**Mailing address:**\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_**Street address/Registered office:**\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_**Contact details:**

Landline: \_\_\_\_\_

Mobile: \_\_\_\_\_

Daytime: \_\_\_\_\_

After hours: \_\_\_\_\_

Facsimile number: \_\_\_\_\_

Email: \_\_\_\_\_

**Application***All building work to be carried out under the above building consent was completed on**The personnel who carried out the building work are as follows:***Concreter:**

Business/name: \_\_\_\_\_

Address: \_\_\_\_\_

Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_

After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_

Registration/qualification: \_\_\_\_\_

Product name: \_\_\_\_\_

Manufacturer: \_\_\_\_\_

**Joiner:**

Business/name: \_\_\_\_\_

Address: \_\_\_\_\_

Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_

After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_

Registration/qualification: \_\_\_\_\_

Product name: \_\_\_\_\_

Manufacturer: \_\_\_\_\_

**Tanking applicator:**

Business/name: \_\_\_\_\_

Address: \_\_\_\_\_

Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_

After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_

Registration/qualification: \_\_\_\_\_

Product name: \_\_\_\_\_

Manufacturer: \_\_\_\_\_

**Plasterer/textured coater:**

Business/name: \_\_\_\_\_

Address: \_\_\_\_\_

Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_

After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_

Registration/qualification: \_\_\_\_\_

Product name: \_\_\_\_\_

Manufacturer: \_\_\_\_\_



**Gasfitter:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

**Electrician:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

**Plumber:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

**Drainlayer:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

**Carpenter:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

**Brick/Block layer:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

**Deck/roof membrane applicator:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_  
Product name: \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

**Roofer:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_  
Product name: \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

**Concealed fascia installer:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_  
Product name: \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

**Others:**

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_  
Product name: \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

## Compliance Schedule

*The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing standards set on in the building consent:*

<input type="checkbox"/> There are no specified systems in the building	
Cable Car (including to individual dwelling)	<input type="checkbox"/>
Automatic systems for fire suppression (for example, sprinkler systems)	<input type="checkbox"/>
Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="checkbox"/>
Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>
Emergency lighting systems	<input type="checkbox"/>
Escape route pressurisation systems	<input type="checkbox"/>
Riser mains for Fire Service use	<input type="checkbox"/>
Any automatic back-flow preventer connected to a potable water supply	<input type="checkbox"/>
Lifts, escalators, travelators or other systems for moving people or goods within buildings	<input type="checkbox"/>
Mechanical ventilation or air-conditioning systems	<input type="checkbox"/>
Means of escape from fire	<input type="checkbox"/>
Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>
Emergency power systems for, or signs relating to, a system or feature specified	<input type="checkbox"/>
Safety barriers	<input type="checkbox"/>
Means of access and facilities for use by persons with disabilities which meet the requirements of section 118	<input type="checkbox"/>
Hand-held hose reels for fire fighting	<input type="checkbox"/>
Such signs as are required by the Building Code or by section 120	<input type="checkbox"/>
Laboratory fume cupboards	<input type="checkbox"/>
Audio loops or other assistive listening systems	<input type="checkbox"/>
Smoke control systems	<input type="checkbox"/>

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

**The code compliance certificate should be sent to:** [state which address, and whether owner or agent]

**Signed by the owner OR**

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Date: \_\_\_\_\_

**Signed by the agent** [on behalf of, or with authority from, the owner]

Signature: Raenae

Name: ROCK CHESTERMAN

Date: 11 AUG 15

## Attachments

**The following documents are attached to this application:**

- ☐ Certificates from the personnel who carried out the work
- ☐ Certificates that relate to the energy work
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent



# CCC Application Checklist

Address: <i>25 Gentian Street</i>				Date Issued:			
Tick in "Required" column all inspections required by the consent. For each required inspection tick in the "Completed" and "Passed" columns (checking each of the respective inspection forms in the file).				Building Consent No: <i>4225</i>			
NOTE: Check the inspection list (or NCS) for inspections loaded against the consent.				NOTE: Check all specifications that pertain to specialist elements (Engineering, HVAC, Fire, Alarms etc) for certification and commissioning requirements.			
PROCESSING CHECKLISTS PRESENT? Y/N				If the processing checklist is not present: Why?			
Required Inspections	Required	Completed	Passed	Required Documents	Required	Supplied	Accepted
Site - Location of the building on site				Application for Code Compliance Cert (Form 6)	<input checked="" type="checkbox"/>		
Foundation				Copy of electrical certificate			
Piles/Posts				Copy of gas certificate			
Pre-slab-building				"As built" drainage plan			
Subfloor framing				Construction/ Review statement for:			
Block-fill				Structural engineering			
Block/wall tanking				Geotechnical engineering			
Pre-wrap				Fire engineering			
Pre-clad				HVAC engineer			
Brick veneer				Electrical engineer			
Pre-line building				Hydraulic engineer			
Wet area membranes				Form 6A LBP Memorandum			
Post-line				Certificate from the alarm installer			
Free Standing Fireplace				Certificate from the accredited alarm certifier			
In Built Fireplace				Certificate from the sprinkler installer			
Final building	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Certificate from the accredited sprinkler certifier			
<b>Plumbing and Drainage inspections</b>				Certificate for lift (Independent level 2 lift certifier)			
Drainage - surface water, foul water				Commissioning certificate and installation statements for emergency lighting			
Pre-slab plumbing				HVAC installers commissioning certificate			
Pre-line plumbing				Membrane applicators certificate			
Final Plumbing/Drainage				Roofer installers warrantee			
<b>Specialist inspections: (note below)</b>				Truss design certificate			
				Pre-cut framing statement			
				Texture coating/cladding warrantees			
				Window and door joinery warrantee			
				<i>B2 Warrant</i>			
				Reserve Fund Contribution			

# CCC Application Checklist

If inspections have been missed (or failed with no recorded resolution) what supporting info and methods of verification have been provided to compensate for missed/failed inspections? (describe):

*SITE Inspection to check B/L fac + RBW*

**Record of work Memos:** Confirm that the status of all LBP's and the memorandum is correct

**NOTE: For RBW consents check the design memo and finalised LBP list (form 352) to ensure all RBW work has been covered and all recorded LBP have supplied record of work (Form 6a memos).**

Outline:

*NOT APPLICABLE*

If specific supporting documents have not been provided, what alternative information of verification method has been provided to compensate. (describe):

*All work completed by owner*

	Y/N
Is the work in accordance with the building consent and approved amendments?	<i>✓</i>
If no, has a notice to fix been issued?	
Have any items of non-compliance been resolved and NTF uplifted?	

**Note: if work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate and advise the applicant/owner of the information or action required (such as; requesting an amendment to be made and/or, works to be completed and/or declarations/statements to be supplied).**

Compliance Schedule	Y/N or N/A
Is a new or amended compliance schedule required?	
Has it been issued? (refer to note below)	
If the new or amended compliance schedule has not been issued, what action has been taken to ensure it will be issued. Outline:	

**Note: if the compliance schedule or amended compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Defer issuing CCC until this matter is addressed.**



# CCC Application Checklist

<b>Building Consent requirements.</b>	Y/N
Are there any items specified in the consent or PIM that have not been completed?	<i>N</i>
Outline	

Check to ensure if all outstanding fees are paid. Check the number of inspections undertaken against the number paid for and check that there are no Development Contributions that need to be paid.

Yes / No

The BCA has assessed the associated Code Compliance Certificate application and is satisfied that the building work has been completed in accordance with the respective building consent. All relevant supporting documentation and certificates have been provided and all relevant fees have been paid. The Code Compliance Certificate can be issued.

Name:

*Scott Symons*

Signature:

*[Signature]*

Date:

*14-8-2015*





# SCOPE OF INSPECTION SHEET

Date 11-8-2015 SR or BCA 4225

Time 10:30 AM

Owner Name RUTH WILKINS Project Description

Site Address 25 GORTON STREET

PHONE  
Check Email  
Address

NO

Building Plumbing

Circle appropriate Type & Inspection

Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

Notes

Diagram (if necessary)

DECK HAS NOW BEEN STRENGTHENED  
# ONE NEW BOLTS, TWO, 7 HANG,  
POST BRACKETS INSTALLED  
ROTTED DECKING REMOVED MORE  
WITH - HANDSAW.

DECK IS NOW IN SOUND CONDITION.

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

EMAIL =

Confirmation of person on site

Result: Pass

Part pass

Fail

Name LBP No.

Your next inspection will be  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Rachel Rose Chesterman Sign Rachel

Officer Name JEFF SYMONS Sign Jeff Symons

Information entered into data base ☐

Initial

Date 1/1/15

## Waiver or Modification relating to B2 Durability on a Code Compliance Certificate

**Purpose:**

The purpose of this document is request for a waiver or modification as described in section 67 Building Act 2004.

Building Consent no: <u>4225</u>	Date: <u>6-4-2006</u>
Owner's Name: <u>RUTH WILLIAMS</u>	
Address: <u>17/D KILN STREET SILVER STREET</u>	
Phone: <u>04-5286555</u>	Mobile: <u>                    </u>

Project Description: <u>DECK ALTERATIONS</u>
Address: <u>25 GENTIAN STREET</u>
Legal Description: <u>LOT 3 DP66095</u>

Request for waiver or modification in respect of compliance with Building Code Clause:  
B2 Durability

As the owner I agree substantial completion of the building, was the \_\_\_\_\_ of

Ruth Williams Ruth Williams \_\_\_\_\_  
Signature of Owner/agent Print Name Date

**Council Use Only**

**Waiver no:** \_\_\_\_\_

**Recommendation (please tick)**   ☐ **Approved**                      ☐ **Declined**                      ☐ **Comment**

\_\_\_\_\_  
Signature of Council                      Print Name                      Date

**Advised: (Please tick)**

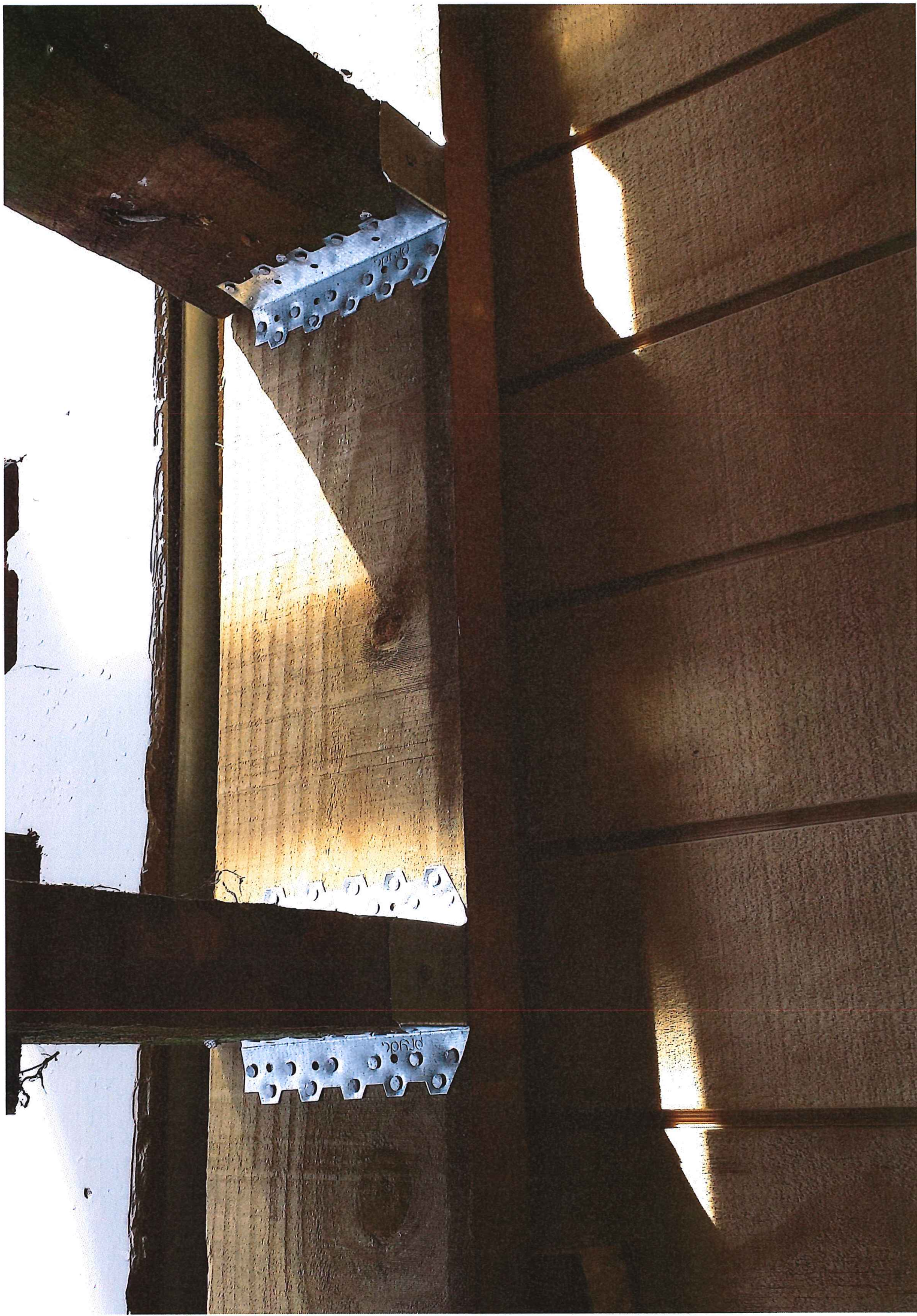
- ☐ Code Compliance Certificate dept informed                      Date                      /                      /
- ☐ Department of Building and housing                      Date                      /                      /

This code compliance certificate has been issued subject to the modification of clause b2.3 of the New Zealand Building Code incorporated in this building consent to the effect that the required durability periods for building elements put in place in the course of the work carried out under this building consent are to be measured from the date of the substantial completion of the building. In consultation with the owner an agreement has been reached to this date and this has been recorded & signed by the owner above.



























**COPY ONLY**

A & B Marshall  
25 Gentian Street  
UPPER HUTT 5018

**Date** 12/08/2014

**Building Consent No, 4225**

Mr & Mrs Marshall,

My apologies for the time it has taken me to get back to you in regards to your consent.

I have spoken with my manager (John Hudson) regarding the best way for us to bring this consent to a close.

It appears that we have not carried out any Inspections on your deck which according to our records that is what the consent was issued for, however according to documents that you have they include the internal alterations to the laundry, bathroom, and toilet in the basement. As you can appreciate this causes us some embarrassment which we would like to rectify.

With your permission I would like to remove from this consent all reference to the deck from our records & add the works for the basement alterations which we have had 3 Inspections carried out on, this way I will be able to issue a Code of Compliance for these works.

This would mean that any works to be carried out on your deck would require a new consent **(I believe that your deck requires urgent attention as it appears very unstable)**

If you are happy for me to do this then I will need from you a letter informing us that as no work has taken place on you deck you would like it removed from this consent & that should you carry out any further work then you will apply for a new consent.

I trust that this will meet with your approval & await you instructions

Jeff Symons

BUILDING INSPECTIONS OFFICER  
PHONE 027444 1907

<b>Building Consent Enquiry</b>
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PIM/Consent No. 4225

**The Building**

**Valuation No**      1520532700  
                          General Property Enquiry  
**Street Address**    \*\* 25 Gentian Street Timberlea  
**Legal Description**   \*\* LOT 3 DP 66095  
**Floor (m2)**            0  
                          1520532700 : 25 Gentian Street, Upper Hutt : LOT 3 DP 66095  
**Owner**                \*\* Marshall  
**Current Status**      Lapsed Reminder Letter 17/06/13  
                              BCLAPSE  
**Process Days Taken To Issue**    8

**The Applicant**

**Name**                Marshall  
**Mailing Address**  
**Balance**             \$ 0.00

**Building Work**

**Type of Work**        Deck Alterations  
**Intended life / Durability**  
**Being stage**         1 OF 1  
**Stats code**          2 Alterations  
**Estimated value**    \$8,000  
**Resource Consent?**  
**Dev Contrib Notice?**

                             \$437.00  
**Total Charges**      \$437.00

**Status history**

Formally received	3/10/94	
Granted	13/10/94	
Lapsed Reminder Letter	17/06/13	BCLAPSE

**Contractors**        None recorded.

**Forms that should have been saved**  
**Consent**

**Forms and Letters Actually Saved**    None Found

**Notes**

None found



**Diary Reminders**None found

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**Standard and  
Non-Standard  
Conditions**No conditions applied to this consent

---

**Standard and  
Non-Standard  
Addenda**No addenda attached to this application

---

**Standard and  
Non-Standard PIM Notes**None found

---

**Inspections**None found

---

**Standard and  
Non-Standard CCC Conditions**None found

---

**Work to be Stopped  
and****Notice to Fix  
Conditions**None found

---

**RM Certificate**None found

---

**Letter 1 and****Letter 2 Paragraphs**None found

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# Upper Hutt City Council

BUILDING CONSENT No: 4225

OWNER / APPLICANT		PROJECT	
Name: <u>A &amp; B Marshall</u>		New or relocated building <input type="checkbox"/>	
Mailing Address: <u>25 Genthian St</u>		Alteration <input type="checkbox"/>	
<u>Upper Hutt</u>		Demolition <input type="checkbox"/>	
Contact: .....		Intended use:	
Phone: <u>528 8009</u> Fax: .....		<u>Alterations</u>	
<b>COUNCIL CHARGES</b>		Floor Area <u>36</u> m <sup>2</sup>	
The Council's charges payable upon application for this building consent.		Intended life:	
<b>FEES: (herewith incl of GST)*</b>		Indefinite but not less than 50 years <input type="checkbox"/>	
B.R. Levy	\$.....	Specified as ..... years	
B.I.A. Levy	\$.....	Stage <u>1</u> of an intended <u>1</u> stages	
Building Consent Fee	\$ <u>437</u>	Estimated Value (incl. GST): \$ <u>8000</u>	
Water Connection Fee	\$.....	<b>PROJECT LOCATION:</b>	
Sewer Connection Fee	\$.....	Street address(if any) <u>25 Genthian</u>	
S/W Connection Fee	\$.....	<u>LOT 3 DP 66095</u>	
Other Fees	\$.....	Legal Description:	
		<u>LOT 3 DP 66095</u>	
<b>SUBTOTAL</b>	\$.....	G.S.T = \$.....	Application Fee <u>\$437</u>
Builders Deposit	\$.....	Builder: <u>Self</u>	Receipt No: <u>10076</u>
Water Deposit	\$.....	.....	Date: <u>3.10.94</u>
Road Reinst. Dep.	\$.....	.....	Final Fee: .....
<b>TOTAL FEES PAYABLE:</b>	\$.....	Address: .....	Adjustment: .....
		.....	<b>To Pay/Refund</b>
		.....	Receipt No: .....
		.....	Date: .....
		.....	Consent Issued: .....

\*Actual costs may be recovered when they exceed the basic fee. This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act. This building consent is issued subject to the conditions specified in the attached.....pages headed "Conditions of Building Consent No....."

Signed for and on behalf of the Council: Name: Jim Rowe


Position: ..... Date: 13/10/94



24/06/13	Site visit John Hudson + Tony Weaver + Owens. (SEE DIALOGUE RECORD DATED 26-6-2013)
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**Dialogue Record:** Complete for all applications where there is dialogue with the contact, owner or agents

Date /Time	Medium and participants Phone/email/fax/letter Who to and who from	Summary of dialogue. Reference to documents sent/received
<p>Date: 24/6/2013</p> <p>Time: 2 – 3pm</p>	<p>Site inspection by Tony Weaver and John Hudson to establish the progress of an old consent where no inspections have been undertaken and pave a way forward for the owner. The owner's representative Rock Chesterman was on site – 027 273 4113</p>	<p>At the site inspection it was discovered that the deck and stair had deviated from the consented drawings and that connections, bearing and bracing was to an alternative method. Due to the age of the consent there was very little detailing in respect to the basement addition. The foundation walls have been poured without inspection and the bracing and connections within the basement were not to a verifiable method. There was also some concern noted in respect to weather proofing of the deck connection, the ply deck over the basement (with no membrane over) and the lack of general weather tightness to the basement area.</p> <p>The representative (Rock Chesterman) was left with a site instruction to re-engage his engineer to survey the building and provide verification and/or remediation design to rectify and remediate. Special attention needs to be given to the structural stability and weather-tightness of the decks and basement area. Once a scope of works had been established this would need to be forwarded to Council as a proposal as Council would need to consider whether or not this should be included as part of the existing consent or if it was outside the scope of an allowable amendment and that a new consent would be required.</p>

 26-6-2013





# SCOPE OF INSPECTION SHEET

Date 25-9-2013 SR of BCA 4225 Inspection No. ....

Time 4:00 Documents on site YES / NO

Owner Name A+B MARSHALL Project Description WATER

Site Address 25 GENTIAN STREET

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection

Other WATER

☐ Site ☐ Found ☐ Piles ☐ PreSlab ☐ Subfloor ☐ Drainage ☐ PreWrap ☐ PreClad ☐ Weathertight ☐ PreLine ☐ PostLine ☐ Block ☐ Brick ☐ Ret.Wall ☐ Final

Engineer Supervision Yes No n/a - Name .....

Notes .....

Diagram (if necessary)

2 PRODUCTS USED 'CRIPSET' +  
DAMPX 2  
2 COATS WATERPROOFING DAMPX 2  
+ 2 COATS CRIPSET  
SILICONE SEALANT N/C OVER  
Concrete Floor

WATER MARKS BEHIND WOOD TO  
FLOOR + WALLS

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Confirmation of person on site

Result: Pass

Part pass

Fail

Name LBP No.

RICHARD WILLIAMS

Your next inspection will be FINAL  
(Guidance notes for inspection on the rear of this sheet)

Agreed, ROCK CHESTERMAN  
(Print Name)

Sign [Signature]

Officer Name Self

Sign [Signature]

Information entered into data base ☐

Initial .....

Date 1/1/1



## SCOPE OF INSPECTION

Inspections are made in conjunction with, and with the cooperation of, the owner/owner's agent to ensure that the building work complies with the provisions of the Building Act and NZ Building Code. The inspection is general in nature and involves an audit of the following aspects:

**Engineer – Civil/Structural/Fire/Geotechnical:** An engineer has been engaged to carry out inspections on behalf of the owner. Please ensure those inspections are carried out. A Certificate of Expert Opinion is required to be supplied to Council.

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**Foundation:** When all formwork has been completed, footings have been excavated and reinforcement is in place.

**Piles:** When all holes are excavated prior to installation.

**Pre-slab plumbing (concrete slab):** When all plumbing and drainage pipes have been installed, prior to backfilling.

**Pre-slab building (concrete slab):** When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.

**Sub-floor (timber suspended floor):** When all sub-floor connections, joists and required blocking, and any suspended plumbing pipe work have been completed, but before any flooring or base boards have been fitted. Relocated dwellings require a sub-floor inspection prior to the base boards being fitted.

**Drainage:** When all drainage works is completed and is under test, before backfilling occurs. As laid drainage plan is required at time of inspection.

**Pre-wrap:** When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.

**Pre-clad:** When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity systems), cavity closers and all flashing systems are in place, but before joinery has been installed.

**Weathertightness:** When exterior cladding has been installed, flashings in place, air seals fitted to openings, but before any coating system have been applied.

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**Wet area membranes, decks, roofs and shower area:** Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation.

Post application of wet area membrane.

**Post-line:** When all interior linings have been installed, but before skirting, Scotia or plastering stopping. Installation details of screws check of wall bracing element.

**Block:** When all masonry block work including block foundations for slab floors, is completed, reinforcing in place and washout openings in place.

**Brick Veneer:** When veneer is at half height and all flashings are in place.

**Retaining wall:** Pre application of waterproof membrane system.

Post application of waterproof membrane system.

Protection installed for membrane system and installation of perforated drainage system before back filling.

**Final:** Final inspections are carried out at the completion of the project and may include entire project, plumbing, drainage and storm water. The Code Compliance Certificate is issued if the building work complies with the approved building consent.

**Free Standing Fireplace:** Final inspection required only.

**In Built Fireplace:** Inspection required before installation and after installation.

## PRIVACY STATEMENT

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# BLOCK / BRICK / RETAINING WALL / SOLID FUEL HEATER

Date 25.9.2013 SR or BCA H225 Inspection No. ....

Time 4:00 Documents on site YES / NO

Owner Name A.B. MARSHALL Project Description H.M.S.

Site Address 25 GERMAN STREET

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

## BLOCK

Washouts	P	F	NA	Control joints	P	F	NA	Engineer Design	P	F	NA
Reinforcing	P	F	NA	Mortar Bedding	P	F	NA	Engineer Report available	P	F	NA
Starters	P	F	NA	Eng. Company:							Eng. Name:

## BRICK VENEER

Min/max cavity achieved	P	F	NA	Mortar Bedding	P	F	NA	Rebate clear of debris	P	F	NA
Brick tie fixings	P	F	NA	Flashings to openings	P	F	NA	Veneer overhang	P	F	NA
Washouts	P	F	NA	Brick tie durability	P	F	NA	Brick tie spacing	P	F	NA
Weep holes	P	F	NA	Building wrap	P	F	NA	Head Lintels	P	F	NA
Mortar strength	P	F	NA	Under window vents	P	F	NA	Control Joints	P	F	NA

## RETAINING WALL

Reinforcing	P	F	NA	Backfill drainage material	P	F	NA	Timber treatment	P	F	NA
Waterproof membrane	<u>B</u>	F	NA	Discharge point	P	F	NA	Surcharge to design assumptions	P	F	NA
Membrane protection	<u>B</u>	F	NA	subsoil drain	P	F	NA	Inclination angle	P	F	NA
Cleaning/Flush point	P	F	NA	Engineer design	P	F	NA	Engineer Report Available	P	F	NA
	P	F	NA	Eng. Company:							Eng. Name:

## SOLID FUEL HEATER

Inbuilt	Y / N			Free standing	Y / N			Wetback	Y / N		
Chimney interior	P	F	NA	Tempering valve (wetback)	P	F	NA	Ceiling plate	P	F	NA
Chimney exterior	P	F	NA	Flue swept	P	F	NA	Seismic fixing	P	F	NA
Flue height	P	F	NA	Flue support ceiling	P	F	NA	Flue flashing	P	F	NA
Smoke detectors fitted	P	F	NA	Roof	P	F	NA	Installer Check sheet	P	F	NA

Make:..... Installer:.....

Officer Sign: [Signature] Name: ..... Date: 25.9.13





## SCOPE OF INSPECTION SHEET

Date 18-9-2013 SR or BCA H225 Inspection No. ....

Time 3:30 PM Documents on site YES / NO

Owner Name MARSHALL Project Description WATER

Site Address 25 GARTIAN STREET

☒ Building ☒ Plumbing Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight ☒ PreLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes ..... Diagram (if necessary)

15mm Dux Sealer HOT + COLD Feed  
Room Existing. (HOLDING WATER) 200 PSI.

40mm Shower 32mm Vanities +  
100mm W.C. UPVC WASTES

Render BATTENS To ceiling  
Insulation installed  
All AQUALINE MAS BE installed  
+ STAPLED To walls + Ceiling

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Confirmation of person on site

Result: ☒ Pass ☐ Part pass ☐ Fail

Name Van Tong Gordon LBP No. 20390  
M. Y. Gordon

Your next inspection will be WATER PROOFING  
(Guidance notes for inspection on the rear of this sheet)

Agreed Ruth Williams Sign Ruth Williams  
(Print Name)

Officer Name Sup. S. Evans Sign Sup. S. Evans

Information entered into data base ☐ Initial ..... Date ...../...../.....

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Post application of wet area membrane.

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## WEATHERTIGHTNESS / PRELINE / POSTLINE

Date 18-9-2013 SR or BCA L225 Inspection No. ....

Time 3:30 PM Documents on site YES / NO

Owner Name MARSHALL Project Description Garage

Site Address 25 GANTIAN STREET

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

Sighted previous inspection notes	<u>Y</u>	N	NA	Conforms with approved drawings	<u>Y</u>	N	NA	Confirm Additional information/amended plan	Y	N	NA
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### WEATHERTIGHTNESS

Cladding selection complies with BC?	P	F	NA	Roof material complies with BC?	P	F	NA	Sheets fixed to manufacturers	P	F	NA
Roof fixing complies	P	F	NA	Fixings appropriate for durability?	P	F	NA	Sheet layout	P	F	NA
Ridge/hip flashings in place	P	F	NA	Roof/wall junctions flashed	P	F	NA	Control joints where appropriate	P	F	NA
Penetrations correctly flashed	P	F	NA	Fixings appropriate for bracing elements	P	F	NA	Flashings in place	P	F	NA
Clearance provided for fascia & spouting	P	F	NA	Ground clearances achieved	P	F	NA	Clearance off deck surface	P	F	NA
Flashings/wraps in place, parapets/barriers	P	F	NA	Glazing – human impact	P	F	NA	Truss/Rafter fixings	P	F	NA

### PRELINE

Max moisture Content .....	<u>P</u>	F	NA	Insulation R Value <u>Pink 150mm</u>	<u>P</u>	F	NA	Bracing connections	P	F	<u>NA</u>
Ventilation to rooms <u>MECHANICAL</u>	<u>P</u>	F	NA	Top plate connection	P	F	<u>NA</u>	Air seals	P	F	<u>NA</u>
Timber treatment	<u>P</u>	F	NA	Ceiling batten spacing	<u>P</u>	F	NA	Bottom plate fixings	<u>P</u>	F	NA
Lintel/beam size & fixing	P	F	<u>NA</u>	Stud spacing	<u>P</u>	F	NA		P	F	NA
Plumber Name				TPR line	P	F	NA	Waste pipe size & test	P	F	NA
Soil pipe size and test	P	F	NA	Inbuilt S/W pipes tested	P	F	NA	Floor wastes	P	F	NA
Pipes fixed/supported	P	F	NA	Vents terminated	P	F	NA	Shut off valves	P	F	NA
System: AS3500, G13, Other	P	F	NA	Pressure Test	P	F	NA	Fire wraps and collars	P	F	NA

### POSTLINE

Sheet bracing	P	F	NA	Wet area substrate system	P	F	NA	Sheet fixings	P	F	NA
Penetrations sleeved	P	F	NA		P	F	NA	Fire/Acoustic separation	P	F	NA

Officer Name: [Signature] Officer Sign: ..... Date: 18/9/13



## SCOPE OF INSPECTION SHEET

Date 12/07/2013 SR or BCA 422S Inspection No. ....

Time 11-13 A.M. Documents on site ☒ YES ☐ NO

Owner Name Marshall Project Description Alterations

Site Address 25 Cention Street

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes Sight framing + bracing + bottom  
plate fixings. OK Engineer  
(Mark Mariman) has sighted + is  
satisfied. (Engineers report to come)  
Moisture <16% OK  
Ceiling batts R2.6. Walls batts R2.2  
Rumpus Room only lower level.

Diagram (if necessary)

Photo's Taken - Nos. .... saved / scanned? Y ☒ N

Site instruction issued No

Confirmation of person on site

Result: ☒ Pass

☐ Part pass

☐ Fail

Name ..... LBP No. ....

Your next inspection will be Preline plumbing Robin Chesterman  
(Guidance notes for inspection on the rear of this sheet)

Agreed, ..... Sign [Signature]  
(Print Name)

Officer Name Tony Weaver Sign [Signature]

Information entered into data base ☐ Initial .....

Date 12/7/13



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# WEATHERTIGHTNESS / PRELINE / POSTLINE

Date 12/07/2013 SR or BCA 4228 Inspection No. ....

Time 11:13 A.M. Documents on site YES / NO

Owner Name Marshall Project Description Alterations

Site Address 25 Gendian Street

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

## Applies to all inspections

Sighted previous inspection notes	Y	N	NA	Conforms with approved drawings	<input checked="" type="radio"/>	N	NA	Confirm Additional information/amended plan	Y	N	NA
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## WEATHERTIGHTNESS

Cladding selection complies with BC?	P	F	NA	Roof material complies with BC?	P	F	NA	Sheets fixed to manufacturers	P	F	NA
Roof fixing complies	P	F	NA	Fixings appropriate for durability?	P	F	NA	Sheet layout	P	F	NA
Ridge/hip flashings in place	P	F	NA	Roof/wall junctions flashed	P	F	NA	Control joints where appropriate	P	F	NA
Penetrations correctly flashed	P	F	NA	Fixings appropriate for bracing elements	P	F	NA	Flashings in place	P	F	NA
Clearance provided for fascia & spouting	P	F	NA	Ground clearances achieved	P	F	NA	Clearance off deck surface	P	F	NA
Flashings/wraps in place, parapets/barriers	P	F	NA	Glazing - human impact	P	F	NA	Truss/Rafter fixings	P	F	NA

## PRELINE

Max moisture Content <u>216</u> %	<input checked="" type="radio"/>	F	NA	Insulation R Value <u>2.16 + 2.2</u>	<input checked="" type="radio"/>	F	NA	Bracing connections	<input checked="" type="radio"/>	F	NA
Ventilation to rooms	<input checked="" type="radio"/>	F	NA	Top plate connection	<input checked="" type="radio"/>	F	NA	Air seals	P	F	NA
Timber treatment	<input checked="" type="radio"/>	F	NA	Ceiling batten spacing	P	F	NA	Bottom plate fixings	<input checked="" type="radio"/>	F	NA
Lintel/beam size & fixing	<input checked="" type="radio"/>	F	NA	Stud spacing	<input checked="" type="radio"/>	F	NA		P	F	NA
Plumber Name				TPR line	P	F	NA	Waste pipe size & test	P	F	NA
Soil pipe size and test	P	F	NA	Inbuilt S/W pipes tested	P	F	NA	Floor wastes	P	F	NA
Pipes fixed/supported	P	F	NA	Vents terminated	P	F	NA	Shut off valves	P	F	NA
System: AS3500, G13, Other	P	F	NA	Pressure Test	P	F	NA	Fire wraps and collars	P	F	NA

## POSTLINE

Sheet bracing	P	F	NA	Wet area substrate system	P	F	NA	Sheet fixings	P	F	NA
Penetrations sleeved	P	F	NA		P	F	NA	Fire/Acoustic separation	P	F	NA

Officer Name: T. Hooper Officer Sign: [Signature] Date: 12/07/13



## Building Consent: 4225

## Marshall

PIM/Consent No 4225

## The Building

Valuation No 1520532700

General Property Enquiry

Street Address \*\* 25 Gentian Street Timberlea

Legal Description \*\* LOT 3 DP 66095

Floor (m²) 0

1520532700 : 25 Gentian Street, Upper Hutt : LOT 3 DP 66095

Owner \*\* Marshall

Current Status CCC Will not be Issued 12/01/15

Process Days Taken To Issue 8

## The Applicant

Name Marshall

Address

Balance 0.00

## Building Work

Type of Work Deck Alterations

Intended Life/Durability

Being Stage 1 OF 1

Stats Code 2 Alterations

Estimated Value \$8,000

Resource Consent?

Dev Contrib Notice?

## Charges

437.00

Total Charges 437.00

## Status History

Status	Status Date	Status
Formally received	3/10/94	
Granted	13/10/94	
Lapsed Reminder Letter	17/06/13	BCLAPSE
CCC Will not be Issued	12/01/15	

Contractors

None recorded.

## Forms and Letters

Should be saved

Consent

Actually saved

rgdocs2html: cannot open /u/rgdocs//u/rgdocs/bconsent//42

## Notes

None found

Date Author

## Diary Reminders

None found

## Standard and Non-Standard Conditions

No conditions applied to this consent

## Standard and Non-Standard Addenda

No addenda attached to this application

## Standard and Non-Standard PIM Notes

None found

25 Gentian

Rock 0272734113

## Inspections

Type	BC223 PRE-LINE(Building). When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.
Inspected	12/07/13
Officer	Tony Weaver
Result	Pass
Note	Sight framing and bracing and bottom plate fixings -ok. Engineer (Mark Marinan)has sighted and is satisfied (Engineer`s report to come). Moisture content <16% -ok. Ceiling batts R2.6. Walls R2.2. Rumpus room only lower level. Owner - Rock Chesterman on site.
Type	BC222 PRE-LINE(Plumbing). When all internal plumbing is complete and plumbing pipe work is under test pressure.
Inspected	18/09/13
Officer	Jeff Symons
Result	Pass
Note	15mm Dux Secura hot and cold feed from existing (holding water) 200PSI. 40mm shower, 32mm vanity and 100mm W/C, UPVC wastes. Yan Yong Gordon - LBP 20390. Ruth Williams on site.
Type	BC223 PRE-LINE(Building). When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.
Inspected	18/09/13
Officer	Jeff Symons
Result	Pass
Note	Rhondo battens to ceiling insulation installed. All Aqualine may be installed and stopped to walls and ceiling. Yan Yong Gordon - LBP 20390. Ruth Williams on site.
Type	BC224 WET AREA MEMBRANES,DECKS,ROOFS AND SHOWER AREA. Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation. Post application of wet area membrane.
Inspected	25/09/13
Officer	Jeff Symons
Result	Pass
Note	2 products used `Gripset` and Dampfix 2. 2 coats waterproofing Dampfix 2 and 2 coats Gripset. Silicoln sealant N/C over concrete floor. Tiles may be layed to floor and walls. Tiler - Richard Williams. Owner - Rock Chesterman on site.

## Print Summary

## Standard and Non-Standard CCC Conditions

None found

## Work to be Stopped and Notice to Fix Conditions

None found

## RM Certificate

None found

## Letter 1 and Letter 2 Paragraphs

None found

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19 May 2015

COPY ONLY

To UH City Council Property Inspection Management

Att: Jeff

**Reference to 25 Gentian Street, Timberlea, Upper Hutt**

Please can you note on file that the ownership of this property has changed since original building consent was granted. I **Ruth Williams** took over ownership of 25 Gentian Street from Brent Marshall in April 2012. The property was purchased with an open building consent dating back to 1994 of which we were aware. Since this time we have been in contact with the UHCC for an initial inspection to orientate ourselves to the outstanding requirements, and several subsequent inspections as we progressed through various stages of the work to completion. With input and advice from the UHCC I have undertaken to complete the unfinished work and take all the necessary steps to have this property compliant and signed off. Work is now completed to the best of my knowledge and this has been communicated to the UHCC with another inspection done on the 15 May 2015. We are now awaiting a review of all documentation pending a decision on final sign-off.

I look forward to further correspondence in regards to this matter.

Kind regards



Ruth Williams

021836995



A & B Marshall  
25 Gentian Street  
UPPER HUTT 5018

Date 12/08/2014

Building Consent No, 4225

Mr & Mrs Marshall,

My apologies for the time it has taken me to get back to you in regards to your consent.

I have spoken with my manager (John Hudson) regarding the best way for us to bring this consent to a close.

It appears that we have not carried out any Inspections on your deck which according to our records that is what the consent was issued for, however according to documents that you have they include the internal alterations to the laundry, bathroom, and toilet in the basement. As you can appreciate this causes us some embarrassment which we would like to rectify.

With your permission I would like to remove from this consent all reference to the deck from our records & add the works for the basement alterations which we have had 3 Inspections carried out on, this way I will be able to issue a Code of Compliance for these works.

This would mean that any works to be carried out on your deck would require a new consent (**I believe that your deck requires urgent attention as it appears very unstable**)

If you are happy for me to do this then I will need from you a letter informing us that as no work has taken place on your deck you would like it removed from this consent & that should you carry out any further work then you will apply for a new consent.

I trust that this will meet with your approval & await your instructions

Jeff Symons

BUILDING INSPECTIONS OFFICER  
PHONE 027444 1907



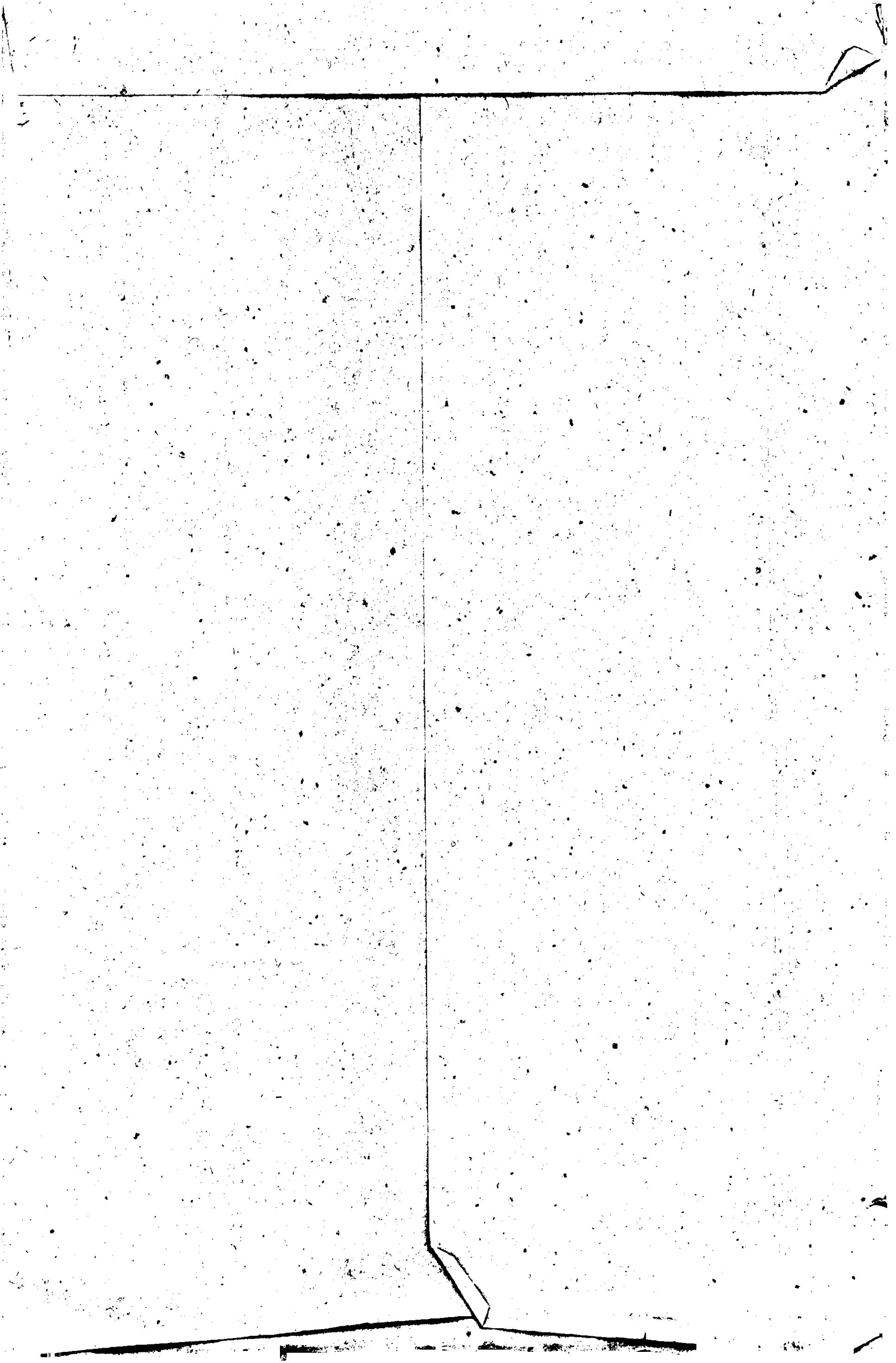
25 GENTIAN ST: AB MARSHALL: ALTS: 8.10.94

(25)

UT 3

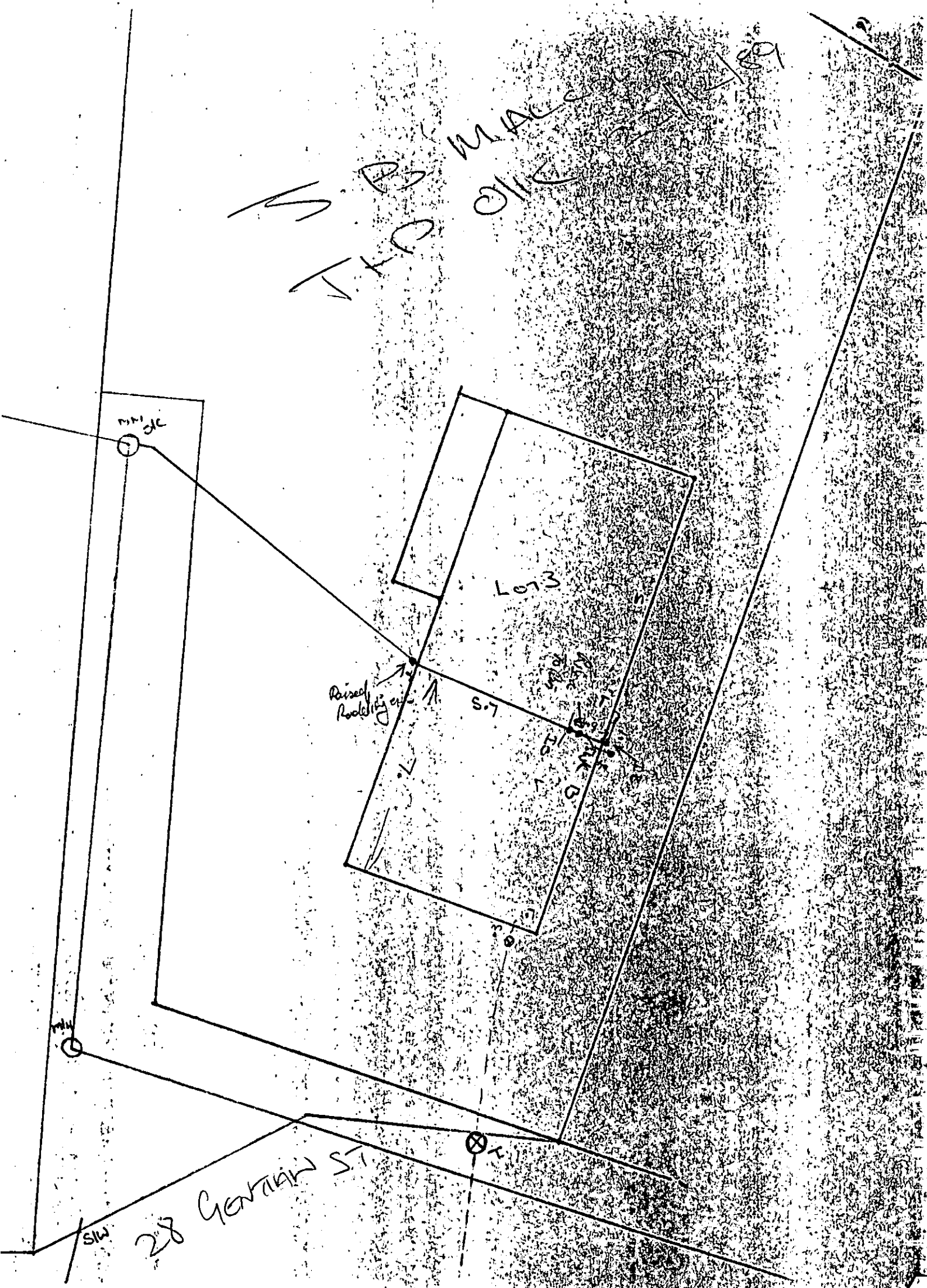
DP 66095

4225





S. B. MALL  
T. D. O. K. 2/12/89



# Upper Hutt City Council

## APPLICATION

See Plan Over.

### FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

I, the undersigned (name in full) \_\_\_\_\_  
hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the  
premises situated:—

Lot 3 D.P. 66095 Section \_\_\_\_\_  
Street 25 CANTERBURY ST  
Owner B.E.D. & A.G. MARSHALL BUILDER'S NAME \_\_\_\_\_  
Description of Work SANITARY PLUMBING AND DRAINAGE FOR NEW DWELLING

I hereby nominate the following Registered Tradesman,

Plumber J. B. Malsam Signature of Registered Plumber \_\_\_\_\_  
of \_\_\_\_\_ (full address) Date \_\_\_\_\_  
Drainlayer J. B. Malsam Signature of Registered Drainlayer \_\_\_\_\_  
of \_\_\_\_\_ (full address) Date \_\_\_\_\_

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt City Corporation, and  
the Drainage and Plumbing Regulations.

Value of Proposed Work  
(excluding materials):

#### TOTAL VALUE

Plumbing \$ <u>1300.00</u>	Plumbing \$ <u>5,200.00</u>	Permit Fee \$ <u>237.40</u>	(Incl \$ <u>26.40</u> GST)
Drainage \$ <u>600.00</u>	Drainage \$ <u>2,400.00</u>	Permit Fee \$ <u>111.40</u>	(Incl \$ <u>12.40</u> GST)

Signature of Applicant \_\_\_\_\_

Address: \_\_\_\_\_

Date: \_\_\_\_\_ 19\_\_\_\_

#### FOR OFFICE USE ONLY.

Plumbing Permit No. <u>10212</u>	Date <u>19</u> / <u>4</u> / <u>89</u>
Receipt No. <u>11452</u>	Date <u>4</u> / <u>19</u> / <u>89</u>
Drainage Permit No. <u>10213</u>	Date <u>19</u> / <u>9</u> / <u>89</u>
Receipt No. <u>11452</u>	Date <u>4</u> / <u>19</u> / <u>89</u>

Plumber Completing Work: Name \_\_\_\_\_

Drainlayer Completing Work: Name \_\_\_\_\_

Date of Inspection \_\_\_\_\_ 19\_\_\_\_

Completion Certificate No. ENTERED INTO Q-15 C/DO.

#### PLUMBING DRAINAGE AND HEALTH

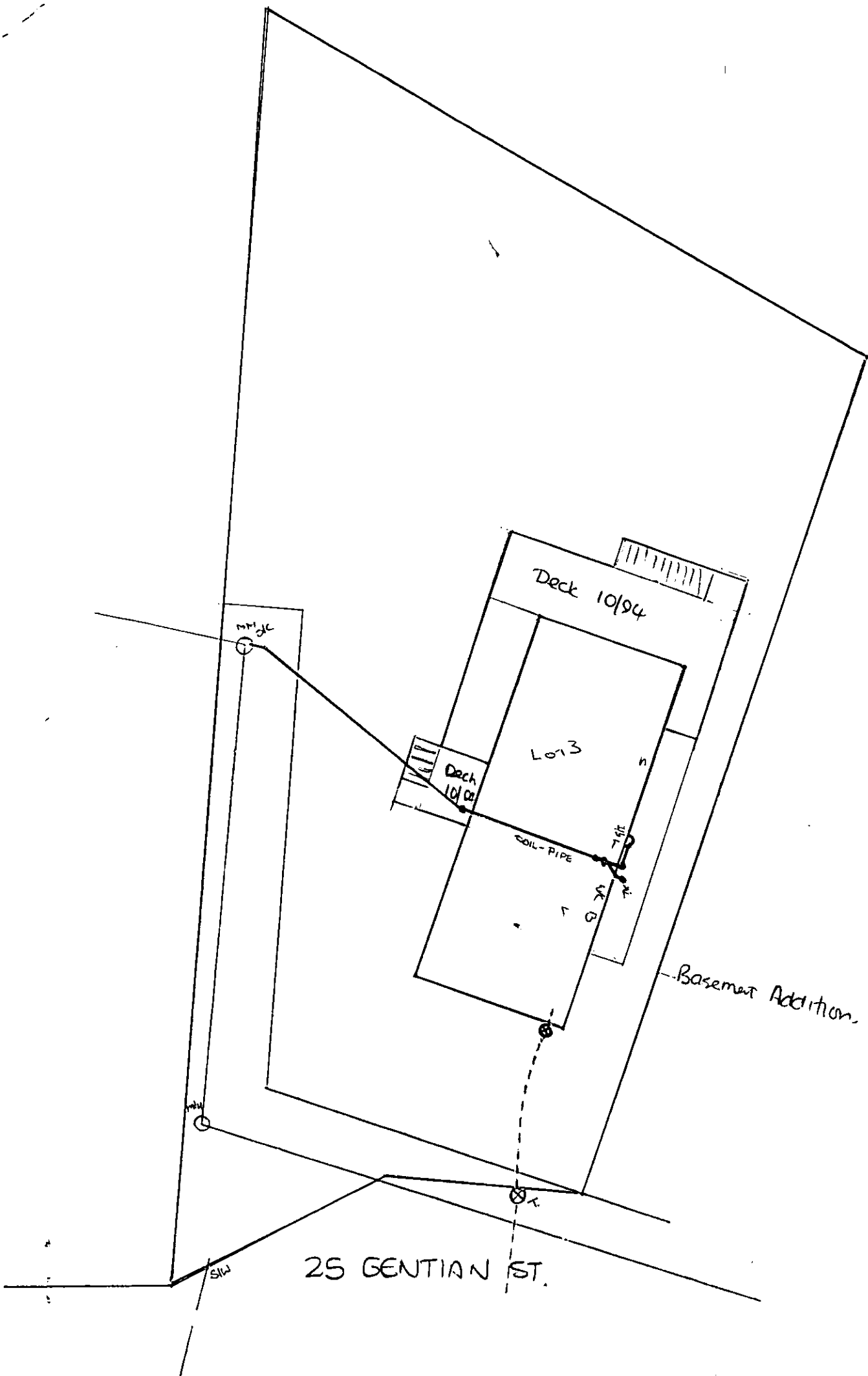
All works to comply with P&D Regulations 1978 and UIICC Bylaws.

Inspector to be notified for inspections before any pipework is covered.

All works must be done by licensed tradesman.

The Plumber and Drainlayer must obtain a permit before commencing work.





# UPPER HUTT CITY COUNCIL

## Permit For Sanitary Plumbing or Drainage Work.

10212

Mr ..... of .....  
is hereby authorised to carry out the work described herein, and as set forth in the plans deposited with me, on the premises owned (or occupied) by

Mr BE AND AG MARSHALL and situated in.  
Street 25 GENTIAN ST Lot 3 D.P. 66095

Description of Work SANITARY PLUMBING TO NEW DWELLING

Estimated Value of: Plumbing \$ 1,300-00  
(Labour only)

Permit Fee \$ 237-40

Drainage \$                     

Permit Fee \$                     

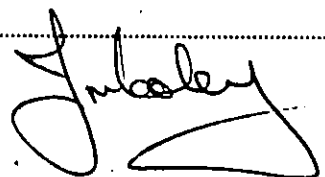
TOTAL \$                     

Fee Paid: \$                     

Receipt No. 11452 Date 4/9/89

The work is to be carried out in strict accordance with the Drainage and Plumbing Regulations, 1978.

19th day of Sept 19 89

..... for City Engineer  




# UPPER HUTT CITY COUNCIL

S/C  
N/O

## Permit For Sanitary Plumbing or Drainage Work.

10213

Mr ..... of .....  
Is hereby authorised to carry out the work described herein, and as set forth in the plans deposited with me, on the premises owned (or occupied) by

Mr BE - A C MARSHALL and situated in  
Street 25 GENTIAN ST. Lot 3 D.P. 66095

Description of Work  
SANITARY DRAINAGE TO NEW DWELLING

Estimated Value of: Plumbing \$ .....  
(Labour only)

Permit Fee \$ .....

Drainage \$ 600 - 00

Permit Fee \$ 111 - 40

TOTAL \$ .....

Fee Paid: \$ .....

Receipt No. 11452 Date 4/9/89

The work is to be carried out in strict accordance with the Drainage and Plumbing Regulations, 1978.

19th day of SEPT. 19 89

..... for City Engineer  
J. Bailey

28/08/89 New Dwelling

25 LIENTIAN ST.  
LOT 3 D.P. 66095

OWNER. B.E.A. & A.G. MARSHALL.

Plumber

P<sup>N</sup>o 10212

19/9/89

P<sup>N</sup>o 11452

4/9/89

Owner. James B Malcolm P<sup>N</sup>o 10213

22/12/89 DRAIN FOOT





LIPPER HULT CITY COUNCIL No.

Inspector: M

File No.

Receipt No. 11452

Date Permit Issued 5/9/89

OWNER	
Name	B & A MARSHALL
Mailing Address	5 PINE HILL LIPS LIPPER HULT

BUILDER	
Name	SELF
Mailing Address	

## PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	25
Street Name	OCEANVIEW ST
Town/District	LIPPER HULT
Riding	

LEGAL DESCRIPTION	
Valuation Roll No.	
Lot	3
D.P.	66095
Section	
Block	
Survey District	

## DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

NEW DWELLING + GARAGE

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	105	Number Erected	
ESTIMATED VALUES			
\$			
Building	86,540 =		
Plumbing	5,200 =		
Drainage	2,260 =		
G.S.T.			
TOTAL	94,000 =		

NATURE OF PERMIT (TICK BOX)	
<input checked="" type="checkbox"/>	NEW BUILDING - exclude domestic garages and domestic outbuildings
<input type="checkbox"/>	FOUNDATIONS ONLY
<input type="checkbox"/>	ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED - include installation of heating appliances
<input type="checkbox"/>	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
<input type="checkbox"/>	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

## FEES APPLICABLE

Building Permit	\$ 601	Water Connection	\$
Street Damage Deposit	\$ 600		\$
Building Research Levy	\$ 105.75		\$
Plumbing	\$ 237.40		\$
Drainage	\$ 114.40		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$ 500.00	G.S.T.	\$
M.S. Plumbing	\$	TOTAL:	\$ 2185.55

Special Conditions:

Date Inspected REMARKS (e.g. stage reached with work)

22/9/89 F/I: CHECKED PILES ONLY ON STREET SIDE OF SECTION.

25/9/89 F/I: PILES IN POSITION. GARAGE FOUNDATION DUG OUT.

(CONTINUED OVER)

Date Inspected

25.9.89

F/I(Cont):- STEEL IN PLACE. TOLD OWNER O/K  
TO POUR.

27.10.89

S/V:- DWELLING HAS BEAMS BEARERS & JOISTS DOWN. FLOORING  
ON AND FRAMING UP. EXTERIOR CLADDING ON, ROOF ON  
WINDOWS AND DOORS ~~IN~~ IN.

29.11.89

S/V:- INTERIOR WALLS UP. CEILINGS BATTENS ON WITH  
THREE FRONT ROOMS WITH CEILING TILES UP.

3.4.90

S/V:- DWELLING COMPLETE.

COMPLETED (Signature)



Date

3 / 4 / 90



# BUILDING CONSENT LOG SHEET

OWNERS NAME A & B Marshall

CONSENT NO. 4225

PROJECT ADDRESS 25 Gentan ~~W~~ Str.

DATE RECEIVED 3.10.94

NATURE OF WORK: Alts to Drilling

DATE ISSUED \_\_\_\_\_

	COMMENTS	RECEIVED	COMPLETED	TIME	INITIALS
BUILDING		12-10	13-10	1.0	um.
PLUMBING & DRAINAGE					
TOWN PLANNING	<del>ON HOLD</del> off 6-10 <del>planning awaiting info on request</del>	6-10-94	7-10-94	14 hrs	mp
DANGEROUS GOODS					
WATER & DRAINAGE					
HEALTH					
ENGINEERING	Eng takes to Eng, 4/10		12/10		



# Upper Hutt City Council

APPLICATION FOR BUILDING CONSENT NO. 4225

Owner/Applicant:		Contact (If not owner)	
Name: <u>Auril &amp; Brent Marshall</u>		Name: _____	
Mailing: <u>25 Gention St</u>		Mailing Address: _____	
Address: <u>Upper Hutt</u>		_____	
Phone: (Bus): <u>Brent 5288009</u> <u>et 8873</u>		Phone: (Bus): _____ Fax: _____	
Project Location:		Legal Description:	
Street Road No: <u>25</u>		Valuation Roll No. <u>15200 562 0300</u>	
Street Road Name: <u>Gention St</u>		Lot: <u>3</u> DP: <u>66095</u>	
Town or District: <u>Upper Hutt</u>		Section: <u>989</u> Block: <u>XIV Akatarawa</u>	
Full description of building and uses:			
<u>proposed deck and basement. BASEMENT use is A Lumpy Room and office/workshop/Bedroom</u>			
Details of Work:		Nature of consent (tick box):	
Floor area: <u>36</u> m <sup>2</sup>		1 <input type="checkbox"/> New building - exclude domestic garages & outbuildings.	
Stage <u>1</u> of <u>1</u> stages		2 <input type="checkbox"/> Foundations only.	
Total Value of work: <u>\$8000</u> (Inclusive of GST).		3 <input checked="" type="checkbox"/> Alterations, repairs, extensions, conversions, resiting, installation of heating appliances.	
Intended Life:		4 <input type="checkbox"/> Other new construction and demoliton.	
Indefinite but not less than 50 years		5 <input type="checkbox"/> Domestic garages and domestic outbuildings.	
Specified as _____ years <input checked="" type="checkbox"/>		Application Fee: <u>\$437.00</u> Receipt No: <u>19076</u>	
		Date: <u>3/10/94</u>	
		Final Fee: <u>437</u>	
		Adjustment: _____ Receipt No: _____	
		To Pay/Refund Date: _____/_____/_____	
		Date of Consent Issue: <u>13/10/94</u>	

NOTE: The following MUST accompany this application:

- Site Plans of Proposed work.
- Elevations.
- Sections: Cross and Longitudinal:  
Site Plan must show position of all sanitary fittings.
- Two copies of Specifications of BUILDING and Materials to be used.
- SITE PLAN to a scale of 1:200 showing proposed layout of all sewer and water. Two Plans required for GARAGES, SHEDS, ADDITIONS, ALTERATIONS and DWELLINGS. THREE PLANS REQUIRED FOR COMMERCIAL & INDUSTRIAL BUILDINGS.

Office use	Area 1	Area 2	Government contract number	Govt LFC



This application is for:

- ☐ Building consent only, in accordance with project information memorandum No:.....
- ☐ Both building consent and a project information memorandum

### PART B: PROJECT DETAILS

*(Complete Part B only if you have not applied separately for a project information memorandum)*

The project involves the following matters *(Cross each applicable box, if any, and attach relevant information in duplicate)*:

- ☐ Location, in relation to legal boundaries and external dimensions of new, relocated, or altered buildings
- ☐ New provisions to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- ☐ New connections to public utilities
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

### PART C: BUILDING DETAILS

*(Complete Part C in all cases)*

This application is accompanied by *(Cross each applicable box, attach relevant documents in duplicate)*:

- ☐ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including -
  - ☒ Plans of sewerage and stormwater drains
  - ☒ Building certificates
  - ☐ Producer statements
  - ☐ References to accreditation certificates issued by the Building Industry Authority
  - ☐ References to determinations issued by the Building Industry Authority
  - ☐ Proposed procedures, if any, for inspection during construction

### PART D: KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers.

Give relevant registration numbers if known.)

Designer(s): Design Spec LTD 5266-235

Building certifier(s): .....

Builder(s): Owner

ADDRESS: 25 Genton st U/H Telephone: 5269108

Registered drainlayer: Henk OTTe 528.4270

Registered plumber: Henk OTTe " "

Registered gasfitter: Henk OHe " "

Registered electrician: .....

Other: .....

### PART E: COMPLIANCE SCHEDULE DETAILS

#### E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings.)

The building will contain the following (Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Automatic sprinkler systems or other systems of automatic fire protection
  - ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
  - ☐ Emergency warning systems for fire or other dangers
  - ☐ Emergency lighting systems
  - ☐ Escape route pressurisation systems
  - ☐ Riser mains for fire service use
  - ☐ Any automatic back-flow preventer connected to a potable water supply
  - ☐ Lifts, escalators, or travelators or other similar systems
  - ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building
  - ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code
  - ☐ Building maintenance units for providing access to the exterior and interior walls of buildings
- Such signs as are required by the building code in respect of the above-mentioned systems

- ☐ None of the above

**E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE  
COMPLIANCE SCHEDULE**

*(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)*

The building will contain the following *(Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):*

- ☐ Means of escape from fire  
☐ Safety barriers  
☐ Means of access and facilities for use by persons with disabilities which meet the requirements of section 25 of the Disabled Persons Community Welfare Act 1975  
☐ Hand-held hoses for fire fighting  
☐ Such signs as are required by the building code or section 25 of the Disabled Persons Community Welfare Act 1975

Signed by or for and on behalf of the Applicant:

Name:.....

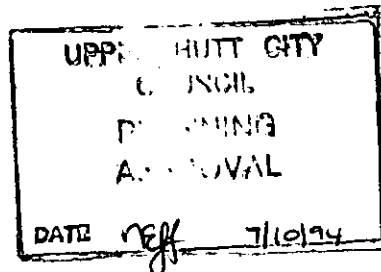
*B. M. Hall*

Position:.....

*owner*

Date:.....

*3 / 10 / 94*





PROPERTY ADDRESS: 25 GENTIAN ST

LEGAL DESCRIPTION: LOT 3 DP 66095

LOT DP

BUILDING PERMITS

PERMIT NO:

DATE OF  
ISSUE

OWNER:

TYPE OF  
BUILDING:

AREA

ENDORSEMENTS

6069701 5.9.89 R+A MARSHALL DWG + GARAGE 105m<sup>2</sup>

CORRESPONDENCE - FILE NOS:

CALCULATIONS:

ANY OTHER RELEVANT INFORMATION:

Lot 3 DP66075  
25 Gentham St

**PLANNING INFORMATION**

1. ZONING Residential General

2. NON-NOTIFIED RESOURCE CONSENT APPLICATION

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3. NOTIFIED RESOURCE CONSENT APPLICATIONS

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4. OTHER NOTIFIABLE ASPECTS (tick each relevant box)

- ☐ Protected trees
- ☐ Faultlines and other geological features
- ☐ Others

Planner: *naff*

Date 7.10.14

# Upper Hutt City Council

PROJECT INFORMATION MEMORANDUM No: 4225

OWNER / APPLICANT	PROJECT
Name: A. B. Marshall	New or relocated building <input type="checkbox"/>
Mailing Address: 25 Gentian St	Alteration <input checked="" type="checkbox"/>
Contact:	Demolition <input type="checkbox"/>
Phone: 528 8005 Fax: -	Intended use: Alteration
	Intended life:
	Indefinite but not less than 50 years <input checked="" type="checkbox"/>
	Specified as ..... years
	Stage ..... of an intended ..... stages
<b>COUNCIL CHARGES</b>	<b>PROJECT LOCATION:</b>
The Council's charges payable upon application for this Project Information Memorandum.	Street address(if any): 25 Gentian St
FEES: (incl of GST)	Legal Description: LOT 3 OP 66095
Total Fees \$	
Receipt No: 4225	
Date: / /	

This Project Information Memorandum is:

- ☐ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent. Not yet applied for ☐  
No: ..... attached ☐
- ☐ Notification that other authorisations must be obtained before a building consent will be issued.
- ☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

This Project Information Memorandum includes:

- ☐ Information identifying relevant special features of the land concerned.
- ☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- ☐ Details of relevant utility systems.
- ☐ Details of authorisations which have been granted.
- ☐ Details of authorisations which must be obtained before a building consent will be issued.
- ☐ Details of authorisations which have been refused.

Signed for on behalf of the Council:

Name: [Signature]

Position: Date: 13 / 10 / 99



## **PROJECT INFORMATION MEMORANDUM NO. 4225**

### **25 GENTIAN STREET - A.B. MARSHALL - ALTERATIONS**

#### **LOT 3 DP 66095**

1. Upper Hutt is a high earthquake risk area, and this section is in a high wind zone, otherwise Council is unaware of any special feature of the land that is likely to affect this construction.
2. All work and materials must comply with the NZ Building Code and approved documents.
3. No building work is to commence until the Building Consent has been uplifted.
4. Attached is a site plan showing location of foulwater drainage and UHCC toby. For other services e.g. gas, telephone and electricity, contact other Utility Operator Offices.

13/10/94

B. M. MARINAN  
B.E. (Civil), Registered  
CONSULTING ENGINEER  
Civil-Structural-Draughting

16 Dakota Grove  
Totara Park  
UPPER HUTT  
Tel. (04) 526-7952

Ref: 94/576

PROPOSED EASEMENT ADDITION  
25 GENTIAN STREET, TIMBERLEY  
FOR MR A.G. MARSHALL

17 May 1994

It is proposed to build a basement under the house. The existing piles are to be removed and a beam is required to support the floor over a span of approx 3.6m

1. LOADS:

(a) Floor (assumed)

20 mm h.d. particle board	0.143 kPa
200x50 joists at 600cs	0.092
12.5mm gib board	0.110
Dead Load	<u>0.345 kPa</u>
Live Load	1.5 kPa

(b) Internal Walls

100x50 Framing at 600cs	0.046 kPa
Plates & dunnage at 800cs	0.035
9.5mm gib board (2 sides)	0.186
Dead Load	<u>0.267 kPa</u>

DL = 2.0 kPa  
1.5  
6 kN/m  
BRANZ  
TR N.L.  
15.4022 sym 3.6m  
TL = 11.4 kN/m  
UWL = 6.42 kN/m  
∴ 0.11  
mud

2. BEAM:

The beam spans approx. 3.6m and supports the floor, and allow for an internal wall. It is assumed the roof is trussed and supported on the external walls

$$\begin{aligned}
 W_{DL} &= (0.345 + 1.5) \times \frac{1}{2} \times 6.0 + 0.267 \times 2.4 + 0.1771 \\
 &\quad \text{Floor} \quad \text{int. wall} \quad \text{1st floor} \\
 &= 6.35 \text{ kN/m}
 \end{aligned}$$

$$M_{max} = 6.35 \times 3.6^2 / 8$$

$$= 10.29 \text{ kN.m}$$

For ISQUE 18

$$f_b = 10.29 \times 10^{-3} / 117 \times 10^{-6}$$

$$= 88.0 \text{ MPa OK}$$

$$\Delta = \frac{5 \times 6.35 \times 3.6^4}{384 \times 200 \times 9.05} \text{ m}$$

$$= 7.7 \text{ mm}$$

$$= 0.0021 \text{ L OK}$$

For 0.004 L max deflection

$$\Delta_{max} = (0.004 / 0.0021) \times 7.7$$

$$= 14.5 \text{ mm}$$

$$\Rightarrow L_{max} = 4.22 \text{ m}$$

ISQUE 18

$$R_{o-L} = \frac{1}{2} \times 6.35 \times 3.6$$

$$= 11.43 \text{ kN}$$

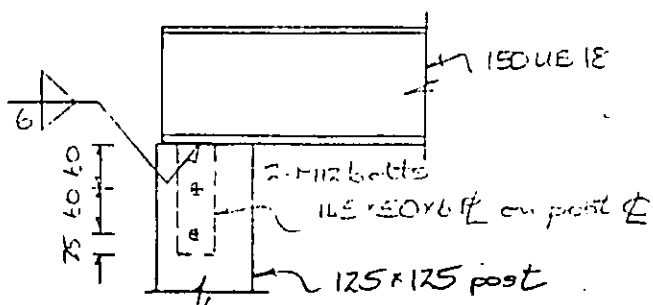
For 300 x 300 footing

$$f_s = 11.43 / 0.3^2$$

$$= 127 \text{ kPa OK}$$

corner of wall o.k.

The proposed 125 x 125 timber posts to support the beam are adequate for the design loads. Fit the beam to the posts with 2-M12 bolts at each end.



OK



FILE

4225

Received 3/10/04

STRUCTURE ENVELOPE met 10/10/94

0048033.

331/30/4.

**PHILLIPS & WOOD**  
 LIMITED  
 CONSULTING ENGINEERS  
 1 ST. ALBANS GROVE, P.O. BOX 36-108, UPPER HUTT, NEW ZEALAND

MURRAY H. PHILLIPS PHONE 0-4-566 5388, FAX 0-4-566 6699  
 JOHN H. WOOD PHONE 0-4-568 3221, FAX 0-4-568 6276

UPPER HUTT		5
12 OCT 1994		6
CITY COUNCIL		7
4	DCS	8

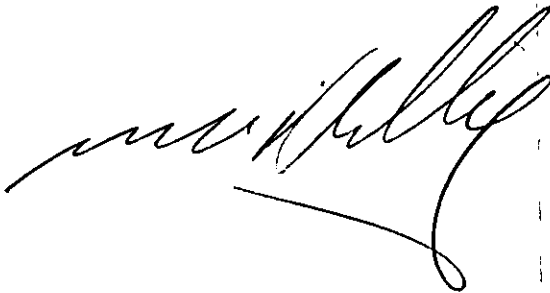
10 October 1994

Upper Hutt City Council  
 Private Bag 907  
**UPPER HUTT**

**UHCC File: 4225**  
**BASEMENT ADDITION**  
**A R MARSHALL, 25 GENTIAN STREET, TIMBERLEA**

I hereby certify that I have checked the structural calculations carried out by B M Marinan, Consulting Engineer, dated 17 May 1994 for a basement addition at 25 Gentian Street, 134-136 Main Street.

In my opinion, the beam designed to support the floor over the basement, meets the Building Code requirements.



**M H PHILLIPS**  
 Registered Engineer  
 10 October 1994

Mr and Mrs B Marshall  
25 Gentian Street  
UPPER HUTT

File: 331/30/004  
NF:NR  
(planning/nf/marshall)

Contact:  
Nickle Flynn

6 October 1994

Dear Sir/Madam

**BUILDING CONSENT APPLICATION NO. 4225**

The above application for a Building Consent in relation to the property at 25 Gentian Street cannot be processed further at this stage and therefore the prescribed period for processing has been suspended under Regulation 6(2) Building Regulations 1992 for a maximum period of 30 days from the date of this letter.

The reason for this decision is as follows:

Due to the uneven ground level of your property Council require elevation plans to show exactly how high your proposed decking is going to be above ground level.

If your deck is to have railing we need to know how high above the base of the deck this will be also.

As soon as the above matters have been addressed processing of your application will resume.

If you have any queries please contact Nickle Flynn.

Yours faithfully

**RG Birkinshaw  
CITY PLANNER**



ALONG					
1	2	3	4	5	6
LOCATION OF STOREY	Wall or Bracing Line	Minimum Required	Bracing Element Identification	Bracing Type	Length of Element (m)
FOUND SINGLE STOREY	A	166	1	CP <sub>9</sub>	4.6
			2	HF <sub>2</sub>	6.0
UPPER STOREY	B	70	3	GIB <sub>3</sub>	2.3
LOWER STOREY	C	166	4	CP <sub>10</sub>	1.9
			5	CP <sub>10</sub>	1.9
	D				
E					
(Use one sheet for each storey)		BRACING ELEMENTS TAKEN FROM BRANZ FIX LIST.			

7	8
WIND	
Rating /m	B.U.'s Achieved
108	497
93	558
65	150
142	270
142	270
Total Achieved	1745
Total Required	1193

9	10
EARTHQUAKE	
Rating /m	B.U.'s Achieved
96	442
79	474
60	138
122	232
122	232
Total Achieved	1518
Total Required	820

ACROSS										
1	2	3	4	5	6	7	8	9	10	
LOCATION OF STOREY	Wall or Bracing Line	Minimum Required	Bracing Element Identification	Bracing Type	Length of Element (m)	WIND		EARTHQUAKE		
						Rating /m	B.U.'s Achieved	Rating /m	B.U.'s Achieved	
FOUND SINGLE STOREY	M	76	6	CP <sub>3</sub>	1.0	88	88	83	83	
			7	CP <sub>3</sub>	1.2	88	106	83	100	
			8	CP <sub>3</sub>	1.0	88	88	83	83	
UPPER STOREY	N	70	9	CP <sub>10</sub>	2.7	142	383	122	329	
			10	CP <sub>10</sub>	1.9	142	270	122	232	
LOWER STOREY	O	70	11	GIB <sub>2</sub>	2.8	80	224	70	196	
			12	GIB <sub>3</sub>	2.0	65	130	60	120	
	P	76	13	HF <sub>3</sub> CP <sub>10</sub>	2.9	104+142	713	90+122	615	
			14	HF <sub>3</sub> CP <sub>10</sub>	2.9	104+142	713	90+122	615	
(Use one sheet for each storey)	Q									
			BRACING ELEMENTS 13 & 14 CONSIST OF THE COMBINED B.U.'s OF HARDIFLOX, GIB/BD & PLY.			Total Achieved	2715	Total Achieved	2373	
						Total Required	2490	Total Required	820	

Name: Margaret

Location of	Foundation
STOREY	single upper of two lower of two
SITE WIND ZONE:	low / medium high / very high
(Table 2.4)	
EARTHQUAKE ZONE: <u>A</u> B / C	
(Fig 2.2, Table 2.3)	

SITE ADDRESS: Upper Hill  
City/Town or District: 25 GENTIAN ST.  
Street and Number: Lot 3, D.P. 66095  
or LOT and D.P. Number:

1

FOR EARTHQUAKE	
Roof weight:	light / heavy
Average Roof Pitch:	20°
Type of Cladding:	light / heavy
Earthquake zone:	yes / no
Storey in Roof space:	
E	= 6.5 B.U.'s/m²

2

FOR WIND	
Building Height:	6.5 m
Roof Height:	1.5 m
Storey Height:	2.4 m
Design Wind Speed:	High
W along = 157 B.U.'s/m	
W across = 150 B.U.'s/m	

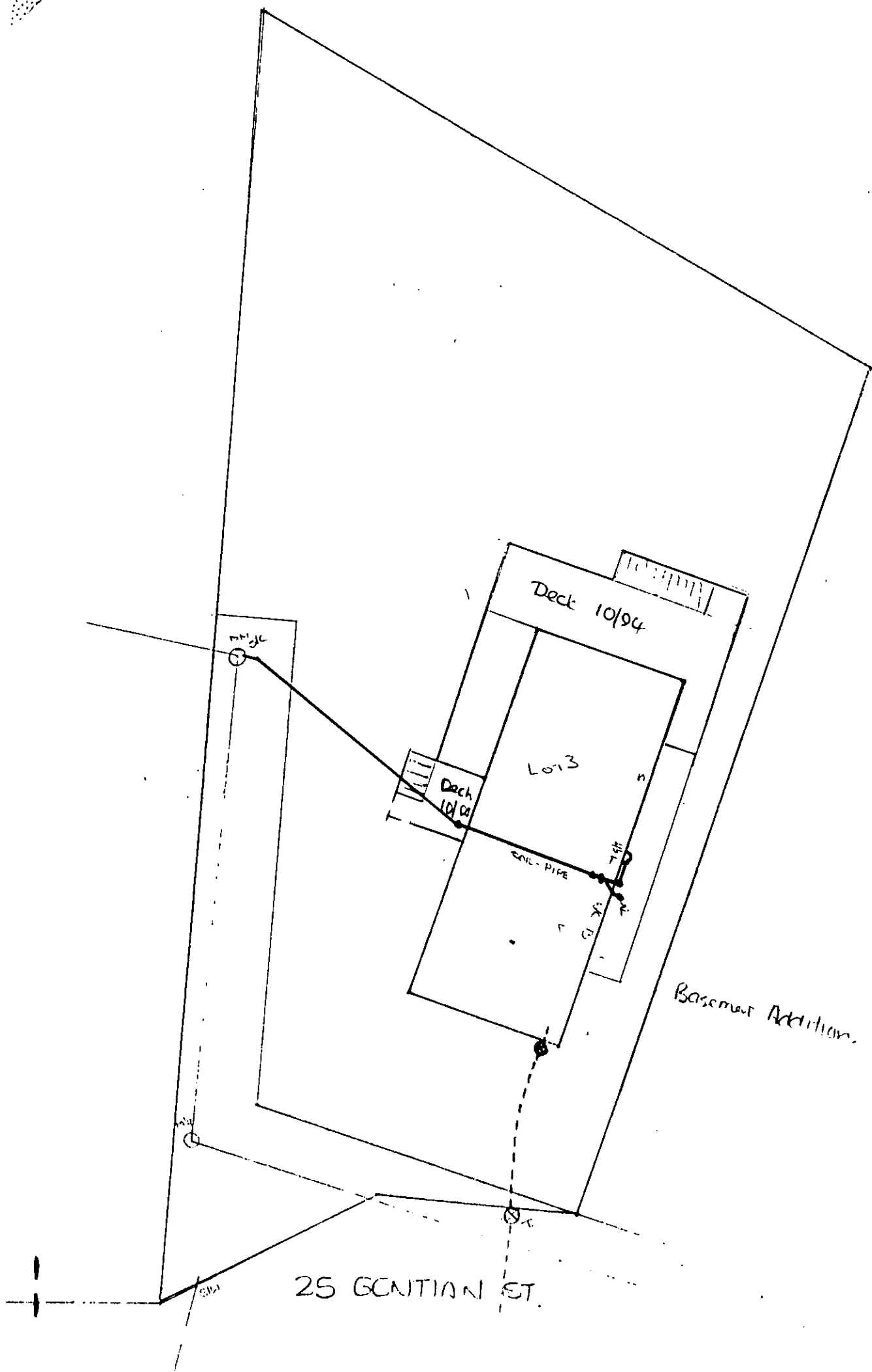
3

ROOF or BUILDING LENGTH	BL = 16.6 m
ROOF or BUILDING WIDTH	BW = 7.6 m
GROSS ROOF or BUILDING PLAN AREA	GPA = 126 m²

4

EARTHQUAKE LOAD (ACROSS and ALONG)	E x GPA = 6.5 x 126 = 820 B.U.'s
WIND LOAD: ACROSS	W x BL = 150 x 16.6 = 2490 B.U.'s
WIND LOAD: ALONG	W x BW = 157 x 7.6 = 1193 B.U.'s

5



25 GENTIAN ST.

Basement Addition.

Deck 10/94

Deck 10/94

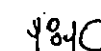
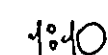
Lot 3

ENCL. PIPE

Date  
5/94



1



1. ALL DIMENSIONS SHALL BE CHECKED ON SITE BEFORE COMMENCING ANY WORK.
2. UNLESS SHOWN OTHERWISE, ALL MATERIALS & WORKMANSHIP SHALL COMPLY WITH NZS 3604:1980 & RELATED DOCUMENTS.
3. ALL CONCRETE WORK SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 17.5 MPa.



28/08/89 New Orleans.

25

25 GENTIAN ST.  
Lot 3 D.P. 66095

Owner. B.E.A. + A.G. MARSHALL.

1988 SUBDIVISION  
FROM: Sub Sec 989  
TO: Lots 1-7 DP 66095  
SEALED: 6 DEC 1988  
FILE REF: 323-3-568

APPROVED  
E.H. Searol  
P.G. Searol

REGISTERED PROPRIETOR

Pursuant to a resolution of the Upper Hutt City Council passed on the 6th day of December 1987, the Surveyor pursuant to Sec. 305 of the Local Government Act 1974 this survey plan conditional upon the granting or reserving of the easements shown in the memorandum endorsed hereon and certifying that the plan was in accordance with the requirements and provision of the operative District Scheme in force for the area to which the survey plan relates at the date of approval of the scheme plan, the common seal of the Upper Hutt City Council was hereon affixed in the presence of:

28/12/87

Town Clerk

Pursuant to Section 306 (1)(b)(i) of the Local Government Act 1974 I hereby certify that all conditions shown on or referred to on the scheme plan of subdivision have been complied with to the satisfaction of the Upper Hutt City Council. Dated at Upper Hutt this 13th day of December 1987

28/12/87

Town Clerk

MEMORANDUM OF EASEMENTS

Purpose	Shown	Serv. Ten.	Dom. Ten.
Stormwater Drainage	B	Lot 1	Lot 2
Sewage Drainage	A	Lot 3	UPPER HUTT CITY COUNCIL
Stormwater Drainage	B	Lot 1	Lot 2
Sewage Drainage	C	Lot 2	Lot 3

Total Area 3.8170 ha

Comprised in C.T. 29C/201 (All)

JOHN HUGH FRANCIS MCKECHNIE

Registered Surveyor and holder of an annual practicing certificate for who may act as a registered surveyor pursuant to the provisions of section 332 of the Surveyors Act 1953 hereby certify that this plan has been made from surveys conducted by me or under my directions. That both plan and survey are correct and have been made in accordance with the Survey Regulations 1972.

Dated at UPPER HUTT this 22nd day of November 1988

Field Book 5056 p.192-193

Reference Plans D.P. 46166, 46168, 46231, 46167

S.O. 10509, 28133, 23785, 34058

Examined S. Calverley

Approved as to Survey

28/12/87

Deposited this 20th day of January 1989

Assn. Registrar

65095

Re 05/43

Received 21-2-89

Instructions

The diagram is a detailed survey plan for Lots 1-7, Section 989, Hutt District. It shows the layout of the lots, their areas, and various easements. Lot 1 is 743 m², Lot 2 is 860 m², Lot 3 is 897 m², Lot 4 is 1547 m², Lot 5 is 3.2782 ha, Lot 6 is 746 m², and Lot 7 is 595 m². The plan includes a recreation reserve to the west, a road to the west, and a sewerage easement. The plan is signed by John Hugh Francis McKechnie, Registered Surveyor, and dated 22nd November 1988. The plan is deposited on 20th January 1989. The plan is numbered 65095.

LAND DISTRICT WELLINGTON

SURVEY BLK. & DIST. XIV AKATARAWA

NZMS 261 SHT R27 RECORD MAP No 75-0175-02

LOTS 1-7 BEING SUBDIVISION OF

SEC 989 HUTT DISTRICT

TERRITORIAL AUTHORITY CITY OF UPPER HUTT

Surveyed by JOHN H.F. MCKECHNIE

Scale 1:500

Date MAY 1987

Hutt Valley 29

## PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

*(Guidance notes on the use of this form are printed on the reverse side)*

**ISSUED BY:** B M Marinar Consulting Engineer  
*(Construction Review Firm)*

**TO:** Ruth Williams  
*(Owner/Developer)*

**TO BE SUPPLIED TO:** Upper Hutt City Council  
*(Building Consent Authority)*

**IN RESPECT OF:** Floor Beam to Basement Addition  
*(Description of Building Work)*

**AT:** 25 Gention Street, Timberlea, Upper Hutt  
*(Address)*

**LOT** 3 **DP** 66095 **SO**

B M Marinar Consulting Engineer has been engaged by Ruth Williams  
*(Construction Review Firm)*

to provide ☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 *(Engineering Categories)* or ☐ OL1 ☐ OL2 ☐ OL3 ☐ OL4 *(Architectural Categories)*

observation ☒ or other Inspection of steel floor beam & support posts services  
*(Extent of Engagement)*

in respect of clause(s) B1, B2 of the Building Code for the building work described in documents relating to Building Consent No. 4225 and those relating to Building Consent Amendment(s) Nos.  issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variation(s) No. See attached inspection notes (copies attached) or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☒ this ☐ these review(s) and information supplied by the contractor during the course of the works, I **believe on reasonable grounds** that ☒ All ☐ Part only of the building works have been completed in accordance with the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to Clause(s) B1, B2 of the Building Regulations.

I, Bryon Mark Marinar am: ☐ CPENG No.   
*(Name of Construction Review Professional)*

☐ Reg Arch No.

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: B.E.(Civil), MIPENZ No. 61806

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000\*.

The Construction Review Firm is a member of ACENZ: ☐ YES ☒ NO

**SIGNED BY** Bryon Mark Marinar ON BEHALF OF B M Marinar Consulting Engineer

Date: 19 April 2012 Signature: 

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.*

This form to accompany **Forms 6 or 8 of the Building (Form) Regulations 2004** for the issue of a Code Compliance Certificate.

# GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised as at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

<b>PS1 Design</b>	Intended for the use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
<b>PS2 Design Review</b>	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
<b>PS3 Construction</b>	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 <sup>1</sup> ; or Schedules E1/E2 of NZIA's SCC 2007 <sup>2</sup>
<b>PS 4 Construction Review</b>	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.  This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

## Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA) provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

## \* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

## Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-5)<sup>3</sup> (OL1-OL4)<sup>2</sup>. The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

## Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

## Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

## Refer Also:

- 1 *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- 2 *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- 3 *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

[www.acenz.org.nz](http://www.acenz.org.nz)  
[www.ipenz.org.nz](http://www.ipenz.org.nz)  
[www.nzia.co.nz](http://www.nzia.co.nz)





94/576A

Ruth Williams

2-L-12

25 Gentian Street, Timbalea, Upper Hutt

1820 - 2820 pm = 1hr

+ 1 hr 7 mins

BC N° 4725

Inspection with Ruth Williams

+ Robby

To Be SCANNED

160 UC beam 3730 mm clear span (160 x 155 mm)

Supported on 125 x 125 posts at each end

1-m deep x 300 x 300 mm Footing to each post

(advised by telephone by Brent Marshall, the owner/Builder)

The house is founded on rock, as can be inspected under the front of the house.

Photos (3)

The steel brackets attaching the UC beam to the posts are to be cleaned to remove surface rust, treated with rust inhibitor + painted.

The 160 UC beam is significantly stronger than the 150 UB 18 which was proposed to be used.

Okay to issue PS4.

B.M. MARINAN  
CONSULTING ENGINEER  
15 DENVER GROVE  
TOTARA PARK, UPPER HUTT  
N.Z. TEL. (04) 526 7952  
FAX (04) 526 7954

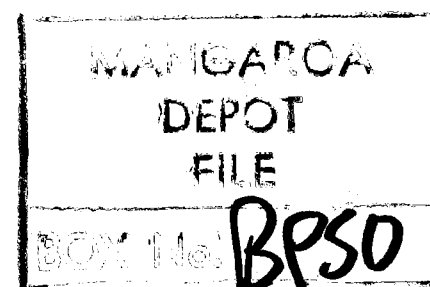
To Be SCANNED



GENTIAN (DWELLING) MARSHALL 28/8/94

25

BUILDERS DEPOSIT AND XING DEPOSIT  
ACTIONED 8/4/91



PERMIT NO. \_\_\_\_\_

G 069701.

## THE UPPER HUTT CITY COUNCIL



# APPLICATION for BUILDING PERMIT

STREET 25 GENTIAN Grove

DATE RECEIVED 28:8:89.

DATE ISSUED 5:9:89

OWNER'S NAME BRENT AND AVERIL MARSHALL

### PLUMBING DRAINAGE AND HEALTH

All works to comply with P&D Regulations 1978 and UHCC Bylaws.

Inspector to be notified for inspections before any pipework is covered.

All works must be done by licensed tradesman.

The Plumber and Drainlayer must obtain a permit before commencing work.

# APPLICATION FOR BUILDING PERMIT

DATE 28 AUG 1989

TO THE CITY ENGINEER,  
The Upper Hutt City Council.

Postal Address:—  
The Upper Hutt City Council,  
Private Bag.

APPLICANT TO PROVIDE FULL INFORMATION TO ITEMS BELOW — EXCLUDING ITEM 6

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the under mentioned particulars in GENTIAN ST. STREET.

1. NATURE OF BUILDINGS NEW HOUSE AND GARAGE

Dwellings etc.; new, additions or alterations.

2. ALLOTMENT: Lot 3 D.P. 66095 Section

3. OWNER'S NAME BEA & AG MARSHALL

ADDRESS 5 PINEHILL CRESC. HERETAUNGA

4. ESTIMATED VALUE OF BUILDINGS \$86540

ESTIMATED VALUE OF PLUMBING \$5200

ESTIMATED VALUE OF DRAINAGE \$2260

5. FLOOR AREA OF WORK 105 M2 Total \$ 94000

6. FEES (herewith incl of GST)

B.R. Levy \$105 : 75

Building \$601 : 00

Crossing Fee 9m \$540 : 00

Plumbing Fee \$237 : 40

Drainage Fee \$111 : 40

Reserve Fund Cont \$

SUBTOTAL (A) \$1595 : 55

Water Deposit \$

Builders Deposit \$600 : 00

Less Perusal Fee \$50 : 00

TOTAL FEES PAYABLE \$2145 : 55

7. Name of Registered Plumber RW HANDSIDES LTD

8. Name of Registered Drainlayer AS ABOVE

9. Name of Registered Engineer

GST =  $\frac{A}{11} = \$177 : 30$

2195.55

Rec. No. 999428

Receipt No. 11452  
Date 4/9/89

10. NOTE:—The following MUST accompany this Application:—

- (a) Site Plans of Proposed Work:
- (b) Elevations:
- (c) Sections: Cross and Longitudinal:  
Site Plan must show position of all sanitary fittings.
- (d) Two Copies of Specifications of BUILDING and Materials to be used.
- (e) SITE PLAN to be drawn to a scale of 1:200 showing proposed layout of all sewer and s/water.  
Two Plans required for GARAGES, SHEDS, ADDITIONS and ALTERATIONS.  
PLANS must be submitted in TRIPLICATE for NEW DWELLINGS and FLATS only.
- (f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- (g) A Deposit must be paid where building material is taken ACROSS A FOOTPATH.

11. SIGNATURE OF APPLICANT B. Marshall as BUILDER or OWNER  
PHONE No. 277 802

12. ADDRESS 5 PINEHILL CRESC HERETAUNGA

13. BUILDER'S NAME AND ADDRESS If not the applicant. AS ABOVE  
PHONE No.

All work will be carried out in accordance with The Upper Hutt City Council By-laws.



3. **FOUNDATION:** Height.....  
 Footing sizes.....  
 Steel reinforcement.....  
 table 2 sub floor braces.....  
 bracing lines 5 metre maximum  
 .....

- Copy of plans and specifications sent to Fire Officer      date: .....

**FOR OFFICE USE  
COMMENT SHEET**

	Init	Date		Init	Date
TOWN PLANNING	<i>MB</i>	29/8/89	BUILDING INSPECTOR	<i>Qu</i>	30/8/89
STRUCTURAL ENGINEER			PLUMBING AND DRAINAGE	<i>WV</i>	31/8/89
HEALTH INSPECTOR					

**BUILDING:**

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**PLUMBING, DRAINAGE & HEALTH:**

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**TOWN PLANNING:**

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**ENGINEERS:**

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**APPROVED**  
**CHECKED**  
**UPPER HUTT CITY COUNCIL**

BY \_\_\_\_\_

DATE \_\_\_\_\_

STRUCTURAL ENGINEER \_\_\_\_\_

HEALTH INSPECTOR \_\_\_\_\_

BUILDING INSPECTOR \_\_\_\_\_

Initial \_\_\_\_\_ Date \_\_\_\_\_

20/8/80

# SPECIFICATION OF

WORK TO BE DONE AND MATERIALS TO BE USED IN  
ERECTION AND COMPLETION OF AN INITIAL HOME (H  
KEA 104

FOR MR AND MRS B & A MARSHALL

ON LOT 3 DP 66095

ADDRESS GENTIAN STREET  
UPPER HUTT



**CHECKED**  
**UPPER HUTT CITY COUNCIL**

STRUCTURAL ENGINEER \_\_\_\_\_

HEALTH INSPECTOR \_\_\_\_\_

BUILDING INSPECTOR \_\_\_\_\_

Initial	Date

**PLUMBING DRAINAGE AND HEALTH**

All works to comply with P&D Regulations 1978 and UHCC Bylaws.

Inspector to be notified for inspections before any pipework is covered.

All works must be done by licensed tradesman.

The Plumber and Drainlayer must obtain a permit before commencing work.

## I N D E X

No.	SECTION	PAGE
1.	PRELIMINARY AND GENERAL	3
2.	EARTHWORKS AND SITE PREPARATION	6
3.	CONCRETOR - PILE FOUNDATION	7
3A.	POST AND BEAM FOUNDATIONS (IF APPLICABLE)	8
4.	CARPENTER - METHOD OF CONSTRUCTION	9
4A.	CARPENTER - INSULATION	9
5.	JOINERY	11
6.	ROOFER - GALVANISED IRON	13
7.	PLUMBING	13
8.	DRAINLAYER	16
9.	ELECTRICAL WORK	17
10.	PAINTING	19

ALL WORKS TO BE ARRANGED AND COMPLETED BY OWNER



# 1. PRELIMINARY AND GENERAL

The contractor shall provide all labour and materials, supply and maintain the required tools, plant, scaffolds, sheds, etc. All work shall be carried out in accordance with this specification together with all relevant plans and details and comply with the Local Body By-Laws. All work shall be in accordance with NZS 3604 model building by-law except where overruled by Local Body By-Laws or special requirements by any lending institution which may be the mortgagee.

## 1.1 PLANS AND SPECIFICATIONS

The working drawings with this specification and any special conditions attached shall form part of the contract. In the event of there being any difference between drawings and specifications the information in the specifications will take precedence.

Figured dimensions shall take precedence over scaled dimensions. Large scale drawings shall take precedence over small scale drawings.

## 1.2 PROVIDE AND FIX

The words "provide" and "fix" where used separately shall be construed to mean "provide and fix", unless otherwise specified.

## 1.3 INSURANCE

The contractor will insure the building for the full contract price against "Builders All Risk in the names of the owner, the builder and the mortgagee (if any) for their respective rights and interests. This cover will be kept in force until the date of occupation.

## 1.4 COMMENCEMENT OF WORK

The commencement of work after signing of contract documents will be subject to the scheduled delivery of components from Initial Homes Limited according to supply and demand as at that date.

## 1.5 DEFAULT AND BANKRUPTCY

The usual laws of bankruptcy and default apply to this contract.

## 1.6 FLUCTUATIONS IN COST

Should there be either a rise or fall in the price of labour and/or materials including the Initial components between the date of quotation and the date on which such labour is employed or such materials are procured for this contract then on the final settlement a compensating adjustment of the contract price shall be made and the Owner shall make additional payment on or receive such allowance from the contract price as such rise or fall shall cause.

## 1.7 VARIATIONS AND EXTRA WORK

The contractor shall carry out variations or extra work requested by the employer providing:

- (a) that all such work is either authorised in writing by the owner or

- (b) if requested verbally by the owner, is confirmed immediately in writing by the contractor.
- (c) extras will be charged on a cost plus 20% basis quoted for.

#### 1.8 PERMITS AND FEES

The contractor shall obtain all permits from, and pay all fees demanded by local authorities before commencement of work. This clause shall not apply for the arrangement and payment of the inspection and valuation by the lending institution (if any) in respect of progress payments. In the event of additional work being required by the local authority, this will be regarded as an extra to the contract and payments for these will be the responsibility of the owner.

#### 1.9 VEHICLE CROSSING

Where a vehicle crossing is called for by the local authority, any fees arising shall be the responsibility of the owner and do not form part of the building contract.

#### 1.10 MATERIAL SPECIFICATION

Should any of the materials specified for this contract be unprocurable at the time of purchase, negotiations shall be made for the provision of substitutes. Any substitute must also be acceptable to the Local Authority. Any price variation will be credited or charges as an extra at the completion of the job. All materials placed on site by the contractor for the proposed building, remain the property of the contractor in the case of not being used. All waste material and boxing remain the property of the contractor.

#### 1.11 MAINTENANCE

The contractor shall maintain the work carried out for a period of 31 days after completion of the contract. During that period the contractor shall make good all defects in any part of the trade to a workmanlike standard. Maintenance after stated period is entirely at the discretion of the contractor.

#### 1.12 P.C. ITEMS

The initials "PC" (Prime Cost) is the figure charged to the contractor. All items in the contract referred to as PC items are subject to a 15% markup for the handling and co-ordination of the same. GST is included in PC sums.

The PC items allowed in this contract are as follows:

1. ....
2. ....
3. ....
4. ....
5. ....
6. ....
7. ....
8. ....
9. ....

#### 1.13 CLEAN UP AND MAKE GOOD

The site is to be left clean at all times from accumulation of rubbish resulting from works, and provision is to be made for the regular removal of same from the site. Excavated soil is the responsibility of the Owner. The builder is responsible for leaving the house broom clean.

#### 1.14 SUBCONTRACTORS

All subcontractors shall be engaged and supervised by the building contractor except where prior arrangements are made in writing between contractor and employer. Every subcontractor jointly and separately shall coloborate, wait on, assist and render all necessary assistance to complementary trades. Additional work or adjustments must be made with the building contractor. Alertations made by the client with the subcontractor will not be the responsibility of the building contractor (refer to extra work).

The individual subcontracts as itemised in the specification are respectively the responsibility of the subcontractor under which they are listed.

Any subcontractor working on the contract without his own set of plans and specifications does so at his own risk and errors must be rectified at his expense.

#### 1.15 ARBITRATION

Any dispute arising between owner (employer) and contractor (builder) not soluble by the terms of his specification, shall be referred to arbitration within the meaning of the Arbitration Act of 1908. Occupation of the house cannot be taken until the dispute is settled. In the event of the owner taking occupation any claim to dispute is nullified.

#### 1.16 EXPOSED SITES

The contractor will make every endeavour to ensure that the said structure is constructed in accordance with trade standards. Severely exposed sites shall receive special attention in respect to water and wind proofing but shall not obligate the builder in extreme conditions. The owner indemnifies the contractor against any claims resulting from the effects of extreme weather conditions.

## 2.EARTHWORKS AND SITE PREPARATION

### 2.1 SETTING OUT

The Owner shall be responsible for the locating and the clear flagging of all survey pegs before the setting out of the building on the site. The contractor will be responsible for the accurate setting out of all work to the dimensions shown on the drawings.

### 2.2 LEVELS

Foundation heights shown on the plan are an approximation and should be checked on the site by the contractor. Any variation in the ground level requiring extra foundation will be charged as an extra.

### 2.3 GROUND CONDITIONS

- (a) Foundations in this contract provide for solid bearing down to 30mm below ground surface level. Where soft, unsuitable or unusual strata or below ground conditions are encountered requiring additional depth of concrete and other foundation to provide a solid platform to build on and/or comply with Mortgagees and/or Local Authorities requirements, additional costs incurred shall be charged to the owner as an extra.
- (b) Where unusual ground conditions are found and special foundation works have to be carried out, they too shall be treated as an extra and have charged as above.

### 2.4 TEMPORARY SERVICES

Water: a toby box should be on every section. In the event of water not being supplied any additional arrangements made by the contractor will be charged as an extra.  
Electric Power: The contractor is responsible for the supply of temporary electric power to the building site.

### 2.5 SITE PREPARATION

Must comply with NZS 3604 3.4 Excavation of the building site, if required, shall be arranged by the contractor and if the cost is not included in the contract, an extra charge will be made. The contractor is responsible for the supervision of the excavation and the progress of levels to establish the required platform.

For the purpose of the contract soil conditions are taken to solid ground approved by the Local Authority. It will be the client's responsibility to ensure that he or his representative is in attendance when excavations are carried out on the building site.

### 2.6 CLEARING OF SITE

The owner shall arrange and pay charges for the clearing of the building site of vegetation, scrub, trees etc. which encroach on the building platform.



## **2.7 SITE ACCESS**

All building sites should have access suitable for heavy vehicles. If this is not the case the responsibility of providing access rests with the owners and access should be supplied at their cost prior to commencement of building. However, if during the works it is necessary to provide hardfill for access, this will be handled by the contractor and charged to the owner accordingly. Where access is only available through an adjacent property, it shall be the responsibility of the owner to obtain prior approval from the owner of the property.

## **2.8 FOOTPATH DAMAGE**

The contractor will be responsible for any damage to Local Body footpaths and/or road crossings, resulting from any vehicle used by him or his sub-trades, or delivery vehicles of materials ordered by him, providing such crossings are constructed to an acceptable standard.

## **2.9 REGISTERED ENGINEER**

If the lending authority or the Local Body Authority requests an Engineers report, instructions or calculations, then the costs for such services will be applied as an extra to the contract. Where the section has been filled, owner to supply engineers certificate of compaction.

## **2.10 EARTH FILL**

The contractor shall not be liable for any damage or deterioration of any work to the building or to the site caused by or resulting from the inadequacy of earth fill or by the negligent application thereof, and the owner indemnifies the contractor against any claim against him by any person whatsoever for damages or expenses incurred by faulty earth fill aforesaid.

# **3. CONCRETOR — PILE FOUNDATION**

## **3.1 MATERIALS**

Aggregate shall be sharp, clean sand crushed and hard metal or river shingle free from decomposable matter and of size to pass through a 25mm grid.

## **3.2 MIX**

Mix concrete thoroughly in a mechanical mixer for not less than two minutes; add sufficient water to give a stiff workable mixture. Concrete throughout shall be composed of 1 part cement to 4 parts of crushed metal and 2 parts of sand or builders mix.

## **3.3 FOOTINGS**

All pile footings shall not be less than 400mm x 150mm of concrete, and must comply with the requirements of NZS 3604.4.

#### 3.4 PILES

All timber piles to be minimum 140 diameter and treated to T.P.A.C2, set in concrete footings to comply with NZS 3604.4.

#### 3.5 BASEBOARDS

Baseboards shall be 6mm Flat Hardiflex.

#### 3.6 SUBFLOOR FRAMING (if applicable)

All jackstuds, braces, plates, stringers, bearers and associated fixings shall comply with NZS 3604.

## 4. CARPENTER – METHOD OF CONSTRUCTION

### 4.1 MATERIALS

Refer to Initial Specifications 1-35 for the list of materials as supplied ex factory, Rotorua.

### 4.2 BREAKAGES

Any breakages in transit or on site are the responsibility of the contractor. Structural components must be rectified or replaced before inserted in the Initial house.

### 4.3 TECHNICAL STRENGTH

Full engineering calculations are available on the Initial method of construction.

### 4.4 PRIMING

Prime or stain all spouting boards, joints and abutting surfaces of exterior trim and joinery. Allow for priming all abutted and housed joints of all exterior timber works. Prime with white GP primer or suitable oilstain.

### 4.5 NAILS

All nails used in Initial construction must be galvanised

### 4.6 FLOORS - BY OWNER

The floors will be given one cut with an electric floor sander. Fine sanding and varnishing is not included in this contract.

### 4.7 MAKING GOOD AND COMPLETION

Attend upon and make good in after all trades. On completion leave all in good condition.

### 4.8 DECKS

Construct timber decks as per plan using tanalised timber to standard Initial details.

## 4A. INSULATION

### 4A.1 WALLS

Line over solid timber exterior walls with double-sided insulation aluminium foil paper per detail Specification.

### 4A.2 CEILINGS

R1.6 Glasswool Batts are to be laid in ceiling space.

### 4A.3 FLOORS

Lay '422 Perforated Sisalation' over joists with a 100mm dish midspan between joists. Side laps of foil to be a minimum of 100mm.

Sisalation to be stapled to top of joists at 300mm maximum crs.

Fit foil tightly around floor nogs, service pipes etc. All damaged areas to be taped with 50 mm wide polythene tape.

For the purposes of compliance with NZS 4218p, the calculated performance is  $R = 1.5\text{m}^2\text{C}^\circ/\text{W}$ .



## 5. JOINERY

### 5.1 WORKMANSHIP

Construct everything as detailed in a workmanlike manner. All skirtings, scotias, architraves, beads etc. are to be properly butted. Nails, brads or screws shall be small as is consistent with practical requirements and shall be carefully punched or countersunk. Stop holes with approved stopping. No hammer bruises or other marks may show on finished work.

### 5.2 EXTERIOR JOINERY

Exterior joinery will be generally first quality aluminium extrusion finished with a baked enamel paint surface. Powder coated (see Initial specifications).

### 5.3 INTERIOR JOINERY - PAINT QUALITY

Interior doors shall be stock flush hollow core veneer finished of an approved make, hung with 1½ pair of 100mm loose pins BS butts on ex 100 x 50 rebated solid jambs. The jambs will be rebated obviating the use of architraves. All door furniture will be fitted centrally on door 1 metre from the floor. Rebated liners will be used throughout the house in the case of sliding doors, linen cupboard doors, wardrobe doors and any other apertures.

### 5.4 DETAILS LININGS

Bathroom - Shower

*White Riotone or Seratone*  
.....  
.....

### 5.5 HARDWARE

In general the hardware will be as supplied by Initial Homes Limited.

### 5.6 HOT WATER CUPBOARD

The storage area in the hot water cupboard is to be provided with 5 evenly spaced shelves using slats ex 100mm x 25mm with 12mm spacing.

### 5.7 WARDROBES, COAT CUPBOARDS ETC.

Frame wardrobe, linen, coats etc shown with linings and doors as previously specified. Fix a 19mm pre-finished pipe at 1.500 metres from the floor. Install a 300mm x 25mm hat shelf at 1.700 metres from the floor.

### 5.8 GLAZIER

All glass should be approved manufacture, and shall be cut with allowance for expansion, embedded, sprigged and back puttied (if applicable).  
Sashes under .650m<sup>2</sup> in 3mm glass.

Glaze all sashes above .650m<sup>2</sup> in 4mm glass except where specified as plate, and then 6mm drawn glass will be used. All service rooms such as bath and WC will be glazed in obscure glass, pattern as supplied by

## 5.9 FITTINGS

Provide all fittings shown, true to level, plumb and square. Shelves shall be ex 150mm x 25mm with full cross support at intervals of not greater than 900mm.

KITCHEN UNITS	Carcasses	18mm Customwood/Customwood	Doors
	Drawer Fronts	Customwood	
	Drawer Handles	55mm Tawa Wooden Knobs	
	Door Handles	55mm Tawa Wooden Knobs	
	Door Hinges	F.B. Steel Butts	
	Door Catches	Self closing Hinges	
SINK BENCH	Type	Stainless Steel	Colour N/A
	Size	1.6m	No. of Bowls One
DRESSER TOPS		Formica	Colour White
LAUNDRY TUB	No.	One	Type LP 11
VANITY UNIT	Basin	Plix	Colour White
	Top	Formica	Colour White
SHAVING CABINET		Nil	
SPECIAL JOINERY			
REQUIREMENTS			

## 6. ROOFER—GALVANISED IRON

### 6.1 GALVANISED STYLELINE IRON ROOFING

Galvanised Iron roofing sheets to be .40mm. Side laps to be minimum 1½ corrugations. End laps to be a minimum of 225mm if sheets are joined. All side laps are to be primed with zinc chromate for 3 corrugations before fixing. Flash all openings through roof including chimney vents, overflows, with 1 814kg sheet lead to make the building water-tight.

### 6.2 RIDGING

Ridging to be lead edged 40 mm galvanised iron fitted with 200mm laps and lead edges beaten well into sheet corrugation.

### 6.3 BARGE ROLLS

Fit square edged barge capping with 300mm laps to flash connection of the roof to all barge boards.

### 6.4 FIXING

Fix all sheets to 50mm x 40mm purlins with a maximum spacing of 760mm. All galvanised iron roofing, barges, and ridges are to be fixed with lead head nails. Minimum of 3 nails per width of sheet to each purlin.

### 6.5 FINISHING

Roof painting not included in contract.

## 7. PLUMBING

### 7.1 GENERAL

Provide all materials, labour and plant necessary to complete the work set out in the plans and specifications in accordance with best trade practice and the requirements of local authorities.

The work shall be carried out by a competent tradesman possessing the qualifications as laid down in specification 15 and 16 of the NZSS 671 using materials consistent with sound trade practice, and in no case inferior to any requirements of the section 1 and sections 26-91 inclusive of NZSS 671.

The plumber shall give all necessary notices to the local authority and shall uplift the permit before starting work. Water pipes and tubes shall be set out in straight runs of even gradients, avoiding all places where airlocks are likely to occur.

Use easy bends and unless avoidable, elbow fittings are not to be used.

All piping where practical to be concealed. All work shall be left in a thoroughly sound and watertight condition or in a perfect working order as the case may be.

In the event of any piping above the floor being exposed to view, such piping is to be 12.7 dia. chrome plate on copper pipe with chrome fittings where visible.

#### 7.2 FLASHINGS

Flash as necessary to render building watertight. All flashings shall be accurately fitted to work and shall be machine bent and cut in lengths as long as possible. All joints shall be well lapped and fixed with 19mm flat head galvanised nails at 450mm centres. Flashings shall be manufactured from materials that will not react adversely to adjacent materials.

#### 7.3 VALLEYS

Valleys shall be formed out of .6mm galvanised iron to form a 100mm x 50mm trough at intersection of angle roofs.

#### 7.4 SPOUTINGS AND DOWNPIPES

Fit spouting and downpipes to manufacturers specifications and or in compliance with regulations set down by the local specifying authority. All spouting shall be fixed straight and with even falls and downpipes shall be positioned where marked on the plan.

#### 7.5 VENTS AND SOIL STACKS

Soil stacks and back vents to wastes shall be approved rigid PVC. Terminal vents shall be rigid PVC or fibrolite of approved size and quality. Allow for all back vents as required and install soil pipes and vents in accordance with the appropriate Code of Practice and the Manufacturer's instructions. Where possible vent pipes and soil stacks shall be concealed.

#### 7.6 WASTES

Join WC pan to drain above level of the floor with a spun yarn ring sealed with mastic or other approved material which will provide a non rigid gas tight joint. Fix basin with 32 mm chromium plated brass traps and waste pipes to floor level with an approved floor flange. Bath, shower and wash tub wastes shall be 38mm dia. Sink wastes shall not be less than 38mm diam. All waste pipes throughout the contract, other than exposed will be PVC piping or as approved by the local authority.

#### 7.7 HOSE TAPS

Supply and fit two brass hose cocks per dwelling in the position shown on the plan.

#### 7.8 COLD WATER SUPPLY

Lay cold water supply from supply point in 12.7mm diameter PVC pipe buried not less than 600mm. Where supply point exceeds 10m additional charge will apply. Take 12.7mm PVC branches to bath, basin, sink, vanity, each compartment of wash tubs, WC flushing cisterns and to exterior hose taps. Connect storage tank and to hot water cylinder with 12.7mm PVC pipe.

#### 7.9 HOT WATER SUPPLY

Supply and install above floor level a general purpose hot water cylinder. From cylinder connect in 12.7mm to laundry tub, shower, bath, basin and sink bench. Use PVC piping.

#### 7.10 PRESSURE

Except where a dual gas or electric system is to be installed or a supply tank is required, and where permitted by local authority, install an approved pressure reducing valve and/or pressure relief valve in accordance with the manufacturer's instructions.

#### 7.11 SUPPLY TANK(If applicable)

Where a supply tank is to be installed provide an approved high density polythene tank 70 litre capacity complete with lid, tray and overflow pipe with birdstop outlet. Exhaust vent pipe from cylinders generally shall be carried through the roof, and shall not terminate in plastic supply tanks.

#### 7.12 SANITARY FITTINGS

As shown on floor plan and schedule. Fixed cistern WC pan shall be white glazed earthenware fitted with a seat.

#### 7.13 FIXING

The sinktop, tub, and all vanity units will be supplied by the joiner and the plumber is responsible for connecting only.

#### 7.14 THE FOLLOWING ITEMS ARE INCLUDED IN THE CONTRACT:

SINK TAPS	Type.....
HOT WATER CYLINDER	Type.....Capacity.....
LAUNDRY TAPS	Type.....
OWNERS WASHING MACHINE	Type.....Taps & Waste
BATH	Type.....Size.....
HANDBASIN	Type.....
	Basin Fitting.....
VANITY TAPS	Type.....
SHOWER	Type.....Size.....
SHOWER MIXER	Type.....Rose.....
SPOUTING & DOWNPIPES	Type.....
HEATING	Type.....
TOILET	Cistern.....Colour.....
SPECIAL PLUMBING REQUIREMENTS	.....
	.....
	.....
	.....



## 8.DRAINLAYER

### 8.1 PRELIMINARY

The whole of the drainage work shall be carried out in accordance with the by-laws of the local authority, and to the satisfaction of the local authority inspector.

### 8.2 GENERAL

Provide all fittings necessary to complete the work and lay all drains to an even and consistent fall not less than 1 in 40.

### 8.3 SANITARY FITTINGS

Fit WC pan to sewer connections. Connect up vent pipes fixed by the plumber.

### 8.4 SEWER

Drains shall be laid in a straight line and to even gradients, properly cleaned out as the work proceeds. Fix 100mm GEW gulley traps to take wastes and 100mm bends to take soil pipe, terminal vent etc. Gulley traps shall have concrete curbs and CI gratings. All work to be done to the Local Authorities standard.

### 8.5 MATERIALS

Pipes shall be jointed to the local authority requirements. Bends and gulley traps to be haunched on a 100cm concrete pad. Provide minimum of 300mm of cover over highest point of drains, or alternatively provide 75mm concrete cover over top of drains.

### 8.6 SEPTIC TANK (IF APPLICABLE)

Build a rectangular 2.724 litres septic tank in concrete to the requirements of the NZSS 758 of 1951. Alternatively an approved precast tank may be used.

### 8.7 EFFLUENT DRAIN (If applicable)

From the outlet of the septic tank lay field tile drain to an even grade. Lay drain on a 150mm bed of 75mm to 40mm clean shingle, discharging into a soakpit. Alternatively a 900mm diameter soakhole may be used.

### 8.8 STORMWATER

From all downpipes, take stormwater drains to 600mm diameter soak holes. Or to street channel or stormwater connections in compliance with Local Authority requirements.

### 8.9 SEWERAGE AND STORMWATER

PC Sum of .....allowed for this work.  
(Refer also to PC sums - Page )

## 9. ELECTRICAL WORK

### 9.1 GENERAL

Provide all materials, labour and plant necessary to complete the works set out in the Plans and Specifications in accordance with best trade practice, the wiring regulations 1969, and to the satisfaction of the Local Authorities. Obtain the necessary permits from the supply authority prior to commencing work.

### 9.2 ELECTRICAL POWER SUPPLY

Contractor to arrange with supply authority to make power connection to house. In underground supply area, extra charge will apply for supply over 10m between boundary and fuse box. In overhead supply area, extra charge will apply for overhead supply over 20m. If underground supply is requested in overhead area, the total cost shall be charged.

### 9.3 SWITCHBOARD

Provide and fix meterboard where indicated on drawings, complete with all necessary fittings, and enclose in galvanised iron case with glazed cover. Provide and fix internal fuseboard complete with cover where indicated on drawings.

### 9.4 LIGHTS

Provide light points complete with lamps and shades as indicated on the lighting plan. Provide 100 watt lamps in the living and dining rooms and 75 watt lamps at all other points. In case of hanging lights the socket is to be 2200mm from the floor. (Or in general, about that height for sloping ceilings.) In the case of wall lights the socket is to occur at 1550mm high. External wall lights are to be placed at 1800mm high.

### 9.5 SWITCHES

All switches throughout the house are to be placed 1 metre high from the floor.

### 9.6 POWER POINTS

Provide power points at positions shown. Allow for 10 amp 3 pin flush power sockets fixed 300mm above floor level.

### 9.7 MATERIALS

All switches and plugs shall be flush type, ring grip rocker type, black in colour. All cables shall be CMA brand or similar approved.

### 9.8 AERIAL AND EARTH POINTS

Television aerial connection with 3.600 metre of space aerial flex to roof peak shall be provided if specially requested and allowed for in contract price.

#### 9.9 ELECTRICAL SPECIFICATION

The understated are included within this contract:

No. of Single Points.....	Nil
No. of Double Points.....	
No. of Shaving Points.....	Nil
No. of Lights.....	
No. of Fluorescent Tubes.....	Nil
No. of Outside Lights-PDL fittings....	2
No. of Two Way Switches.....	
Type of Stove.....	Shacklock 610
Under-Sink HWC.....	Nil
Dishwasher.....	Nil
Extraction Fan/Rangehood.....	Nil
Waste Disposal Unit.....	Nil
Electrical Heating.....	Nil
TV or Earth/Aerial Points.....	Nil
Other Special Requirements.....	
.....	
.....	

#### 9.10 ELECTRIC COOKER

The electric cooker is normally included as a PC item and is supplied, installed, maintained by the electrician under guarantee. In the event of the electrician not supplying the electric cooker, an additional charge will be made for the installation of the same. (Wall oven and hobbs will also be an additional charge over that for an electric cooker.)

#### 9.11 LIGHT FITTINGS

Light fittings are not included in the contract price. The contract allows for a white plastic shade and bulb to all lamp holders. If the client wishes to have the electrician connect their fittings, negotiations must be made with the contractor at an early stage. Payment for the same will be made separate and not part of the contract.

## 10. PAINTING

### 10.1 EXTENT OF WORK

The work as specified to be finished in the particular material or manner, and shall mean the provision of all preparatory works necessary to ensure proper finish, whether expressly mentioned or not. Leave everything clean at completion, with all debris and paint spots removed. Clean all glass.

## 10.2 RELATION TO OTHER TRADES

Inspect the work of other trades upon which material is to be applied and report any defect to the general contractor. Work shall not proceed until a satisfactory surface has been obtained. Failure to examine report will be construed as acceptance that the preparatory work is satisfactory.

### 10.3 WORKMANSHIP

All work shall be done by a competent tradesman and finished to the contractor's specification. All surfaces for the paint shall be suitable prepared. All permanently covered surfaces shall be primed before erection. All work shall be free from brush marks.

#### 10.4 MATERIALS

No painting, enamelling, distempering or similar finishing shall be done on concrete, plaster or similar surfaces unless and until such surfaces are in a suitable condition to receive the finish. No painting on exterior work shall be done during wet or foggy weather. Natural timber surfaces: All natural timber surfaces shall be thoroughly cleansed with a cleaning agent and steel wool or oxalic acid to render a surface perfectly clear and free from any dirt marks, boot marks, pencil lines etc. before the finish is applied.

## 10.5 FINISHING

All coats of paint to be thoroughly dry before subsequent coats are applied and rubbed down with fine wet and dry sandpaper where necessary.

**10.6 THE FOLLOWING FINISHES ARE REQUIRED IN THIS CONTRACT:**

Exterior Hardiplank soffits and paint surface  
to have two coats of paint

Spouting and Downpipes. Marley PVC

Interior paints... Two coats of satin polyurethane to  
all timber walls. Interior doors to be painted.

## 10.7 ITEMS OF SPECIAL NOTICE

- (a) Timber Floors: The finish on timber floors is not included in this contract unless specified by the owner, and has not been quoted for.
- (b) Basements: Paint finishing to all levels below main floor level is not included in this contract.
- (c) Splitting - distorting - delamination of exposed exterior timbers through the applications of dark coloured paints or stains will not be the responsibility of the contractor.
- (d) Painting of roof is not included in this contract.

## 10.8 BASIC MATERIALS

Foundations: ... *Tanapiles* .....

Floor: ..... *Plycopine* .....

Roofing: .....



30. INTERIOR FINISHING MATERIALS:

- (a) Scotia, Skirting and Beading
- (b) Shelving
- (c) Shelf Battens

All (a), (b) and (c) Radiata Pine, kiln dried, fingerjointed.

- (d) Wardrobe rails, 19mm diameter "powder coated" steel pipe complete with holders.

31. CEILING TILES: Rectangular preprimed wood fibre tiles.

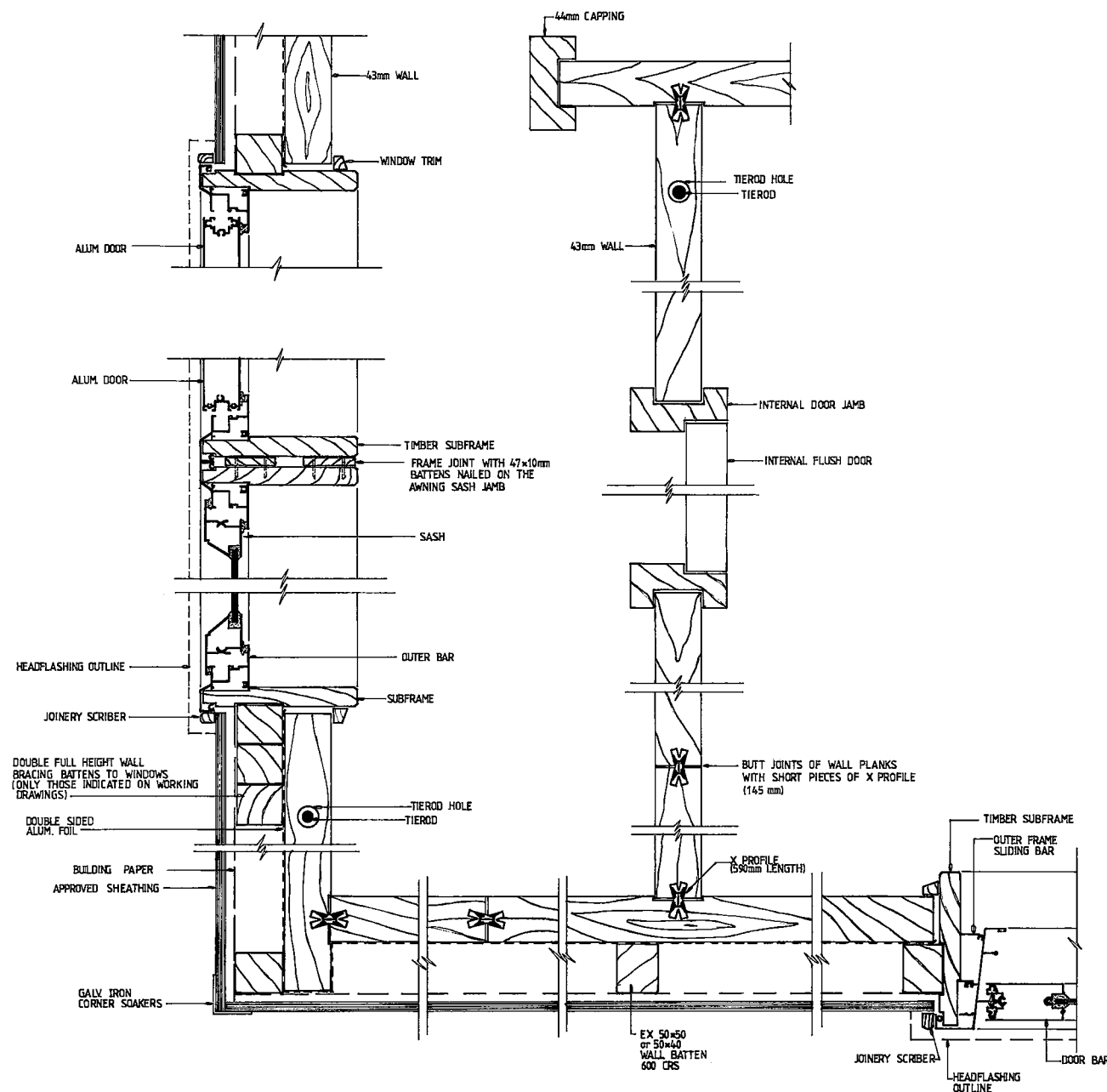
32. BATH AND LAUNDRY TUB LININGS: Water resistant smooth surface wall boards complete with jointers, edge mouldings and adhesive.

33. INTERIOR FITTINGS: Bathroom vanity unit with top and bowl, laundry cupboard with stainless steel tub and kitchen sink bench with stainless steel top and kitchen fittings with prefinished tops. Carasses are of paint quality with self closing hinges.

34. CEILING INSULATION: Glass wool fibre. Vapour barrier. Suitable materials will be substituted if glass wool fibre is unavailable.

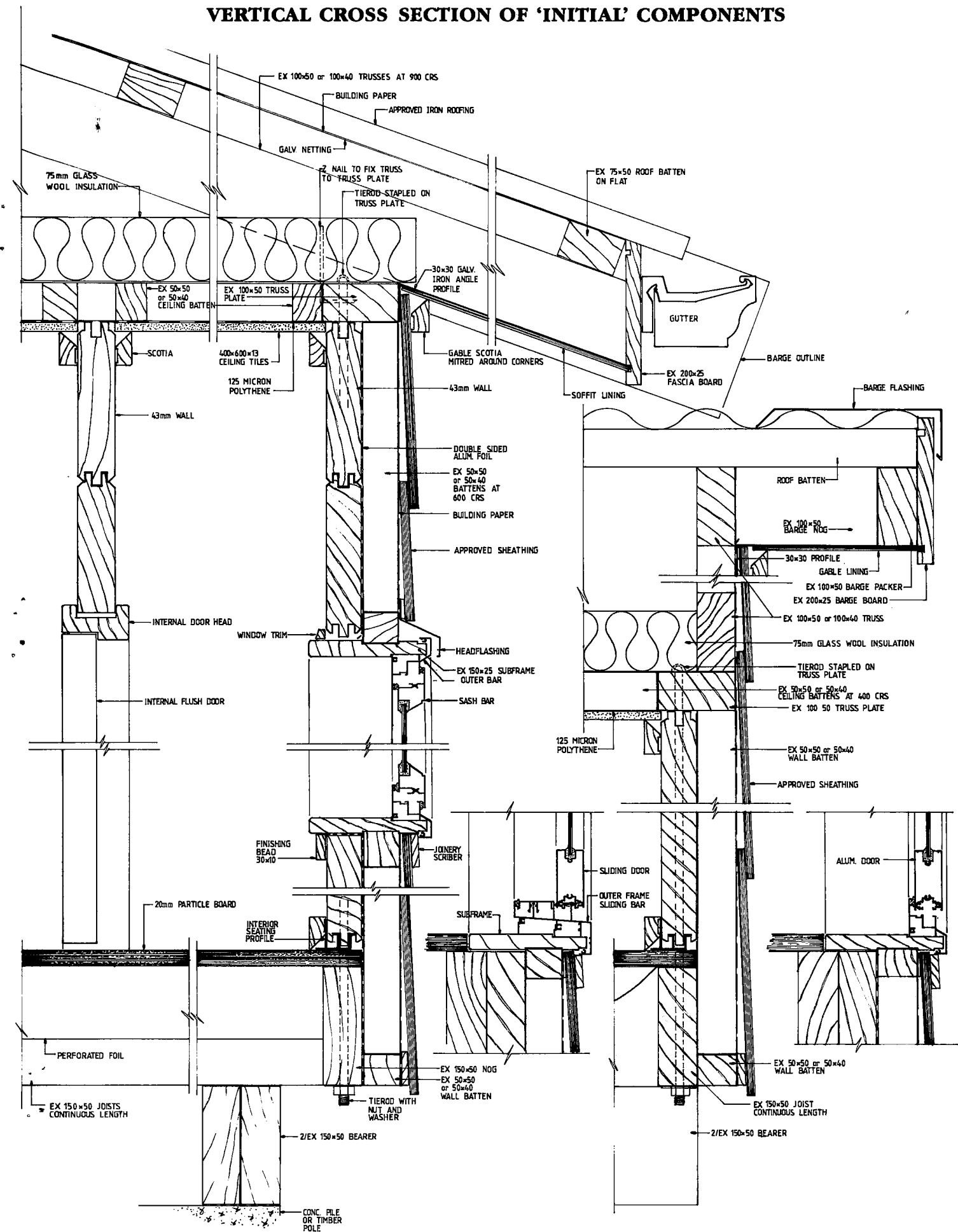
**NOTE:** ITEMS NOT INCLUDED IN THE PURCHASE SHOULD BE STRUCK OUT OF THIS SPECIFICATION.

**HORIZONTAL CROSS SECTION OF 'INITIAL' COMPONENTS**



PATENTS & COPYRIGHTS RESERVED

**VERTICAL CROSS SECTION OF 'INITIAL' COMPONENTS**



**INTERLOCKING OF INITIAL COMPONENTS**

PATENTS & COPYRIGHTS RESERVED

The basic Initial system for the standard range of plans has been designed for wind speed up to 37 metres per second as contained in NZS 3604 1981. Where topography, elevation or degree of exposure result in higher wind speeds, special consideration must be allowed for in the design.

These features and benefits are found in Initial Homes at no extra cost.

1. Solid internal walls of natural timber (when finished with a synthetic varnish has an expected durability of a minimum of 25 years).
2. Reduced construction time.
3. Factory quality controlled product.

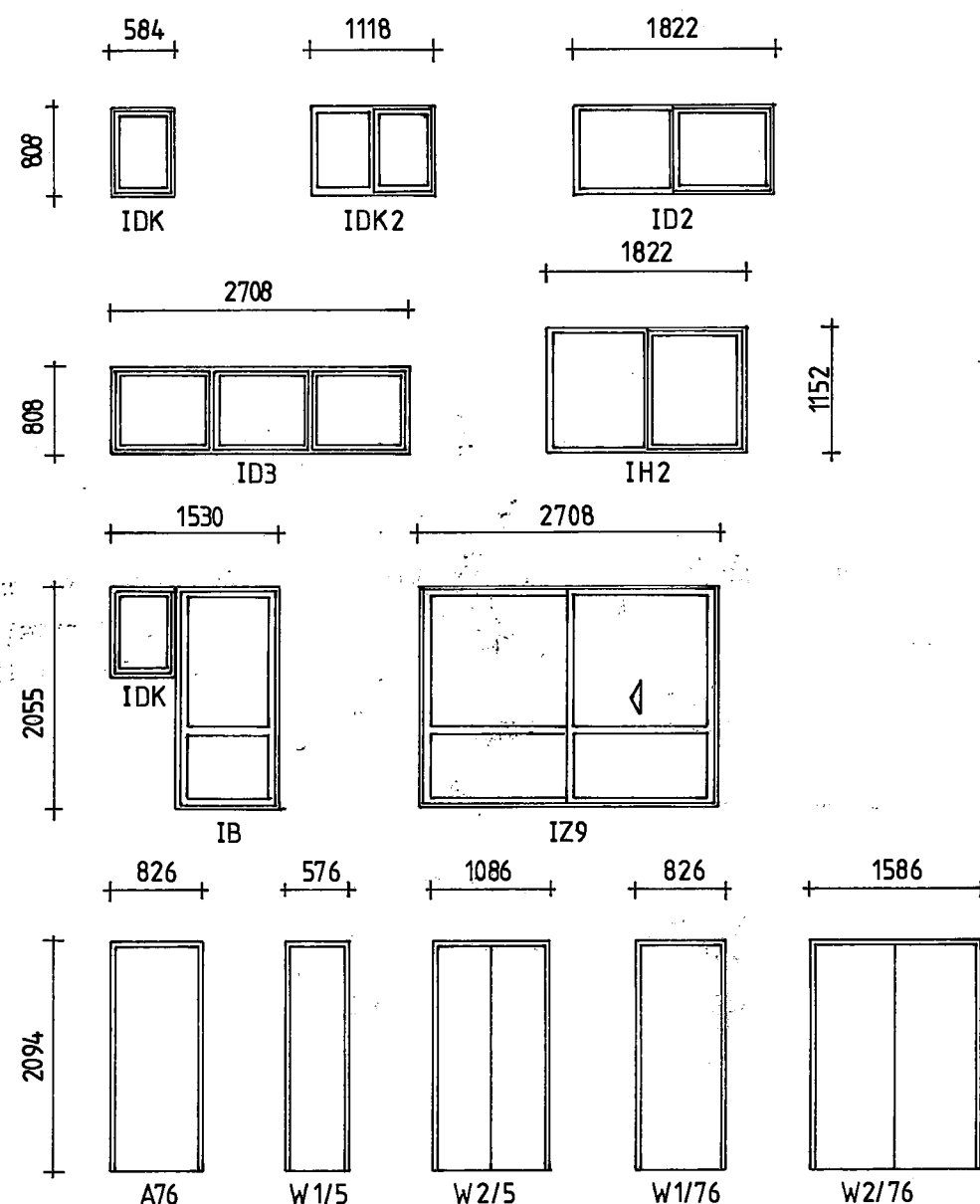
**BORIC:** Treatment is a method of timber preservation applied by the diffusion process containing Boron compounds to New Zealand Timber Preservation Authority Classification H1. This method of timber preservation is a protection against timber destroying fungus and insect attack in areas other than the tropical countries where white ants are found.

**TANALITH:** Treatment is a multi-salt timber preservative applied under pressure to the timbers to comply with the New Zealand Timber Preservation Authority Specification H3. This method of treatment besides preventing fungal decay, protects timber against the attack of white ants and timber destroying insects as found in tropical countries.

In general, the quality of material and standard finish for Initial Homes components will be within the limits of the specification. Initial Homes as a manufacturer, do not deal directly with the public, but distribute to appointed Franchisees on a volume to purchase basis.

The Initial Building system is covered in numerous countries throughout the world by Patents, Copyrights, Design Registrations and Trade Marks. Numbers for these are available upon request.

## KEY TO CURRENT OVERALL SIZES OF INITIAL ALUMINIUM JOINERY AND INTERIOR DOORS



INITIAL HOMES PATENTS AND COPYRIGHTS RESERVED

29-2-84  
23-7-87  
25-1-89

RK  
KRT  
LT

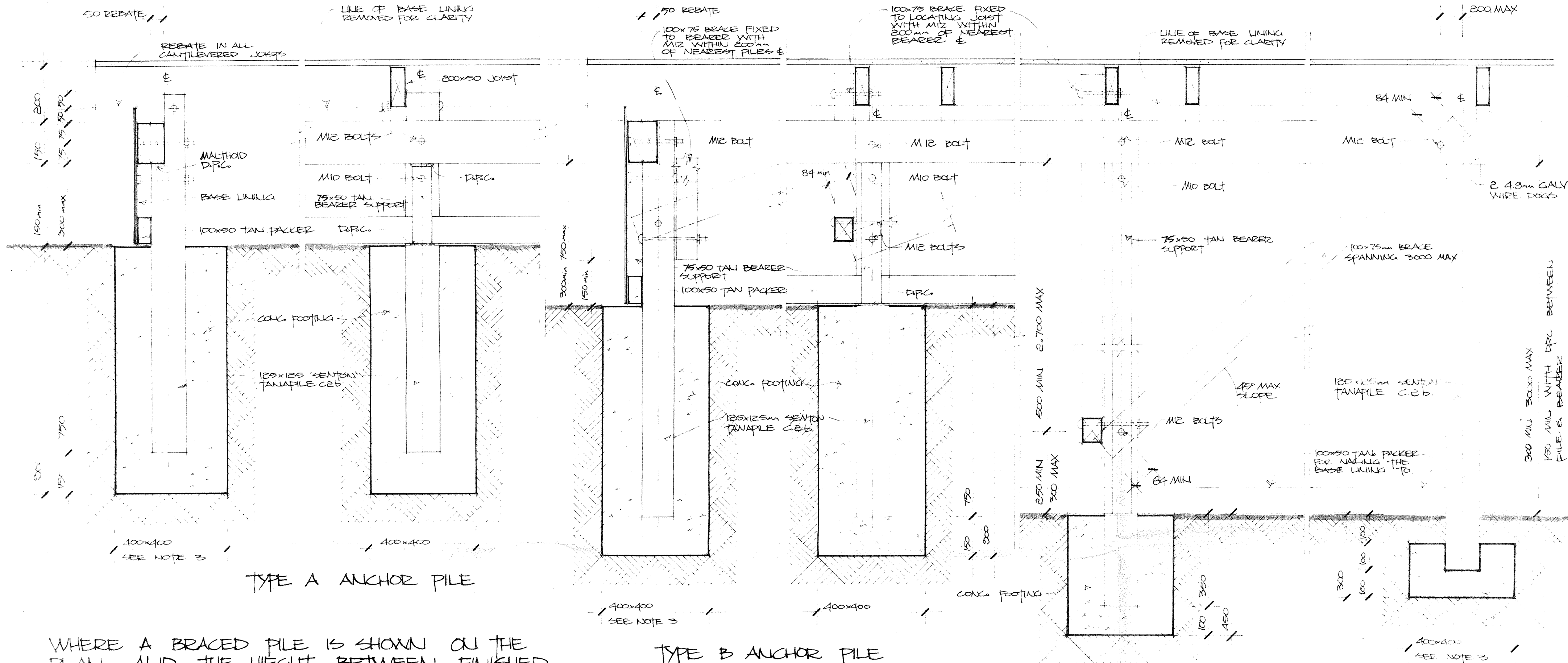
# SPECIFICATION



## Standard Specification for Initial Homes Components for Single Storey Construction

(Specifications and Design subject to alteration without notice)

1. BEARERS: Radiata Pine (No.1 Framing Grade) double ex 150mm x 50mm gauged BORIC treated.
2. FLOOR JOISTS: Radiata Pine (No.1 Framing Grade) ex 150mm x 50mm gauged BORIC treated. Nail plate where necessary.
3. FLOORING: 20mm thick, high density particle board, treated for weather resistance. Should particle board be unavailable other suitable material will be substituted.
4. NOGGINGS: Radiata Pine ex 100mm x 50mm and 150mm x 50mm gauged BORIC treated for floor noggings and roof truss nogging and bracing.
5. PERFORATED ALUMINIUM FOIL: Double sided, edge reinforced, underfloor foil insulation.
6. NAIL PLATES: For joining or connecting bearers, joists, noggings and battens where applicable.
7. INTERIOR AND EXTERIOR WALLS: Radiata Pine Initial Homes grade (43mm) ex 200mm x 50mm BORIC treated kiln dried, fingerjointed where necessary, and shaped to a registered board design. This board is sealed in a water repellent solution.
8. CLEATS: 60mm long metal wall to floor fastening devices.
9. ALUMINIUM ALLOY INTERLOCKING EXTRUSIONS: (refer to diagram).
10. TRUSS PLATE: Radiata Pine (No.1 Framing Grade) ex 100mm x 50mm gauged BORIC treated.
11. CAPPINGS: Radiata Pine Initial Homes grade ex 100mm x 50mm BORIC treated, kiln dried, fingerjointed where necessary to cap exposed ends of walls.
12. ALUMINIUM FOIL: Edge reinforced foil insulation for exterior wall application.
13. WALL AND CEILING BATTENS AND NOGGINGS: Radiata Pine (No.2 Framing Grade) ex 50mm x 50mm or 50mm x 40mm gauged BORIC treated.
14. ROOF TRUSSES: Manufactured from Radiata Pine or Douglas Fir (No.1 Framing Grade), gauged, BORIC treated. Engineer designed. Certificate available on application.
15. ROOF BATTENS: Radiata Pine or Douglas Fir (No.1 Framing Grade) ex 75mm x 50mm gauged, BORIC treated.
16. "Z" NAILS: 4.9mm diameter nails to connect trusses to the truss plate.
17. TIERODS: 10mm diameter steel rods complete with washers and nuts, threaded one end.
18. NAILS: Various types and sizes, galvanised.
19. ROOF NETTING: (Galvanised).
20. BUILDING PAPER: For roof and exterior walls. A tar impregnated paper manufactured to prevent water ingress.
21. ROOF IRON: Roll formed iron 0.4mm galvanised roofing with edge lap and both ends primed complete with ridge caps and barge moulds.
22. BARGE AND SPOUTING BOARDS: Radiata Pine ex 200mm x 25mm TANALITH treated kiln dried, fingerjointed, rebated, and primed.
23. EXTERIOR WALL SHEATHING: Smooth surface plank type wall cladding of composite material complete with fastening and sealing devices.
24. WINDOW HEAD FLASHING: Folded aluminium head flashing 0.5mm thick.
25. ANGLE PROFILE: 30mm x 30mm x 0.4mm folded galvanised steel profile.
26. ROOF OVERHANG LINING: Lining to conceal underside of roof overhangs complete with jointers.
27. EXTERIOR FINISHING SCOTIA: Radiata Pine (dressing grade) ex 50mm x 25mm gauged TANALITH treated kiln dried.
28. JOINERY: Aluminium joinery coated with a thermosetting polyester resin with added Olive pigmentation electrostatically applied, complete with timber liners Radiata Pine ex 150mm x 25mm kiln dried, L.O.S.P. treated to TPA specification H3, fingerjointed or other suitable materials. All glass 3mm or 4mm thick, door glass 5.5mm thick. Complete with exterior sealing compound. All hardware fitted (a,b and c).
  - (a) Aluminium awning hung sashes (glass 3mm or 4mm thick)
  - (b) Aluminium exterior sliding doors: either panel sliding (glass 5.5mm thick)
  - (c) Aluminium exterior outward swinging door (glass 5.5mm thick)
  - (d) Interior doors. Flush hollow core paint quality ready to hang doors in a Radiata Pine ex 100mm x 50mm, fingerjointed, timber frame. Hardware and furniture included.
29. SCRIBER: Radiata Pine ex 50mm x 10mm TANALITH treated kiln dried, fingerjointed, primed.



WHERE A BRACED PILE IS SHOWN ON THE PLAN AND THE HEIGHT BETWEEN FINISHED GROUND LEVEL & THE UNDERSIDE OF THE BEARER AT THAT PILE IS -

- 150 to 300mm USE TYPE A ANCHOR PILE
- 300 to 750mm USE TYPE B ANCHOR PILE
- 750 to 3000mm USE A BRACED PILE

ALL ANCHOR & BRACED PILES TO BE OFFSET 50mm FROM ORDINARY PILES.

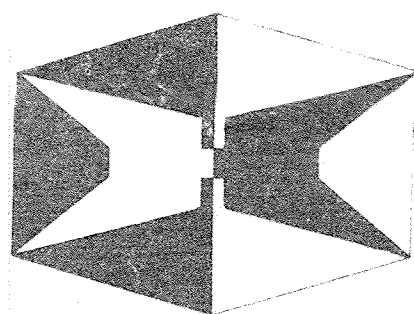
TYPE B ANCHOR PILE

#### NOTES

- ① COAT ALL CUT PILES WITH 'METALEX'
- ② GREASE ALL BOLTS BEFORE FIXING
- ③ PILE FOOTINGS SHOWN ARE FOR MAX PILE SPACING OF 1650mm, MAX JOIST SPAN OF 3500mm AND SINGLE STOREY HOUSES ONLY. IF HOUSE IS OUTSIDE THESE LIMITS CONSULT TABLE 3A NZS 3604
- ④ PACKERS FOR BASE LINING @ 1200 CRS VERTICALLY

BRACED PILE

- ⑤ COAT IMMERSED PART OF PILE WITH 'FLINTCOTE'



# LOCKWOOD

Lockwood Buildings Ltd.  
Russell Rd. Rotorua N.Z.  
P.O. Box 1349 Phone 85 184  
Telegrams: Lockwall  
Telex: Lockwal NZ 21838

Manufactured under licence in or exported to:  
American Samoa, Australia, British Solomon  
Is., French Polynesia, Guam, Hawaii, Indonesia,  
Iraq, Japan, New Caledonia, New Zealand,  
Norfolk Island, Papua New Guinea, Philippines,  
United Arab Emirates, Peru, United Kingdom,  
Western Samoa

Drawing

Client

## TANAPILE DETAILS

House type

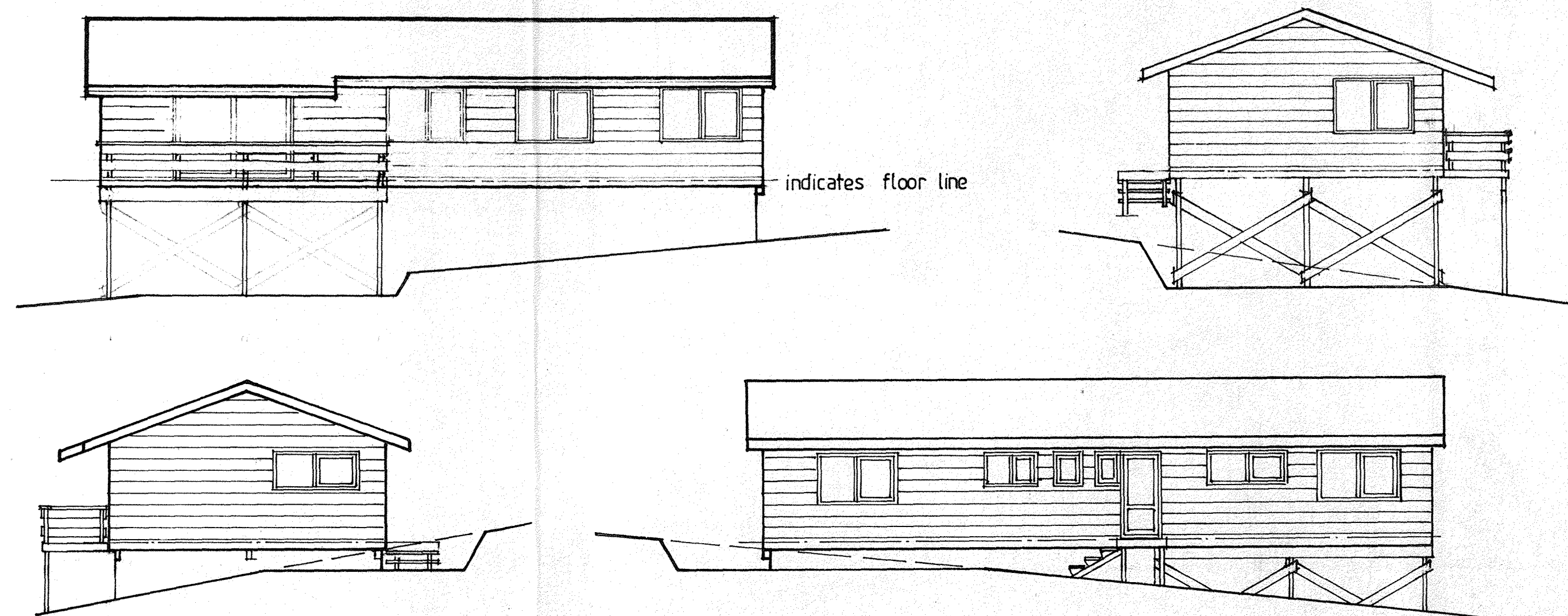
Franchised Contractor

KEARNWOOD HOMES LTD  
PO BOX 40046 P.H. 278.777  
UPPER HUTT

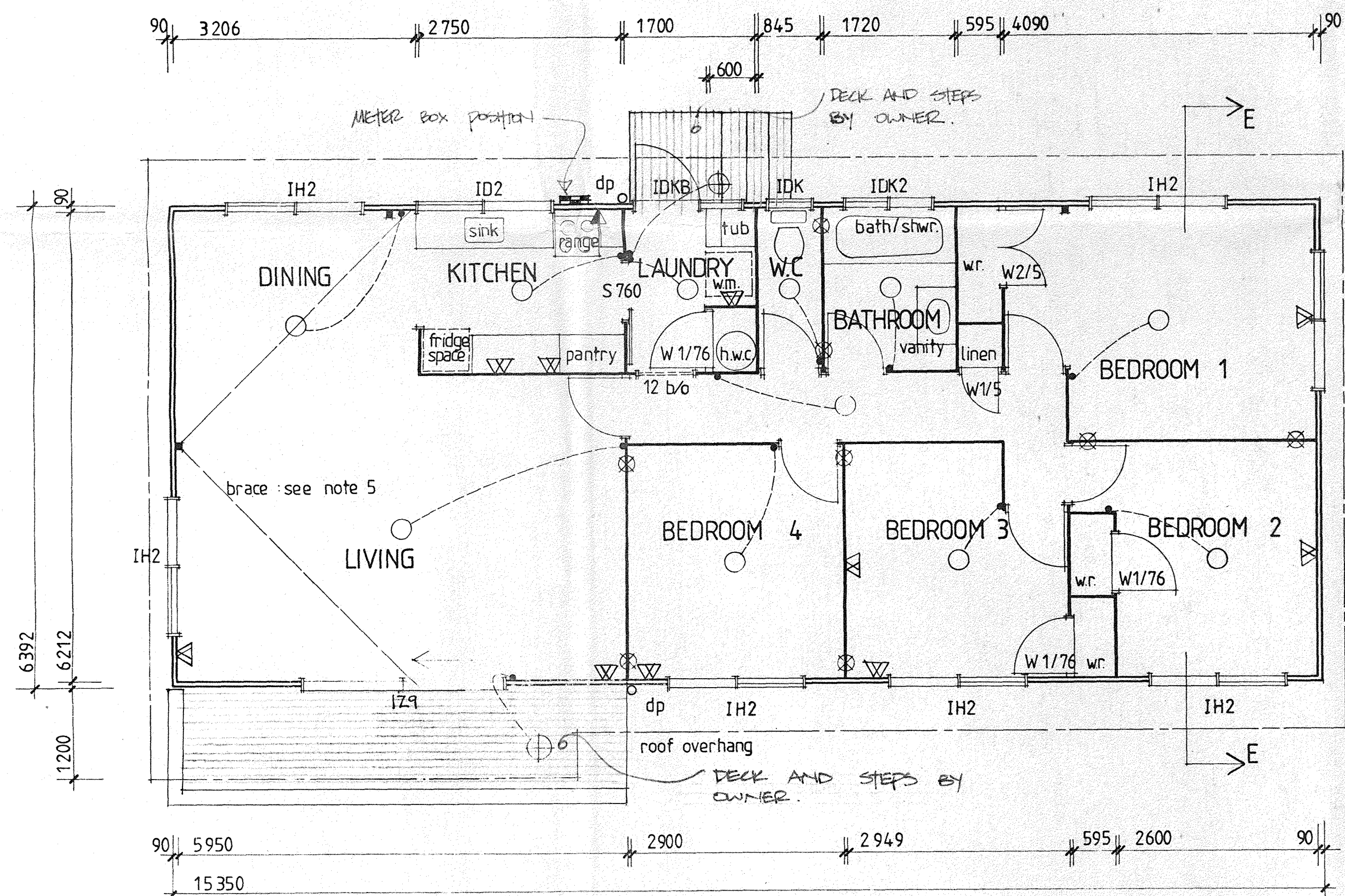
Designed:	Drawn: JEFF SUTHERLAND	Checked:	Sheet:
Scale: 1/10	Date: 6/9/85	Job No.:	
Floor area:			
Equal to conventional construction of:			Of:







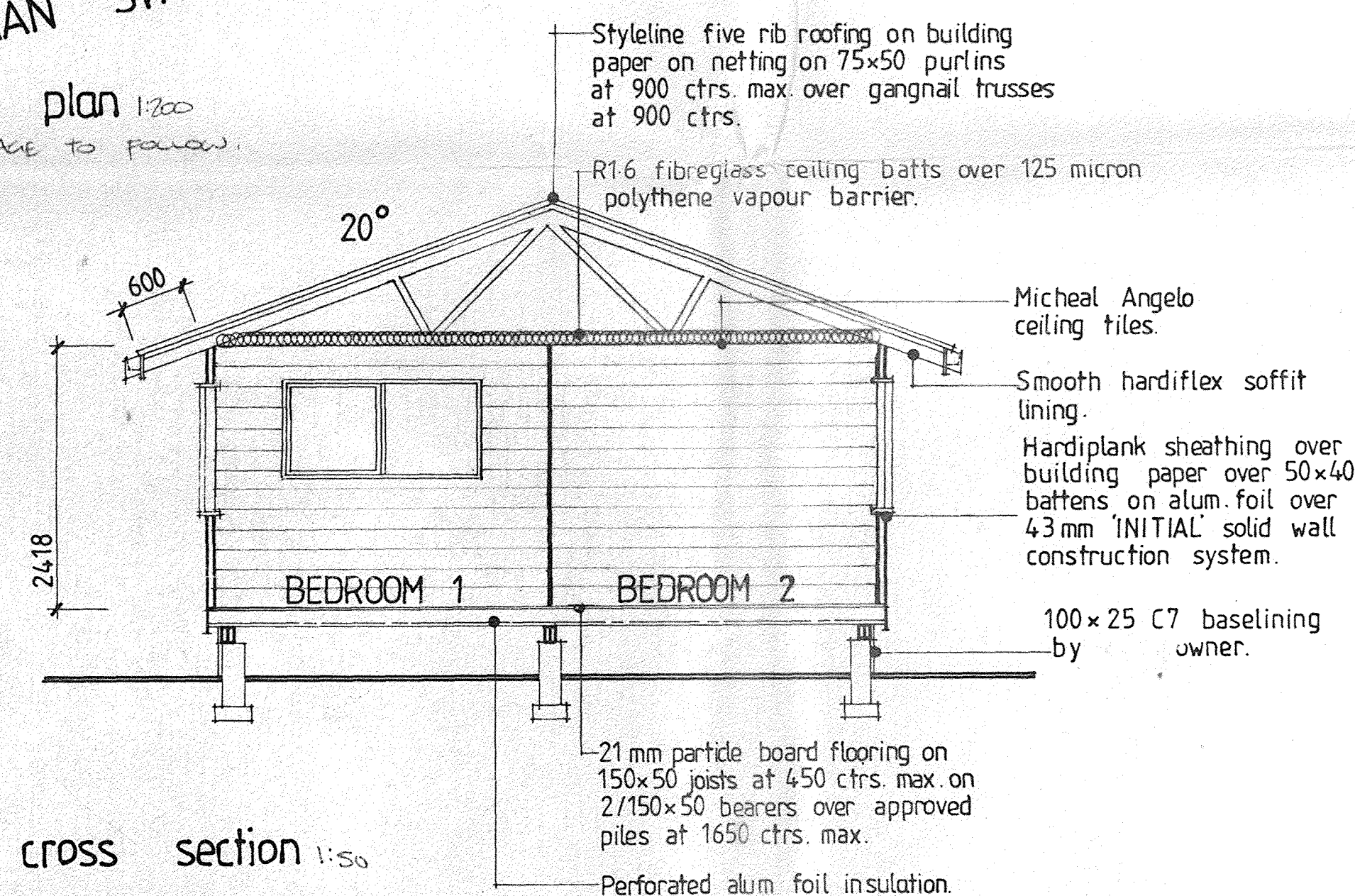
elevations 1:100



floor plan 1:50

site plan 1:200

DRAINAGE TO FOLLOW



cross section 1:50

foundation plan 1:100

SEE ATTACHED STANDARD TABLE SHEET

- Foundation construction to comply with NZS 3604 and local bylaws
- NZS 3604 BU rating: earthquake - A, wind - high
- Dragon ties to living room to comply with NZS 3604 cl 6.3.3

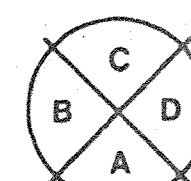
Electrical key

- Ceiling light
- Wall light
- Power outlet
- T.V. aerial
- Shaver point
- External ceiling light
- External wall light
- Telephone
- Range connection
- Light switch
- 10mm diam tie rods.

Revisions

11/7/89 BASEMENT.

Elevation orientation



Plan edition

PLUMBING DRAINAGE AND HEALTH

All works to comply with P&D Regulations 1978 and UHCC Bylaws.  
Inspector to be notified for inspections before any pipework is covered.  
All works must be done by licensed tradesman.  
The Plumber and Drainlayer must obtain a permit before commencing work.

PLAN, SECTION, ELEVATIONS

Client

MR & MRS B. MARSHALL  
Lot 3 DP.

Franchised Contractor

KEARNWOOD HOMES (1989) LTD  
PO BOX 40046 PT 2/3-777 UPPER HUTT

House type

KEA 104 std

Designed:

Drawn:

Checked:

Sheet: 1

Scale:

Date:

Job No:

Floor area:

98.12 sqm (1056 sqft.)

Cr: 1



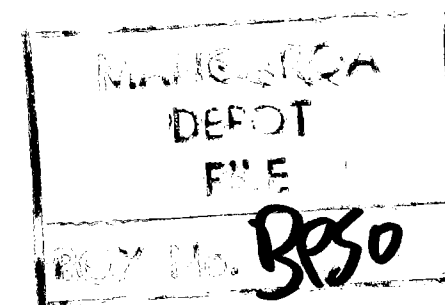


(FILE)

CHECKED	
UPPER HUTT CITY COUNCIL	
STRUCTURAL ENGINEER	
HEALTH INSPECTOR	
BUILDING INSPECTOR	
<i>[Signature]</i>	29/8/89

UPPER HUTT CITY COUNCIL PLANNING APPROVAL DATE 29/8/89. <i>[Signature]</i>
--

SUBDIVISION — E. H. GARD.  
GENTIAN ST.



5B1



# THE UPPER HUTT CITY COUNCIL

IF NOT CLAIMED WITHIN 14 DAYS RETURN TO:  
UPPER HUTT C.C. PRIVATE BAG, UPPER HUTT

John H.F. McKechnie  
Surveyor  
P.O. Box 40-859  
UPPER HUTT

Postal Address  
Private Bag, Upper Hutt

Civic Administration Building  
838 — 842 Fergusson Drive

Fax (04) 282-652  
Telephone (04) 288-769

File: 323/3/568  
BD:AH

Contact:  
Mr Dodson

8 December 1988

Dear Sir,

## RE: SUBDIVISION - GENTIAN STREET - E.H. GARD

I acknowledge receipt of your letter dated 22 November 1988.

Your proposal was considered by the Council's Technical Subcommittee as a variation of the conditions of approval for the subdivision.

The Technical Subcommittee agrees to your proposal that Lot 7 on the plan not vest as Road Reserve but rather is to be created as a separate lot. This approval is subject to the following conditions:

- (a) That Lot 7 be held in common ownership with the land in Certificate of Title 352/96 and for that purpose the Certificate pursuant to Section 308(2) of the Local Government Act 1974 is to be registered against the title to Lot 7 and C/T 352/96 preventing either piece of land being sold or otherwise disposed of except in conjunction with the other.
- (b) That condition (a) be endorsed on the Survey Plan to ensure compliance with it.
- (c) Approval is subject to confirmation by the District Land Registrar that it is not practicable to issue one certificate of title for Lot 7 and the land in Certificate of Title 352/96.

Mr Gard indicated by telephone that these conditions would be acceptable. On the assumption that they are I am arranging for the survey plan to be approved by Council, pursuant to Section 305, at its meeting on 6 December 1988.

Would you please supply me with an up to date search of Certificate of Title 352/96 and of the land of which Lot 7 is part so that I may submit the matter to the District Land Registrar and obtain his confirmation that the condition is in order. He ~~copies~~ requires copies of the titles for that purpose.

I look forward to hearing from you as soon as possible.

Yours faithfully,



R.S. Tucker  
CHIEF EXECUTIVE & TOWN CLERK

P.S. The appropriate resolution was passed  
by Council at its meeting on 6 Decemr 88  
3)