

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Install a new Masport fire
Level/Unit Number:	
Current, lawfully established use:	Residential
Year of Construction (approx):	1920

OWNER*

Owner's Name and Mailing Address:

J A Douglas
7 Donegal St
Cromwell 9310

Phone Number: 4451211

Fax Number:

Email Address:


BUILDING WORK

Building Consent No:	BC 120154
Issued by:	Central Otago District Council

CODE COMPLIANCE CERTIFICATE

The Building Consent Authority named below is satisfied, on reasonable grounds, that:

a. the building work complies with the building consent.

Building Consent Officer:	Max Birtles	On behalf of:
Signature:		Central Otago District Council
Date:	14 th March 2012	PO Box 122 Alexandra

**APPLICATION FOR CODE
COMPLIANCE CERTIFICATE**
Section 92, Building Act 2004

Building Consent No: BC 120154
Issued by: Central Otago District Council

THE BUILDING

Valuation Number: 2850578100
Street Address: 7 DONEGAL STREET, CROMWELL

OWNER

Owner's Name and Mailing Address: J A Douglas 7 Donegal St Cromwell 9310	Contact Details: Phone Number: 4451211 Fax Number: Email Address:
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AGENT (if not owner)

Agents Name and Mailing Address: Dough Sea Dough Heating 26 McNulty Rd Cromwell 9310	Contact Details: Phone Number: 4454791 Fax Number: Contact Person:
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APPLICATION

I request that a Code Compliance Certificate be issued for the building work described in this application, under section 95 of the Building Act 2004.

Name: J. A. Douglas
Please Print

Signature: [Signature] **Date:** 14/3/12

☒ Owner ☐ Agent on behalf of and with the authority of the Owner

KEY PERSONNEL

The personnel who carried out the building work are as follows:

Contractor: Dough Sea Dough Heating 26 McNulty Road Cromwell : 03 4454791

ATTACHMENTS

The following documents are attached to this application:

- ☐ Certificates that relate to energy work (if applicable)
- ☐ Records of Work from Licensed Building Practitioners (if applicable)
- ☐ As-built drainage plan from registered drain layer (if applicable)
- ☐ Producer Statement(s) (if applicable)

FOR OFFICE USE

Approved for Issue of Code Compliance Certificate [Subject to a full documentation check]

Building Control Officer: Max **Date:** 14-3-12

CODE COMPLIANCE CERTIFICATE CHECKLIST

Building Consent Number: 120154

Tick the "yes" box if the information has been provided and is complete and approved.

Tick the "no" box if the required information has not been provided, or is not complete, or is not approved.
Send CCC further information letter requesting the information.

Tick "N/A" if the information identified below is not needed.

BUILDING INSPECTOR Have you changed the status to CCC application received?	Notes	Yes	No	N/A
Check:				
• Compliance schedule required (commercial buildings)				✓
• Owners address matches rates [IF NOT GET KAREN TO CHANGE]		✓		
• EQPB upgrade occurred? [If yes to Karen to update status on register.]				✓
	Notes	Yes	No	N/A
Check:				
• Fees paid		✓		
• Development levies paid [Check with Sue de Jong]				✓
• Outstanding notices to fix				✓
• Contractors are as nominated on consent [If none are nominated, ask Karen to enter them as per inspection details.]		✓		
• Have there been any changes to the design				✓
• If yes, amended plan ? <input type="checkbox"/> or, new building consent ? <input type="checkbox"/>				✓
• Was this application subject to Section 72 or 75 Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>				✓
• If Yes, has the certificate of Title been updated? (See Building Consent / LIM Officer if unsure)				✓

DOCUMENTATION ON THE BUILDING CONSENT FILE <i>Note; Remove duplicate and superseded plans/docs from file</i>	Notes	Yes	No	N/A
• BC application and PIM (Form 2 issued) Yellow BC signed ?		✓		
• Job card	Not done by Karen		✓	
• User guide		✓		
• Cover sheet	Not done by Karen		✓	
• Completed processing checklist		✓		
• Approved plans		✓		
• Approved specifications		✓		
• As-built drainage plan				✓
• Approved amended documents/plans				✓
• Approved alternative solution form(s)				✓
• CCC application		✓		
• Other documents not identified		✓		
DOCUMENTATION SAVED ON NCS				
• All inspections notes entered and inspections approved ? <i>Unreasonably high number of unsatisfactory inspections ? [Need to be invoiced prior to CCC - see Karen.]</i>		✓		
• All letters saved		✓		
• Inspection checklists saved		✓		
• BC issued and conditions met		✓		
• PIM issued and conditions met		✓		

		Yes	No	N/A
ENERGY CERTIFICATES	Author			
Electrical				✓
Gas				✓
PRODUCER STATEMENTS	Author [approved ?]			
Fire Alarm – certification and PS				✓
Truss				✓
Structural				✓

Further information is required - Letter sent ☐ Date

Notes: _____

I Max am satisfied on reasonable grounds that:

1. The building work carried out complies with the building consent to the extent that the Code Compliance Certificate can be issued; and
2. All information relevant to the application for this building consent has been put on the application's file.

Date 14-3-12

HEATING APPLIANCE PROCESSING CHECKLIST

Building Category		1
BCO Overseer		2017
Approved to Process		✓
NA	Approved	Failed
—	✓	X

BUILDING CONSENT NO 120154

Mark in each small tick box NA, Approved or Failed.

When each section is complete and correct initial large box at right-hand side.

	Initial if OK	Peer Review
Floor plan provided? Full house floor plan provided showing location of fire appliance and smoke alarms <input checked="" type="checkbox"/>	2017	
Heritage Building ? Confirm that there will be no exterior changes to chimney/roof OR refer to Planning <input type="checkbox"/> <u>1920</u>	2017	
Manufacturers specifications been provided? Ensure specific make and model of appliance to be installed is nominated in manufacturers specifications, generally technical literature incorporate a number of model options <input checked="" type="checkbox"/> <u>Hesha 2</u>	2017	
Is heat transfer mitigated? Clearance distances specific make and model of appliance are stated in manufacturers specifications <input checked="" type="checkbox"/> <u>"</u>	2017	
Is the appliance 'Clean Air' approved? Ref: Ministry for the Environment website for a list of approved appliances (not applicable if over 2Ha) <input checked="" type="checkbox"/> <u>"</u>	2017	
Is ventilation provided? [In-built model flue system] <input type="checkbox"/>	2017	
Open fire complies with C/AS1 part 9-9.5? <input type="checkbox"/>		
Do hearth dimensions, fixings comply? Ref: Manufacturers technical literature provided with application <input checked="" type="checkbox"/>	2017	
Have domestic smoke alarms(s) been indicated? Refer to NZBC F7 for requirements within 3m of sleeping areas and on escape route of each level <input checked="" type="checkbox"/>	2017	
Construction of Hearth is detailed? (acceptable solution or manufacturers tested hearth) <input checked="" type="checkbox"/> <u>AsL</u>	2017	

	Initial if OK	Peer Review
New wetback requires tempering valve and piping layouts ? (Is it detailed) <input type="checkbox"/>		
Wetback installation complied with G12 / AS1? Fully ventilated system? Under / over piping needs to be independently vented <input type="checkbox"/>	<i>nm2</i>	
Flashing details? Roof / wall penetrations Flue penetrations over 300mm and structural members being altered are RBW and must be covered by COW <input checked="" type="checkbox"/> <i>Logare flue</i>	<i>nm2</i>	
Flue heights above roof nominated? <input checked="" type="checkbox"/> <i>"</i>	<i>nm2</i>	
Cross section through roof provided? <input checked="" type="checkbox"/> <i>"</i>	<i>nm2</i>	
Second hand fires must have a Producer Statement from a recognised representative of the fire manufacturer ? <input type="checkbox"/>	<i>nm2</i>	
Diesel tank has isolating tap? Do they require automatic cut off solenoid <input type="checkbox"/>		
Exterior diesel tanks / gas bottles and water heaters clear of opening windows / doors? See instructions for clearance or refer to AS1691 pg 7 <input type="checkbox"/>	<i>nm2</i>	
Producer statement / Certificate required after installation? <input type="checkbox"/>		
Piping layout included on plan? <input type="checkbox"/>	<i>nm2</i>	

Further information is required ☐ Yes ☒ No
 Applicant notified ☐ Yes ☒ No
 Further information received ☐ Yes ☒ No

I *nm2* am satisfied on reasonable grounds that the provisions of the building code will be met if the building work were properly completed in accordance with the plans and specifications that accompanied the application.

Granted

Date *6/3/12*

Signed *nm2*

Peer Review

Date

Signed

CO3 Heating Appliance Processing Checklist
Updated 02/12

Floor Protector Construction (Hearth)

For minimum floor protector dimensions refer to following data. The floor protector must extend at least 300mm beyond the door opening of the heater and 200mm to each side of the door opening. Floor protector specs (AS/NZS 2918:2001) minimum ash hearth only eg. Ceramic tile glued to a heat sensitive floor. A provision has been made at the rear of the pedestal for seismic restraint by bolting through the two holes through the Floor Protector and floor.

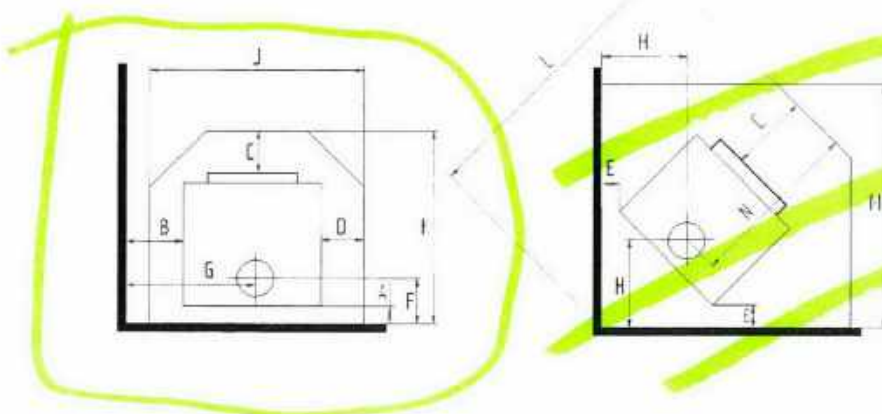
Clearance Requirements

The Hestia 2 Rural / Clean Air has been tested to the Australian/New Zealand Standard AS/NZS 2918:2001 and all installations must be in accordance with the minimum clearances to combustibles indicated in these instructions. The minimum clearances to combustibles may be reduced if the combustible walls are shielded with an approved non-combustible material. Details of suitable shielding materials and appropriate clearance reduction factors are present in Section 3 of AS/NZS 2918:2001.

Minimum clearances to combustibles in millimetres AS/NZS 2918:2001

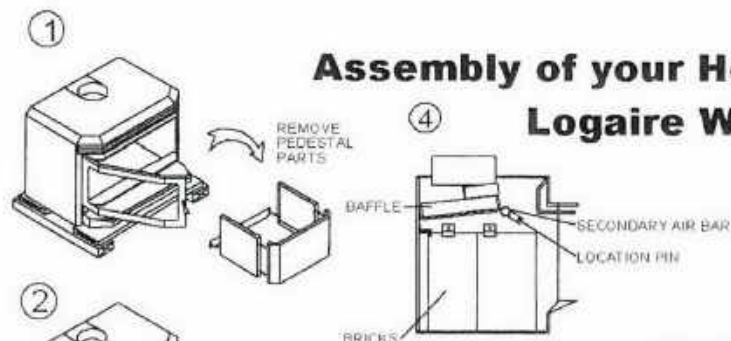
NEW ZEALAND	A	B	C	D	E	F	G	H	J	K	L	M	N
Without flue shield	320	340	233	130	160	484	660	502	900	1076	1302	1086	592
* With Logaire Double flue shield	50	340	233	130	25	214	660	367	900	806	1111	951	592

* Note : Only a vented Logaire double flue shield has been approved for use with the Hestia2.
All specifications are subject to change or variation without notification.



CENTRAL OTAGO DISTRICT COUNCIL
Plans and Specifications Approved in
accordance with The New Zealand Building
Code and Approved Documents To be retained
on the building site and produced on request.

Signed: *[Signature]* Date: 7/3/12



Remove the contents from the fire and assemble the pedestal parts using the nuts and bolts supplied.

(Note: the 4 longer bolts are for stage 2). Lower the fire onto the now assembled pedestal unit and bolt to the fire.

Place assembled fire in position and seismic restraint to the floor.

Next, if not already fitted in place, fit the baffle plate into place. The baffle plate is to be situated in the upper half of the fire and sits onto the brackets fitted inside the firebox.

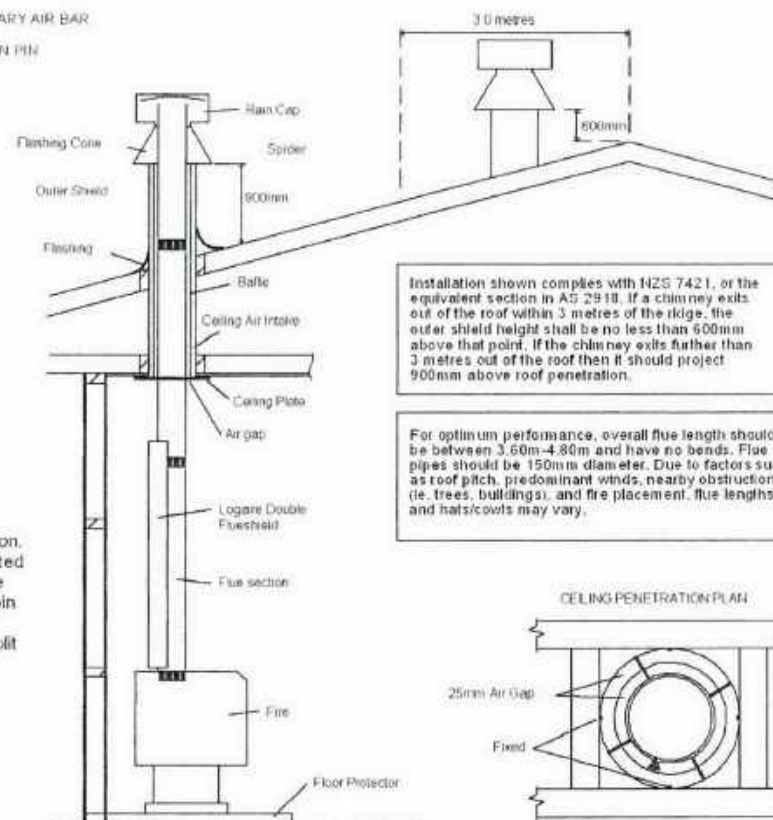
Attention

The air bar may need to be fitted into position. Please ensure the tab on the air bar is located to the location pin in the lefthand side of the firebox. Insert split pin and pry end of split pin apart.

To remove the air bar simply remove the split pin and remove the air bar.

Attention

The air bar may need to be fitted into position. Please ensure the tab on the air bar is located to the location pin in the lefthand side of the firebox. Insert split pin and pry end of split pin apart. To remove the air bar simply remove the split pin and remove the air bar.



Installation shown complies with NZS 7421, or the equivalent section in AS 2918, if a chimney exits out of the roof within 3 metres of the ridge, the outer shield height shall be no less than 600mm above that point, if the chimney exits further than 3 metres out of the roof then it should project 900mm above roof penetration.

For optimum performance, overall flue length should be between 3.60m-4.80m and have no bends. Flue pipes should be 150mm diameter. Due to factors such as roof pitch, predominant winds, nearby obstructions (ie. trees, buildings), and fire placement, flue lengths and hats/cowls may vary.

APPLICATION FOR BUILDING CONSENT AND/OR PROJECT INFORMATION MEMORANDUM

Section 33 or Section 45, Building Act 2004

Building Consent No: 120154

OWNER** Attach evidence of ownership to this application: (copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building).	AGENT** Attach authority from owner to lodge application on their behalf. Note – the agent will be the first point of contact for communications with the Council and receive all correspondence INCLUDING invoices
Owner's Name: <u>JOHN DOUGLAS</u>	Name: <u>DAVID EDWARD HORTON</u> <u>DOUGH SEA DOUGH HEATING</u>
Postal Address: <u>7 DONEGAL STREET</u> <u>CROMWELL</u>	Postal Address: <u>26 MCNULTY ROAD</u> <u>CROMWELL</u>
Post Code: <u>9310</u>	Post Code: <u>9310</u>
Contact Person: <u>JOHN DOUGLAS</u>	Relationship to Owner*: <u>SON FIRE TO OWNER (ORC FUNDING)</u> [e.g. builder]
Phone Number: <u>034451211</u>	Phone Number: <u>034454791</u>
Mobile Phone: <u>-</u>	Mobile Phone: <u>0272271986</u>
Fax Number: <u>-</u>	Fax Number: <u>034454792</u>
Email Address: <u>-</u>	Email Address:

THE BUILDING

Street address / rapid number of building:

7 DONEGAL STREET
CROMWELL

For structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection.

Legal description of land where building is located:

LOT 1 301986

State legal description as at the date of application and if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent.

Building or Trading name: [if applicable]

-

Year first constructed: [approx]

1920

Number of levels: [if applicable]

SINGLE (1)

Level/Unit number: [if applicable]

-

Site area [m²]:

566 SQUARE METRES

Existing floor area: [m²]

100 SQUARE METRES

Location of building within site: [for large blocks]

CENTRE OF SECTION

New floor area: [m²]

-

Total floor area: [m²]

100 SQUARE METRES

DISTRICT PLAN / RESOURCE MANAGEMENT ACT

All building work must comply with the District Plan and/or with a Resource Consent under the Resource Management Act before it can be legally built.

Your building consent application will be assessed by a planner to determine whether your proposed activity complies with the District Plan. Where your activity does not comply, you will be required to obtain the appropriate resource consent(s) prior to commencing any construction.

KEY PERSONNEL

Provide names, addresses, telephone numbers and relevant registration numbers if possible.

BUILDER:

Address:

Phone:

Cell:

Email:

DESIGNER:

Address:

Phone:

Cell:

Email:

DRAINLAYER:

Address:

Phone:

Cell:

Registration no:

PLUMBER:

Address:

Phone:

Cell:

Registration no:

GASFITTER:

Address:

Phone:

Cell:

Registration no:

ELECTRICIAN:

Address:

Phone:

Cell:

ENGINEER:

Address:

Phone:

Cell:

OTHER:

Address:

Phone:

Cell:

KEY PERSONNEL - LICENSED BUILDING PRACTITIONERS

[Complete this section ONLY if a Licensed Building Practitioner has been engaged]

DESIGN LICENCE NO:

Contact person:

Cell:

SITE LICENCE NO:

Contact person:

Cell:

BUILDER LICENCE NO:

Contact person:

Cell:

FOR COUNCIL USE ONLY

COUNCIL FEES AND CHARGES (inclusive of GST)

PIM

Building *

BRANZ Levy

D.B.H. Levy

TOTAL +

\$	c
185	00
185	00

* includes consent, inspections and code compliance certificate

+ additional charges may be incurred over and above this amount in accordance with Council's current schedule of building control charges

Number: 37097

Receipt: 403045

Building Consent Granted

Building Control Officer:

Central Otago District Council

PO Box 122

ALEXANDRA

Email: codc@codc.govt.nz

Date received:



Valuation No: 2850578100

File 11 No:

Overseer: KF

Building category: 1

Date accepted for processing:

COMPLIANCE SCHEDULE DETAILS

Do not proceed further if this application is for residential work, is for a PIM only OR there are NO specified systems in the building.

The building has an existing Compliance Schedule ☐

The following specified systems are new or existing and being altered or removed in the course of building work:

(Tick each applicable box)

New feature	Altered /removed feature		
<input type="checkbox"/>	<input type="checkbox"/>	1	Automatic systems for fire suppression [e.g. sprinkler systems]
<input type="checkbox"/>	<input type="checkbox"/>	2	Automatic or manual emergency warning systems [for fire or other dangers]
<input type="checkbox"/>	<input type="checkbox"/>	3	Automatic or electromagnetic doors or windows [e.g. ones that close on fire alarm activation.]
<input type="checkbox"/>	<input type="checkbox"/>	4	Emergency lighting systems
<input type="checkbox"/>	<input type="checkbox"/>	5	Escape route pressurisation systems
<input type="checkbox"/>	<input type="checkbox"/>	6	Riser mains [for use by fire services]
<input type="checkbox"/>	<input type="checkbox"/>	7	Automatic backflow preventer [connected to a potable water supply]
<input type="checkbox"/>	<input type="checkbox"/>	8	Lifts, escalators or similar systems [for moving people or goods within a building]
<input type="checkbox"/>	<input type="checkbox"/>	9	Mechanical ventilation or air conditioning systems
<input type="checkbox"/>	<input type="checkbox"/>	10	Building maintenance units
<input type="checkbox"/>	<input type="checkbox"/>	11	Laboratory fume cupboards
<input type="checkbox"/>	<input type="checkbox"/>	12	Audio loops or other assistive listening systems
<input type="checkbox"/>	<input type="checkbox"/>	13	Smoke control systems
<input type="checkbox"/>	<input type="checkbox"/>	14	Emergency power systems or signs [for 1 to 13]
<input type="checkbox"/>	<input type="checkbox"/>	15	Means of escape with systems and features [1 to 6, 9 and 13]
<input type="checkbox"/>	<input type="checkbox"/>	15.1	Systems for communicating spoken information intended to facilitate evacuation
<input type="checkbox"/>	<input type="checkbox"/>	15.2	Final exits [as defined by clause A2 of the building code]; and
<input type="checkbox"/>	<input type="checkbox"/>	15.3	Fire separations and
<input type="checkbox"/>	<input type="checkbox"/>	15.4	Signs for communicating information intended to facilitate evacuation and
<input type="checkbox"/>	<input type="checkbox"/>	15.5	Smoke separations
<input type="checkbox"/>	<input type="checkbox"/>	(II)	Safety Barriers [Sec 103d BA 2004]
<input type="checkbox"/>	<input type="checkbox"/>	(III)	Means of Access and Facilities for use by persons with disabilities [Sec 103d BA 2004]
<input type="checkbox"/>	<input type="checkbox"/>	(IV)	Handheld Hose Reels [Sec 103d BA 2004]

IMPORTANT NOTES

- If service connections are required [e.g. water, drainage, vehicle access] please make an application on the service connection forms available from the Central Otago District Council.
- No work is to commence until the building consent has been issued and uplifted.
- A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue [or within such further period as the local authority in its absolute discretion may allow.]
- An owner must apply to a building consent authority for a Code Compliance Certificate after all work to be carried out under a building consent granted to that owner is completed.

APPLICATION

I request that a:

- ☒ Building Consent only
☐ PIM [Project Information Memorandum] only
☐ Building Consent and PIM

be issued for the building work described in this application.

Name:

DAVID EDWARD HURSON

Please Print

Signature:



*If acting 'for and on behalf' – please read the following declaration before signing: "I hereby declare that I am authorised to act as Agent for the Owner."

Date:

29/2/2012

PROJECT

Description of building works:

Provide a detailed description of building work [to enable scope of work to be fully understood]

REMOVE YUNCA MOUNT FREE STANDING & REPLACE WITH MASSPORT HEISTIA 2

Please tick any boxes below applicable to this application.

- | | | |
|---|--|--|
| <input type="checkbox"/> New dwelling | <input type="checkbox"/> Plumbing & drainage | <input type="checkbox"/> New commercial building* |
| <input type="checkbox"/> Dwelling alteration (internal) | <input checked="" type="checkbox"/> New fire appliance | <input type="checkbox"/> Commercial alteration* |
| <input type="checkbox"/> Dwelling additions | <input type="checkbox"/> Farm building/shed | <input type="checkbox"/> New community building*e.g. church |
| <input type="checkbox"/> New or altered garage / carport / workshop etc | <input type="checkbox"/> Demolition of building | <input type="checkbox"/> Infrastructure e.g. bridge |
| <input type="checkbox"/> New or altered sleep-out etc | <input type="checkbox"/> Relocate building off site | <input type="checkbox"/> New accommodation building* |
| | <input type="checkbox"/> Relocate building on to site | <input type="checkbox"/> Change of use of building |
| | | <input type="checkbox"/> Other swimming pool, retaining wall etc |

Intended life of the building [if less than 50 years]

\$5000 -

Estimated value of building work: [including GST]

Stage _____ of _____ List building consents previously issued for this project _____

What is the existing use of the building? Please circle one

Residential Commercial Agricultural Recreational Educational Community

Will the building work result in a change of use for the building? ~~YES~~ / No

*If yes, please provide details of the new use:

PROJECT INFORMATION MEMORANDUM

If PIM has been issued previously, please provide PIM number:

The project involves the following matters:

Tick each applicable box, if any, and attach relevant information in duplicate

- ☐ Subdivision
- ☐ Alterations to land contours [provide details of volumes of proposed excavation work]
- ☐ New or altered connections to public utilities/services
- ☐ New or altered locations [and/or external dimensions] of buildings in relation to legal boundaries
- ☐ New or altered access for vehicles, including parking
- ☐ Building work over [or adjacent] to any road or public place
- ☐ Disposal of stormwater and wastewater
- ☐ Building over existing drains or sewers or in close proximity to wells or water mains
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- ☐ Any cultural heritage significance of the building or building site
- ☐ Reference to any resource consent or planning approval for this project
- ☐ Other matters known to the applicant that may require authorisations from the territorial authority (specify)

BUILDING CONSENT

The following documents are attached to this application:

Tick each applicable box and attach relevant information in duplicate

- ☐ Certificate of Title
- ☒ Evidence of ownership of property [if Title is not in applicant's name]
- ☒ Written authorisation from owner for agent to act on their behalf
- ☒ Two copies of plans and specifications for the project
- ☐ Drainage plan and plumbing specification
- ☐ Producer Statements
- ☐ Engineer's Calculations
- ☐ Proposed procedures, if any, for inspection by an engineer during construction
- ☐ Truss layout plan
- ☐ Fire design analysis
- ☐ If a swimming pool/spa pool or pond is **on this site** or associated with this project, please provide details

MULTI-PROOF details from the N.M.U.A. [National Multiple Use Approval Service]

Complete this section **ONLY** if applicable

Reference Number:

Issue date:

Project value of Multi-proof only:

- ☐ Copy of Multi-proof Certificate
- ☐ Complete copy of the plans and specifications to which the approval relates. [These must have the DBH's approval mark and include any relevant approved customisations.]
- ☐ A signed declaration that design for which the consent is sought complies with the approval issued by the DBH and meets all the conditions of the Multi-proof for the proposed site.

☐ **The building work will comply with the building code as follows:**

If you are not sure which clauses are applicable, talk to your designer, or refer to Council's information leaflet **"Identifying relevant code clauses on building consent applications"**.

Clause Identify which of the following building code clauses will be involved in the building work		Means of Compliance Refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications	Clause Identify which of the following building code clauses will be involved in the building work		Means of Compliance Refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications
B1	Structure	<input checked="" type="checkbox"/> B1/AS2 <input checked="" type="checkbox"/> NZS3604 <input type="checkbox"/> NZS4203 <input type="checkbox"/> NZS4229 <input type="checkbox"/> Other _____	G1	Personal hygiene	<input type="checkbox"/> G1/AS1 <input type="checkbox"/> Other _____
B2	Durability	<input checked="" type="checkbox"/> B2/AS1 <input type="checkbox"/> NZS3101 <input checked="" type="checkbox"/> NZS3602 <input type="checkbox"/> NZS3604 <input type="checkbox"/> Other _____	G2	Laundrying	<input type="checkbox"/> G2/AS1 <input type="checkbox"/> Other _____
C1-4	Fire	<input type="checkbox"/> C/AS1 <input type="checkbox"/> Other _____	G3	Food preparation and prevention of contamination	<input type="checkbox"/> G3/AS1 <input type="checkbox"/> Other _____
D1	Access routes	<input type="checkbox"/> D1/AS1 <input type="checkbox"/> NZS4121 <input type="checkbox"/> Other _____	G4	Ventilation	<input type="checkbox"/> G4/AS1 <input type="checkbox"/> AS1668.2 <input type="checkbox"/> Other _____
D2	Mechanical installations for access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> NZS4332 <input type="checkbox"/> EN81 <input type="checkbox"/> EN115 <input type="checkbox"/> Other _____	G5	Interior environment	<input type="checkbox"/> G5/AS1 <input type="checkbox"/> Other _____
E1	Surface water	<input type="checkbox"/> E1/AS1 <input type="checkbox"/> AS/NZS3500.3 <input type="checkbox"/> Other _____	G6	Airborne and impact sound	<input type="checkbox"/> G6/AS1 <input type="checkbox"/> Other _____
E2	External moisture	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> Specific design & testing <input type="checkbox"/> Other _____	G7	Natural light	<input type="checkbox"/> G7/AS1 <input type="checkbox"/> Other _____
E3	Internal moisture	<input type="checkbox"/> E3/AS1 <input type="checkbox"/> Other _____	G8	Artificial light	<input type="checkbox"/> G8/AS1 <input type="checkbox"/> NZS6703 <input type="checkbox"/> Other _____
F1	Hazardous agents on site	<input type="checkbox"/> F1/AS1 <input type="checkbox"/> Other _____	G9	Electricity	<input type="checkbox"/> G9/AS1 <input type="checkbox"/> Other _____
F2	Hazardous building materials	<input type="checkbox"/> F2/AS1 <input type="checkbox"/> NZS4223 <input type="checkbox"/> Other _____	G10	Piped services	<input type="checkbox"/> G10/AS1 <input type="checkbox"/> NZS5261 <input type="checkbox"/> Other _____
F3	Hazardous substances and processes	<input type="checkbox"/> F3/AS1 <input type="checkbox"/> Other _____	G11	Gas as an energy source	<input type="checkbox"/> G11/AS1 <input type="checkbox"/> Other _____
F4	Safety from falling	<input type="checkbox"/> F4/AS1 <input type="checkbox"/> FSP Act <input type="checkbox"/> Other _____	G12	Water supplies	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> AS/NZS3500.1 <input type="checkbox"/> AS/NZS3500.4 <input type="checkbox"/> Other _____
F5	Construction and demolition hazards	<input type="checkbox"/> F5/AS1 <input type="checkbox"/> Other _____	G13	Foul water	<input type="checkbox"/> G13AS1 <input type="checkbox"/> G13AS2 <input type="checkbox"/> AS/NZS3500.2 <input type="checkbox"/> BS5572 <input type="checkbox"/> Other _____
F6	Lighting for emergency	<input type="checkbox"/> F6/AS1 <input type="checkbox"/> Other _____	G14	Industrial liquid waste	<input type="checkbox"/> G14/AS1 <input type="checkbox"/> Other _____
F7	Warning systems	<input checked="" type="checkbox"/> F7/AS1 <input type="checkbox"/> NZS1668 <input type="checkbox"/> NZS4512 <input type="checkbox"/> NZS4515 <input type="checkbox"/> Other _____	G15	Solid waste	<input type="checkbox"/> G15/AS1 <input type="checkbox"/> Other _____
F8	Signs	<input type="checkbox"/> F8/AS1 <input type="checkbox"/> Other _____	H1	Energy efficiency	<input type="checkbox"/> H1/AS1 <input type="checkbox"/> NZS4214 <input type="checkbox"/> NZS4218 <input type="checkbox"/> NZS4243 <input type="checkbox"/> ALF design manual

26 McNulty Road
Cromwell 9310
PH 03 445 4791
FAX 03 445 4792
MOBILE 027 227 1986

7 Douglas ST
Cromwell



This is to authorise Dough Sea Dough Ltd to obtain a permit for a Solid Fuel Heater.

Customer

Name John Douglas
Signature [Signature]
Date 29/2/12

Dough Sea Dough

Name DAVID EDWARD HORTON
Signature [Signature]
Date 29/2/2012



User Guide for Heating Appliance

Please complete this user guide, your building consent application and compile all the necessary documentation. When you are ready to lodge your application, please phone 4400056 [Alexandra] or 4450211 [Cromwell] and make a PAC appointment.

A Building Control Officer will be allocated to review your application for completeness and compliance prior to being accepted. If there is further information required after the application is accepted you will be contacted requesting this detail.

Complete and technically correct building consent applications are processed FASTER than incorrect ones.

Property Valuation number:

Application

	Applicant to complete	Office use only
Have you provided two copies of:	Yes	
Floor Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Specifications	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Are the plans done in black lines on a white background?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Legal description and location address	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Has the application form been completed correctly signed and dated?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Has the correct total value of building work been shown?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Full House Floor Plan

Have you included a floor plan of the dwelling showing exactly where the heating appliance is to be installed and the position of smoke alarms?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
---	-------------------------------------	-------------------------------------

Project Specifications

Have the manufacturer's installation instructions been provided detailing the following:		
Make and model [to be highlighted where installation instructions contain more than one model]	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Flue installation details	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Hearth thickness and clearances	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Clearances from combustible surfaces	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Is a free standing appliance being installed in an alcove situation (If yes, provide details)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Is the appliance being installed in a room with a minimum 2.4m ceiling height and a ceiling slope of less than 30 degrees? (If no, provide specific installation details)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Complies with Otago Regional Council Air Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
New wetback requires tempering valve and plumbing layout [complies with G12/AS1]	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

SECOND HAND HEATING APPLIANCES ONLY

Have you provided a Durability Certificate from a recognised representative of the fire manufacturer?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
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CONSENT FORMALLY ACCEPTED FOR PROCESSING

DATE: 2/3/12	SIGNED: JLM
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BUILDING CONSENT 120154

Section 51, Building Act 2004

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Install a new Masport fire
Location of Building within site/block number:	
Level/Unit Number:	

OWNER

Owner's Name and Mailing Address:	
J A Douglas	
7 Donegal St	
Cromwell 9310	
Street Address/Registered Office:	
Contact Person:	
Phone Number:	4451211
Mobile Phone:	
Fax Number:	
Email Address:	
Website:	
First Point of Contact:	Full Name: Dough Sea Dough Heating Mailing Address: 26 McNulty Rd, Cromwell 9310 Phones: 0272271986; 4454791

BUILDING WORK

The following building work is authorised by this building consent:

Install a new Masport fire

Residential

If for any reason work is to be carried out other than that shown on the approved documents, then new documents are to be submitted and approved by Council before work can continue. (Building Act 2004 requirement)

All building work is to comply with the New Zealand Building Code.

All plumbing work is to be carried out by a craftsman plumber, drainage work by a registered drain layer and gas fitting by a craftsman gas fitter holding a current practising licence as required by the Plumbers, Gas Fitters and Drain Layers Act 1976.

It is the owners' responsibility to verify the legal boundaries of the property prior to the commencement of work.

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

The building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

The owner or his authorised agent are reminded of their responsibilities to ensure that any conditions detailed are

conveyed to the appropriate parties engaged to carry out works associated with this consent.

KEY PERSONNEL

Prior to the commencement of work you are required to provide to the Council the names of contractors carrying out the work.

The personnel who will carry out the building work are as follows:

Contractor: Dough Sea Dough Heating 26 McNulty Road Cromwell : 03 4454791

COMPLIANCE SCHEDULE

A compliance schedule is not required for this building.

ATTACHMENTS

Copies of the following documents are attached to this building consent:

Building Consent Officer: Karen Frewen

Signature:

Date:

7 March 2012

On behalf of:

Central Otago District Council

PO Box 122

Alexandra

Form 2 Application for Building Consent and/or Project Information Memorandum Section 33 or 45, Building Act 2004



1 Dunorling Street
P O Box 122
Alexandra 9340

(03) 440 0056

1. THE BUILDING *[If item is not applicable put NA in the space]*

OFFICE USE ONLY:

Consent Number :

130595.

PIM Number :

Compliance Schedule No:

Date received:



Street address of building: 7 DONEGAL STREET
CROMWELL 9310

[If no street address - details of nearest intersection]

Legal description of land where building is located: Lot 1 DP 301986

Site area : 56.6 (m²) Sec N/A Block N/A

Building name: N/A Valuation Number 2850578100

Location of building within site/block number: *[Include nearest street access]* 7 DONEGAL STREET
CROMWELL

Number of levels: *[Above & below ground]* 1 Level /Unit Number: N/A

Floor area: 20.5 (m²) *[Indicate area affected by the building work]*

Current, lawfully established, use: RESIDENTIAL Year First Constructed : 1875 + 2001

[Add no. of occupants per level and per use if more than 1] 2

2. APPLICATION *[Tick as applicable]*

I request that you issue a (for the building work described in this application)

☐ Project Information Memorandum (PIM)

☐ Project Information Memorandum (PIM) and Building Consent

☒ Building Consent The existing PIM No *[if applicable]* is : N/A

☐ Amendment to an existing Building Consent. The existing BC No is :

State the reference number if this application involves a National Multiple Use Approval:

Name: HEATHER P. SAMSON Signature: [Signature] Date:

+ PAUL R. SAMSON

The signature is that of the ☒ Owner OR ☐ the Agent on behalf of and with the approval of the Owner

3. THE PROJECT

DESCRIPTION OF BUILDING WORK: *(Provide sufficient information below to enable scope of work to be fully understood)*

THE CURRENT INTERNAL GARAGE TO BECOME A MASTER
BEDROOM, WITH WARDROBE AND EN SUITE BATHROOM.

Current use of building: HOME *[E.g. Home, implement shed, office]*

Will the building work result in a change of use of the building? ☐ Yes ☒ No. If Yes, provide details of the new use of the building:

N/A

Intended life of the building if less than 50 years: N/A *[Years]*

List Building Consents previously issued for this project *(if any)*: NONE

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):

\$4,800 *[State estimated value as defined in section 7 of the Building Act 2004]*

Is prescribed energy work to be part of this Building Consent *(tick if applicable)* Gas ☐ Electricity ☒



4. OWNER

PAUL ROBERT SAMSON
 Name of Owner: HEATHER PATRICIA SAMSON
 Contact person: HEATHER SAMSON
 Mailing address: 1 CROMWELL DOWGAL
 STREET, CROMWELL 9310
 Street address/registered office: N/A
 AS ABOVE
 Phone No.: Landline: (03) 445 4305
 Mobile: 0210 322 552
 Daytime: (03) 445 4305
 After hours: (03) 445 4305
 Facsimile: N/A
 Email: heather_samson@hotmail.com
 Website: N/A

THE FOLLOWING EVIDENCE OF OWNERSHIP IS ATTACHED:

- ☒ Certificate of Title ☐ Lease Agreement
☐ Agreement for Sale and Purchase ☐ Other document

5. AGENT *[Only required if application is being made on behalf of the owner]*

Name of Agent:
 Contact person:
 Mail address:
 Street address/registered office:
 Phone No.: Landline:
 Mobile: N/A
 Daytime:
 After hours:
 Facsimile:
 Email:
 Website:
 Relationship to owner: *(State details of the authorisation from the owner to make the application on the owner's behalf)*

FIRST POINT OF CONTACT for communications with the Council / Building Consent Authority:

☒ Owner ☐ Agent

Or: *(if different to above details)* Name: N/A Email: N/A
 Mailing Address: N/A Phone: N/A Facsimile: N/A

6. RESTRICTED BUILDING WORK

Will the building work include any restricted building work? ☐ Yes ☒ No

If Yes, provide the following details of all licensed building practitioners who will be involved in carrying out or supervising the restricted building work *(If these details are un-known at the time of the application, they must be supplied before the building work begins.)*:

Name	Licensing Class	Licensed Building Practitioner Number <i>(or registration number if treated as being licensed under section 291 of the Building Act 2004)</i>

Note: Continue on another page if necessary

7. PROJECT INFORMATION MEMORANDUM *[Do not fill in this section if the application is for a building consent only]*

The following matters are involved in the project: *[Tick the matters relevant to the project]*

- ☐ Subdivision
☐ Alterations to land contours *[e.g. digging out the site for a building platform]*
☐ New or altered connections to public utilities *[e.g. Council sewer, storm water or water mains]*
☐ New or altered locations and/or external dimensions of buildings
☐ New or altered access for vehicles
☐ Building work over or adjacent to any road or public place
☐ Disposal of stormwater and wastewater
☐ Building work over any existing drains or sewers or in close proximity to wells or water mains
☐ Other matters known to the applicant that may require authorisations from the Territorial Authority: *[Specify]*

8. BUILDING CONSENT

The following plans and specifications are attached to this application: (please enter these in section 10 below)

THE BUILDING WORK WILL COMPLY WITH THE BUILDING CODE AS FOLLOWS:

Building Code Clause <i>Tick relevant clauses</i>	Means of Compliance <i>Tick relevant compliance path(s) for each clause selected.</i>				
	Acceptable Solution	NZS 4121 Accessible Design	Verification Method	Alternative Solution <i>Please complete Form SBCG 34.1</i>	Waiver/Modification <i>Please complete Form SBCG 23.1</i>
<input type="checkbox"/> B1 Structure	<input type="checkbox"/> B1/AS1 <input type="checkbox"/> B1/AS3		<input type="checkbox"/> B1/VM1 <input type="checkbox"/> B1/VM4	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> B2 Durability	<input checked="" type="checkbox"/> B2/AS1		<input type="checkbox"/> B2/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> C1-4 Fire Safety Clauses (not used after 9 April 2013)	<input type="checkbox"/> C/AS1		<input type="checkbox"/> C/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> C1-6 Fire Safety Clauses (new code clauses)	<input type="checkbox"/> C/AS1 <input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS3 <input type="checkbox"/> C/AS4 <input type="checkbox"/> C/AS5 <input type="checkbox"/> C/AS6 <input type="checkbox"/> C/AS7		<input type="checkbox"/> C/VM2	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> D1 Access routes	<input type="checkbox"/> D1/AS1	<input type="checkbox"/>	<input type="checkbox"/> D1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> D2 Mechanical installation for access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> D2/AS3	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> E1 Surface water	<input type="checkbox"/> E1/AS1		<input type="checkbox"/> E1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> E2 External moisture	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> E2/AS2 <input type="checkbox"/> E2/AS3		<input type="checkbox"/> E2/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> E3 Internal moisture	<input type="checkbox"/> E3/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F1 Hazardous agents on site			<input type="checkbox"/> F1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> F2/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F3 Hazardous substances and processes			<input type="checkbox"/> F3/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> F4/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F5 Construction and demolition hazards	<input type="checkbox"/> F5/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F6 Visibility in escape routes	<input type="checkbox"/> F6/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> F7 Warning systems	<input checked="" type="checkbox"/> F7/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F8 Signs	<input type="checkbox"/> F8/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G1 Personal Hygiene	<input checked="" type="checkbox"/> G1/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G2/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G3 Food preparation and prevention of contamination	<input type="checkbox"/> G3/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G4 Ventilation	<input type="checkbox"/> G4/AS1		<input type="checkbox"/> G4/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G5 Interior environment	<input type="checkbox"/> G5/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G6 Airborne impact sound	<input type="checkbox"/> G6/AS1		<input type="checkbox"/> G6/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G7 Natural light	<input type="checkbox"/> G7/AS1		<input type="checkbox"/> G7/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G8 Artificial light	<input type="checkbox"/> G8/AS1		<input type="checkbox"/> G8/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G9 Electricity	<input type="checkbox"/> G9/AS1		<input type="checkbox"/> G9/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G10 Piped services	<input type="checkbox"/> G10/AS1		<input type="checkbox"/> G10/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G11 Gas as an energy source	<input type="checkbox"/> G11/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G12 Water supplies	<input checked="" type="checkbox"/> G12/AS1 <input type="checkbox"/> G12/AS2		<input type="checkbox"/> G12/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G13 Foul water	<input checked="" type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3		<input type="checkbox"/> G13/VM1 <input type="checkbox"/> G13/VM4	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> G14/AS1		<input type="checkbox"/> G14/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G15 Solid waste	<input type="checkbox"/> G15/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> H1 Energy efficiency	<input checked="" type="checkbox"/> H1/AS1		<input type="checkbox"/> H1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> B1-H1 Simple House Solution	<input type="checkbox"/> SH/AS1				
<input type="checkbox"/> B1-H1 Back Country Hut	<input type="checkbox"/> BCH/AS1				

9. COMPLIANCE SCHEDULE (specified systems are defined in regulations)

- ☐ The specified systems for the building are as follows:
- ☐ The following specified systems are being altered, added to, or removed in the course of the building work:
- or
- ☐ There are no specified systems in the building

Please provide the details required by completing either form :

- SBCG27 Compliance Schedule Specified Systems (or)
- SBCG11 Application for amendment to Compliance Schedule

10. ATTACHMENTS

The following documents are attached to this application: [Tick as applicable]

- ☒ Plans and specifications (list) (or attach a list) LIST ATTACHED
- ☒ Memoranda from licensed building practitioner(s) who carried out or supervised any design work that is restricted building work
- ☐ Project Information Memorandum ☐ Development contribution notice ☐ Certificate attached to Project Information Memorandum
- ☐ Other information relevant to this application: [Please specify]:
- ☒ Current Certificate of title provided - or do you request Council to obtain at your expense ☐

11. CONTACTS (involved in this project)

Designer

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Engineer

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Builder WHETU TAEWA

Name(s): ATO BUILDERS LTD

Postal Address: PO Box 33 CROMWELL

Cellphone: 0274 856 302 Daytime: 0274 856 302

Reg No: BP 106704 Email: whetu@atobuilding.co.nz

Gasfitter

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Drainlayer

Name(s): ANDREW TOUGH

Postal Address: 11 ROGER STREET
CROMWELL

Cellphone: 021 991 646 Daytime: (03) 445 0560

Reg No: 10352 Email: aaa.tough.plumbing@xtra.co.nz

Plumber

Name(s): ANDREW TOUGH

Postal Address: A.S. DRAINLAYER

Cellphone: Daytime:

Reg No: Email:

Electrician ANDREW TALL

Name(s): SOUTHERN ELECTRICAL (CENTRAL)

Postal Address: 2A REE CRESCENT
CROMWELL

Cellphone: 021 221 0048 Daytime: (03) 445 3793

Reg No: E243690 Email: admin@southern-electrical.co.nz

Other

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:



BUILDING CONSENT FEE CALCULATOR

Updated on: 01/07/2012

Financial Year: 2012-2013

NOTE: Complete the blue highlighted boxes only.

Enter value of work:

\$4,800.00

Enter type of building:

1

Residential = 1

Commercial = 2

Example :

Residential buildings include; Educational, agricultural, and community uses.

Commercial buildings include; Industrial, and property with ANY commercial activity.

DESCRIPTION	SUB	COST (GST inclusive)
CENTRAL OTAGO DISTRICT COUNCIL FEE CONSENT PROCESSING / INSPECTIONS	30	\$260.00
GOVERNMENT LEVIES BRANZ (BUILDING RESEARCH ASSOCIATION) exempt from GST		\$0.00
BUILDING (DEPARTMENT OF BUILDING & HOUSING) incl GST		\$0.00
<u>FEE PAYABLE TO CENTRAL OTAGO DISTRICT COUNCIL</u>		<u>\$260.00</u>
OFFICE USE ONLY	Invoice no.	Receipt no.

IF SEPARATE PIM APPLICATION ALREADY MADE

FEE PAYABLE TO CENTRAL OTAGO DISTRICT COUNCIL (PIM Fee removed)

\$230.00

SET FEE FOR SPECIFIC TYPE BUILDING CONSENTS

DESCRIPTION	Total Fee (\$)
Appliances	
Free Standing	190
In built / 2nd hand & new wet-back	340
Marquee	220
Wind Machines	430
Demolition	
Residential	220
Commercial	430

Disclaimer:

Central Otago District Council makes every effort to ensure that the information provided in this Building Consent Fee Calculator is accurate and up to date. If you have a previous version or unsure that this version is current please contact the Council via email on building@codc.govt.nz to obtain the current version.

PRINT PAGE

General Property Information

Rapid Details

Property

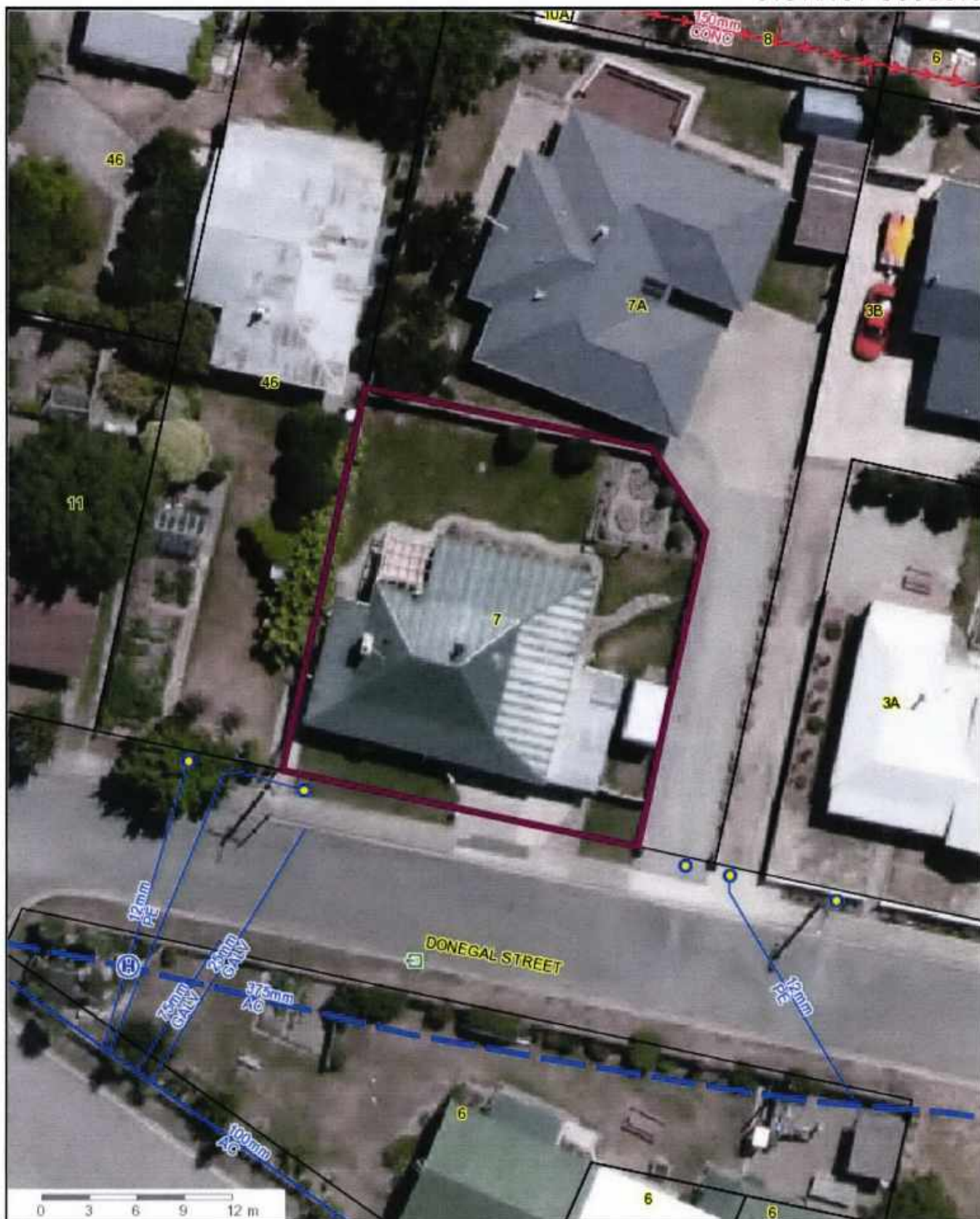
Valuation No.	2850578100 : (GIS)
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Owner	SAMPSON PAUL ROBERT : SAMPSON HEATHER PATRICIA
Owner Address	7 DONEGAL STREET : CROMWELL : : : 9310
Area (hectares)	0.0566

Rates

Government Valuation	
Land	\$ 149,000
Capital Value	\$ 290,000
Improvements	\$ 141,000
Current Rates Year 2013 to 2014	
Annual Rates	\$ 1,787.50
Current Instalment	\$ 446.90
Outstanding Balance	
Arrears for Previous Years	
Next Instalment Date	20/11/13

Special Land Features	
No information located	
Planning/Resource Management	
7/02/96	RESOURCE CONSENT 950106 : BOUNDARY ADJUSTMENT BETWEEN TWO EXISTING TITLES : Decision Notified 21/12/95 : Granted by Delegated Authority 20/12/95
Building	
6/03/12	BUILDING CONSENT 120154 : Install a new Masport fire : Code Compliance Certificate issued 14/03/12
25/09/96	BUILDING CONSENT 960568 : ALTERATIONS & ADDITIONS INCL FIRE APP : Code Compliance Certificate issued 17/09/01
Contributions	
No information located	
Licences	
No information located	
Sewer & Drainage	
Water	This property is rated for a water connection.
Sewer	This property is rated for a sewer connection.
Land and Building Classifications	
No information located	
Transport	
No information located	
Swimming Pools	
No information located	
Other	
8/08/13	SERVICE REQUEST 132221 : Water Service Requests

12/06/13	LIM APPLICATION L130315 : Residential - Standard LIM
26/03/13	SERVICE REQUEST 130987 : Water Service Requests
31/01/08	SERVICE REQUEST 080454 : Water Service Requests
22/01/07	SERVICE REQUEST 070347 : Roading - Footpaths/Carparks
22/12/03	LIM APPLICATION L030614 : Residential - Urgent LIM
19/12/03	LIM APPLICATION L030610 : Residential - Standard LIM
29/10/03	LIM APPLICATION L030525 : Residential - Standard LIM
11/09/96	SERVICE REQUEST 961196 : Water Service Requests
30/08/2001	LIM Cromwell First National LOTS 2-3 DP 9047 Cromwell Town
** End of enquiry **	



Scale: 1:335
 Original Sheet Size A4

Projection: NZGD2000 / New Zealand Transverse Mercator 2000
 Bounds: 5004803.95990045, 1301544.42576673
 5004745.31069903, 1301668.2702343

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 The information shown on this plan may not be accurate and is indicative only.
 The Central Otago District Council accepts no responsibility for incomplete or inaccurate information.



User Guide for Minor Alterations to Dwellings

NOTE: Minor alterations are those within the existing building that do not affect the weather tightness of the building or require specific design or changes to drainage plans.

Please complete this user guide, your building consent application and compile all the necessary documentation. When you are ready to lodge your application, please phone your appointed Overseer

CODC Overseer:	Direct Dial Ph:
Valuation number:	

Complete and technically correct building consent applications are processed FASTER than incorrect ones	Applicant to complete		Office use only
	Yes	N/A	
Application			
Legal description and location address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Correct total <u>value</u> of building work been shown (Note: this may be different from cost)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Evidence of Ownership (Current Certificate of Title)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Authorization to act as Agent for Owner (for applications made on behalf of the owner)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Application form completed correctly - in pen, signed and dated, with correct fees	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Certificate of design work [COW] provided covering restricted building work	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Plans			
Have you provided two copies of: (The second copy will be returned to you with your consent)			
Plans	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Specifications	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the original floor layout been shown?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has all demolition work been shown?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Has the proposed floor layout been shown? (Please include the location of smoke alarms)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have all external and internal dimensions been shown?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the position of structural beams and fixings been shown?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Removal of walls (or part walls) may require bracing calculations – are these provided?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Cross-section			
Have you provided a cross-section through areas of construction showing method of construction & specifying ALL materials used & surface finishes? Please include section through stairs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has the plumbing with drainage layout been shown?			
Note: changes to plumbing & drainage layout require specification of pipe sizes & materials, insulation, venting, surface finishes, safety glazing etc. Manufacturer's installation instructions should be provided for shower installations & water proof membranes shown in a cross-section for wet area showers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**




R.W. Muir
Registrar-General
of Land

Search Copy

Identifier 7974
Land Registration District Otago
Date Issued 27 July 2001

COPY

Prior References

OT398/111 OT398/112

Estate Fee Simple
Area 566 square metres more or less
Legal Description Lot 1 Deposited Plan 301986

Proprietors

Paul Robert Samson and Heather Patricia Samson

Interests

Appurtenant hereto is a right to convey sewage specified in Easement Certificate 5064712.3 - 27.7.2001 at 3:44 pm

The easement specified in Easement Certificate 5064712.3 is subject to Section 243 (a) Resource Management Act 1991

Identifier

7974

Approvals

Registered Owner(s)

Approved pursuant to Section 223 of the Resource Management Act 1991 on the 20th day of April 1998. Subject to the granting or reserving of the easement set out in the Memorandum hereon. The Common Seal of the Central Otago District Council is affixed hereto in the presence of:

[Signature] Mayor
[Signature] General Manager (as per delegation)
[Signature] Administration Officer

Pursuant to Section 224(2) of the Resource Management Act 1991 I hereby certify that all the conditions of the subdivision consent have been complied with to the satisfaction of the Central Otago District Council.

Dated this 20th day of April 1998

Memorandum of Easements

Shown	Purpose	Serv Ten	Dom Ten
2-4	Right to Easement Sewage	Lot 2	Lot 1

Lot 1 - 7974
 Lot 2 - 7975

Datum: Geodetic 1949
 Circumference Peak
 Coordinates are in terms of false origin
 799 000mE

Total Area 1410m²
 (comprised in CT 398/111(alt), CT 398/112(alt))

I, Peter Langston Dymack
 Registered Surveyor and holder of an approved practicing certificate for the year 1998 as a registered surveyor pursuant to section 28 of the Survey Act 1980 hereby certify that this plan has been made from surveys conducted by me or under my direction, that the plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof, based on Government of the 31th day of June 1998

Field Book *[Signature]* Reference Book *[Signature]*
 Reference Plans DP 9047 24741

Examined *[Signature]* Correct

Approved as to Survey *[Signature]* Chief Surveyor

Deposited this 21st day of May 1998

For Registrar-General of Land

No. 1-6-01
 Registrar-General

DP 301986

LAND DISTRICT Otago

SURVEY BLK. & DIST. Blk. LIX. In. of Cromwell

NZMS 261 SHT G.41 RECORD MAP No. 04-32

LOTS 1 & 2 BEING A SUBDIVISION OF LOTS 2 & 3 DP 9047

TERRITORIAL AUTHORITY Central Otago Dist

Surveyed by Paterson, Pitts Partners Ltd

Scale 1:200 Date November 1996

P.O. BOX 10000, SUPREMACY BUILDING, DEPARTMENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND

BUILDING CONSENT 130595
Section 51, Building Act 2004**THE BUILDING**

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Internal alterations to existing dwelling.
Location of Building within site/block number:	
Level/Unit Number:	

OWNER

Owner's Name and Mailing Address:	P R & H P Samson 7 Donegal Street Cromwell 9310
Street Address/Registered Office:	
Contact Person:	Paul
Phone Number:	03-4454305
Mobile Phone:	021-0322552
Fax Number:	
Email Address:	
Website:	
First Point of Contact:	As above

BUILDING WORK

The following building work is authorised by this building consent:
Internal alterations to existing dwelling.

If for any reason work is to be carried out other than that shown on the approved documents, then new documents are to be submitted and approved by Council before work can continue. (Building Act 2004 requirement)

All building work is to comply with the New Zealand Building Code.

All plumbing work is to be carried out by a craftsman plumber, drainage work by a registered drain layer and gas fitting by a craftsman gas fitter holding a current practising licence as required by the Plumbers, Gas Fitters and Drain Layers Act 1976.

It is the owners' responsibility to verify the legal boundaries of the property prior to the commencement of work.

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

The building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

The owner or his authorised agent are reminded of their responsibilities to ensure that any conditions detailed are conveyed to the appropriate parties engaged to carry out works associated with this consent.

KEY PERSONNEL

Prior to the commencement of work you are required to provide to the Council the names of contractors carrying out the work.

The personnel who will carry out the building work are as follows:

Builder: ATD Building 2007 Ltd

Drainlayer: AAA Tough Plumbing & Drainage Ltd 11 Rogers Street CROMWELL : 03 445 0560

Plumber: AAA Tough Plumbing & Drainage Ltd 11 Rogers Street CROMWELL : 03 445 0560

Electrician: Southern Electrical

COMPLIANCE SCHEDULE

A compliance schedule is not required for this building.

ATTACHMENTS

Copies of the following documents are attached to this building consent:

Building Consent Officer: Chris Hight

Signature: 

Date: 18 September 2013

On behalf of:

Central Otago District Council

PO Box 122

Alexandra

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Internal alterations to existing dwelling.
Level/Unit Number:	
Current, lawfully established use:	
Year of Construction (approx):	

OWNER*

Owner's Name and Mailing Address:

P R & H P Samson
7 Donegal Street
Cromwell 9310

Phone Number:	03-4454305
Fax Number:	
Email Address:	


BUILDING WORK

Building Consent No:	BC 130595
Issued by:	Central Otago District Council

CODE COMPLIANCE CERTIFICATE

The Building Consent Authority named below is satisfied, on reasonable grounds, that:

a. the building work complies with the building consent.

Building Consent Officer:	Murray McCutcheon	On behalf of:
Signature:		Central Otago District Council
Date:	24/02/14	PO Box 122 Alexandra

CODE COMPLIANCE CERTIFICATE CHECKLIST

Building Consent Number: 130595

Tick the "yes" box if the information has been provided and is complete and approved.

Tick the "no" box if the required information has not been provided, or is not complete, or is not approved.

Send CCC further information letter requesting the information.

Tick "N/A" if the information identified below is not needed.

BUILDING INSPECTOR Have you changed the status to CCC application received?	Notes	Yes	No	N/A
Check:				
• New or amended Compliance schedule [If yes to COB when CCC issued]				✓
• Owners address matches rates [IF NOT GET COB TO CHANGE]		✓		
• EQPB upgrade occurred? [If yes to COB to update status on register.]				✓
	Notes	Yes	No	N/A
Check:				
• Fees paid		✓		
• Development and/or reserves contributions paid [Check with Sue de Jong]				✓
• Outstanding notices to fix				✓
• Contractors are as nominated on consent [If none are nominated ask COB to enter them as per inspection details.]		✓		
• Have there been any changes to the design				
• If yes, amended plan? <input type="checkbox"/> or new building consent? <input type="checkbox"/>			✓	
• Was this application subject to Section 72 or 75? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>				
• If Yes has the Certificate of Title been updated? (See COB/LIMO if unsure)				✓

DOCUMENTATION ON THE BUILDING CONSENT FILE <i>Note: Remove duplicate and superseded plans/docs from file</i>	Notes	Yes	No	N/A
• BC application and PIM (Form 2 issued)		✓		
• Job card		✓		
• User guide		✓		
• Cover sheet		✓		
• Completed processing checklist		✓		
• Approved plans		✓		
• Approved specifications		✓		
• As-built drainage plan received and scanned in to NCS		✓		
• Approved amended documents/plans				✓
• Approved alternative solution form(s)				✓
• CCC application		✓		
• Other documents not identified				✓
DOCUMENTATION SAVED ON NCS				
• All inspections notes entered and inspections approved? <i>Unreasonably high number of unsatisfactory inspections? [Need to be invoiced prior to CCC – see COB.]</i>		✓		
• All letters saved		✓		
• Inspection checklists saved		✓		
• BC issued and conditions met		✓		
• PIM issued and conditions met		✓		

		Yes	No	N/A
ENERGY CERTIFICATES	Author			
Electrical		✓		
Gas				✓
PRODUCER STATEMENTS	Author [approved?]			
Fire Alarm PS3				✓
Fire Alarm PS4 (Certification)				✓
Structural				✓
Truss				✓
Waterproof membrane				✓
ROWS AND LBP MAINTENANCE				
ROWS provided for all RBW by LBPs with appropriate license(s). Use DBH Public Register search in LBP maintenance to confirm licencing (as required).	Check ROWs against COW. Use LBP maintenance in NCS to update ROW dates received section.			✓
DURABILTY MODIFIED?	Has correct process been followed?			✓
CCC application template identifies date of practical completion agreed with and signed by owner.	COB to Issue CCC with modification and enter correct date. Complete DBH form / scan to DBH and file.	✓		

Further information is required - Letter sent ☒ Date

Notes:

Internal changes from Garage to Habitable space with Bathroom is finished & completed as per approved Documents.

I  am satisfied on reasonable grounds that:

1. The building work carried out complies with the building consent to the extent that the Code Compliance Certificate can be issued; and
2. All information relevant to the application for this building consent has been put on the application's file.
3. Specified Systems and standards are correctly described in compliance schedule attached to consent [if applicable]. Complete office use section of SBCG27. Whole building consent to go to COB with issued CCC.

Date 24-2-14

**APPLICATION FOR CODE
COMPLIANCE CERTIFICATE**
Section 92, Building Act 2004

Building Consent No: BC 130595

Issued by: Central Otago District Council, PO Box 122, Alexandra

THE BUILDING

Valuation Number: 2850578100

Street Address: 7 DONEGAL STREET, CROMWELL

Description of Building Work: Internal alterations to existing dwelling.

AGENT

Owner's Name and Mailing Address:

P R & H P Samson
7 Donegal Street
Cromwell 9310

Contact Details:

Phone Number: 03-4454305

Fax Number:

Email Address:

APPLICATION

I request that a Code Compliance Certificate be issued for the building work described in this application, under section 95 of the Building Act 2004.

Name: PAUL & HEATHER SAMSON
Please Print

Signature: [Signature] Date: 6-1-14

☒ Owner ☐ Agent on behalf of and with the authority of the Owner

KEY PERSONNEL

The personnel who carried out the building work are as follows:

Builder: ATD Building 2007 Ltd

Drainlayer: AAA Tough Plumbing & Drainage Ltd 11 Rogers Street CROMWELL : 03 445 0560

Plumber: AAA Tough Plumbing & Drainage Ltd 11 Rogers Street CROMWELL : 03 445 0560

Electrician: Southern Electrical

ATTACHMENTS

The following documents are attached to this application:

- ☐ Certificates that relate to energy work (if applicable)
- ☐ Records of Work from Licensed Building Practitioners (if applicable)
- ☐ As-built drainage plan from registered drain layer (if applicable)
- ☐ Producer Statement(s) (if applicable)

FOR OFFICE USE

Approved for Issue of Code Compliance Certificate [Subject to a full documentation check]

Building Control Officer:

[Signature]

Date:

24-2-14

SITE INSPECTION SHEET BC 130595

10-15 MON.

Application

P R & H P Samson 7 Donegal Street Cromwell 9310	Issue date 18/09/13
	Overseer Chris Hight

Project

Description	Residential - Dwelling alteration (internal only) Being Stage 1 of an intended 1 Stages Internal alterations to existing dwelling.
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$4,800
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Valuation No.	2850578100

Please give at least one working day's notice for the next required inspection.

(Note: In outlying areas, inspections may only be carried out on allocated days. Please check with your local service centre.)

Work cannot proceed past each step until that step has been inspected and approved, and this form signed by the building control officer. **You are strongly advised to make yourself familiar with the inspection requirements of this project before commencing any work.**

Building Control Officer

Chris Hight

Contact phone number(s)

03 4450211

Note: If this form is not completed, the Code Compliance Certificate will not be issued until Council is satisfied that the building complies with the New Zealand Building Code.

When this project is completed this inspection sheet will be attached to the relevant property file held at the Council office.

Please note! The approved plans and this inspection sheet are to be available on site, on request, at all times. (A re-inspection fee may be charged for failure to comply with this requirement.)

2

Site Inspection Sheet

Framing pre-line - Checks timber sizes, treatments and spacings. Moisture content of timber checked. Bracing element positions, straps and lintels also checked.

ok to his son 14/10

16-10-13 Put Bath all or

ABC

Pre-line pipe - Water pipes to be under test, lagged where required and secured. Pipe sizes, jointing, fall and fixings will be checked.

16-10-13 Butelie, install a toilet (or)

ABC

16-10-13 Foul Drainage to existg. or, AAV to fit for WC.

Building Completion - Checks that all building work is completed in accordance with the building consent documents i.e. drainage and services, landscaping adjacent to building, interior and exterior finishing work, etc.

6-1-14 - Work is finished & completed, as per approved Documents. (or)

ABC

Only Architect Draw
Plans to Come.

ABC

(AAA Tought)

Mon 6.1.14

1pm.



Compliance and Electrical Safety Certificate

This form has been issued by the Electrical Workers Registration Board



Unique ID: 45228

Safety • Competency

This form has been designed to be used by licensed electrical workers to certify low voltage installations or part installations that comply with Part 2 of AS/NZS 3000 and are safe to be connected to a 230/400 volt multiple earth neutral (MEN) system of electrical supply.

(1) Location of Installation

Address: _____

(2) Customer Information

Name: Site Contact: Paul & Heather Samson

Postal Address: Site Addr: 7 Donegal Street, Cromwell 9310 New Zealand

Phone and Email: _____

(3) Electrical Worker Information

Name: S White Registration/Practising Licence Number: 12412

Organisation: Southern Electrical Ltd Central Telephone Number: 03 445 3793

Email: _____

Name of person(s) being supervised: M Carline

(4) Work Details

The work is (circle): ☒ additions ☒ alterations ☒ new work

The prescribed electrical work is: ☒ High Risk ☐ General ☐ Low Risk ☐ The homeowner has undertaken part of the electrical installation work.
(Please tick (✓) as appropriate)

Indicate the number of each item
installed or altered:

Number of lighting outlets: 9
Number of socket outlets: 5
Number of ranges: Nil
Number of water heaters: Nil

Other Work?

Alts & additions to new ensuite & bathroom.
See attached notes for schedule
Of work

Tick (✓) if work includes:

- ☐ Mains
☐ MEN switchboard closest to point of supply
☐ Main Earthing System
☐ Electric Lines

(5) Certification of Work

I certify that the completed prescribed electrical work to which this certificate applies, has been done lawfully and safely and the information in the certificate is correct in that the installation, or part of the installation:

- ☒ has been installed in accordance with a certified design
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ relies on supplier's Declaration of Conformity (attach or reference¹)
☒ relies on manufacturer's instructions (attach or reference¹)
☒ has been satisfactorily tested in accordance with Electricity (Safety) Regulations 2010
☒ is safe to connect

Electronic reference: http://redpaths.co.nz/suppliers/supplier-information/219-supplier-declarations-of-conformity ref to invoice

Electrical Worker's Signature: _____ Date: 22/11/2013

1. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declarations of conformity, provide a reference to where the documents can be found, in a readily accessible format, through electronic means.

Test Results:

	Electrical Worker	Inspector
Polarity (independent earth):	Y	
Insulation resistance:	0.28 ohm	
Earth continuity:		
Bonding:		
Other (specify):	CD 51 8.3m	

(6) Electrical Safety Certificate

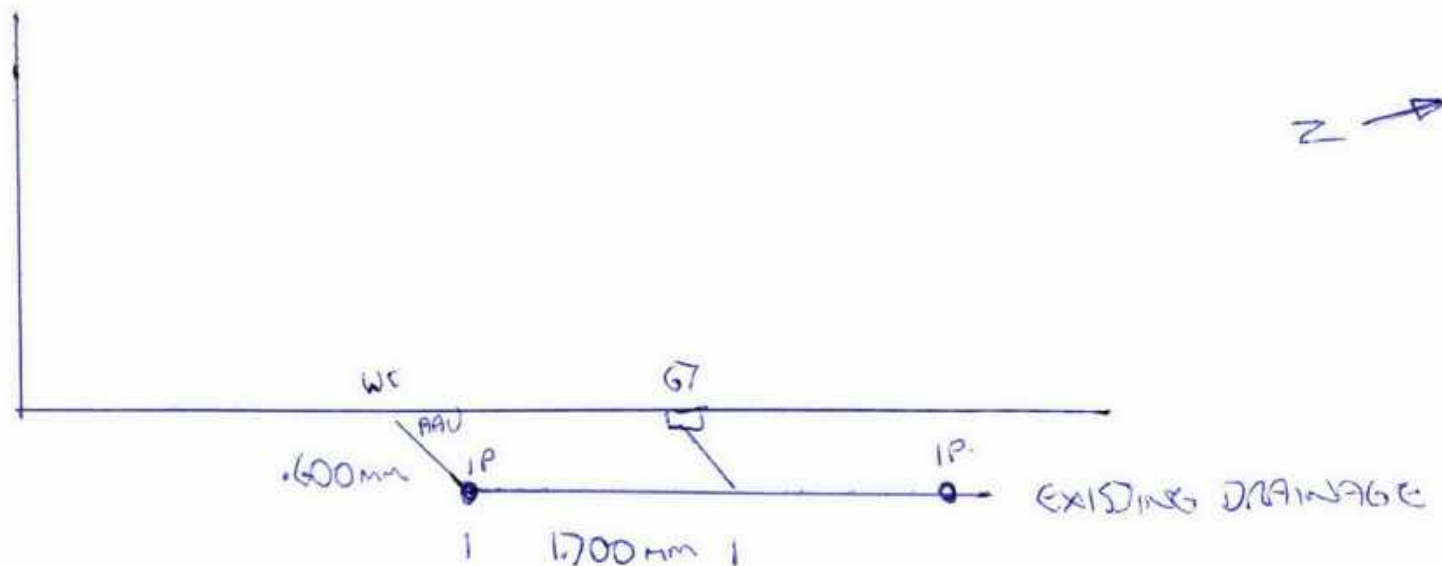
I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use

Name: Steve White Registration/Practising Licence Number: 12412

Signature: _____ Date: 22/11/2013

(If certifier is different from electrical worker)

STAGE



MR + MRS SAMSON

7 DONEGAL ST

CROMWELL

REG 10352

AAA Tough Plumbing
& Drainage Ltd.
11 Rogers Street
CROMWELL

STAGE

28 505 78 100

SCALE: 1-750



FRONT ELEVATION: ALTERATION TO 7 DONEGAL STREET,
CROMWELL FOR PR + HP SAMSON

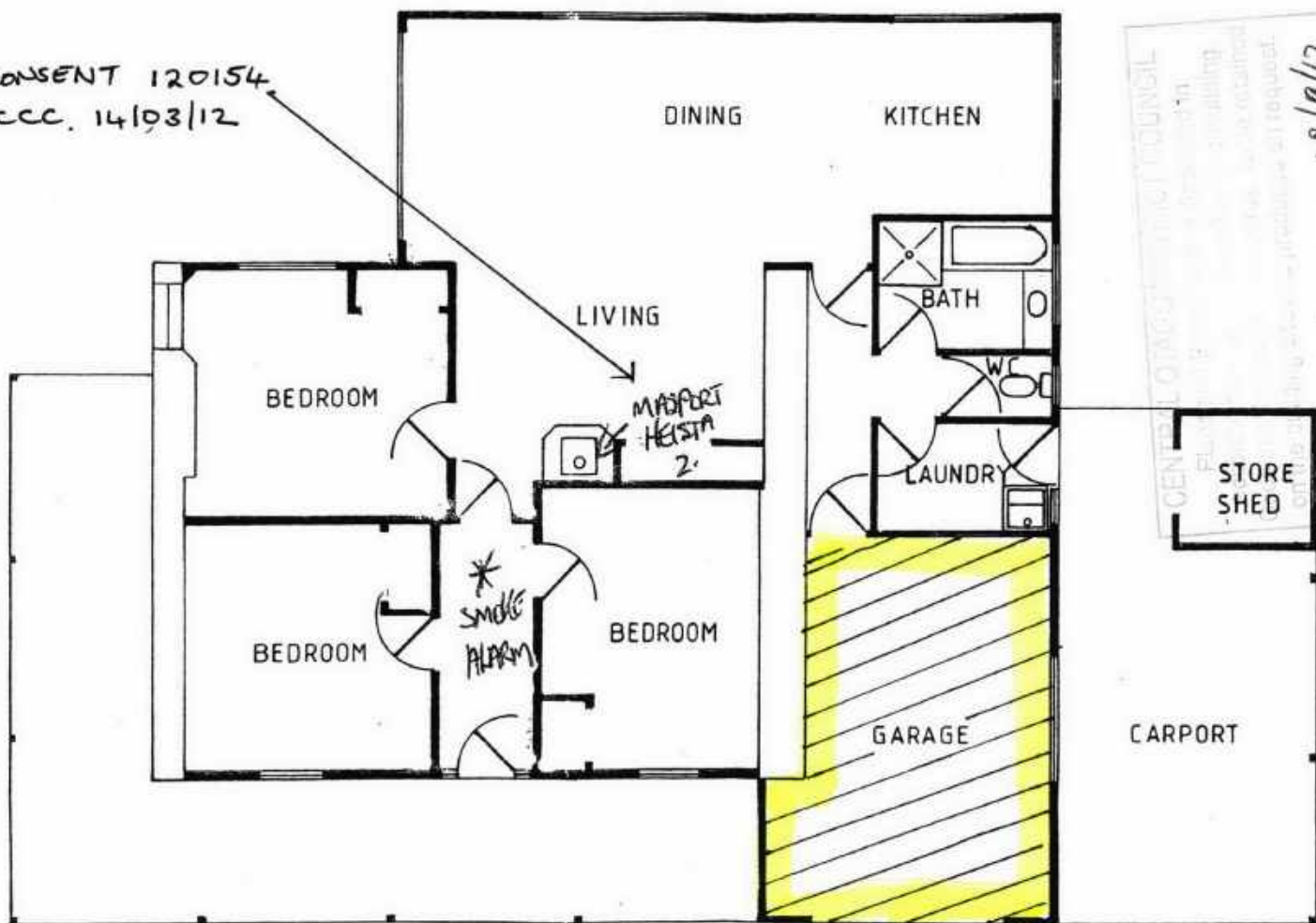
Existing LAYOUT PLAN FOR 7 DONEGAL STREET, CROMWELL - PR + HP SAMSON

CONSENT 120154
CCC. 14/03/12

KEY



Area affected
by alteration that
is proposed.

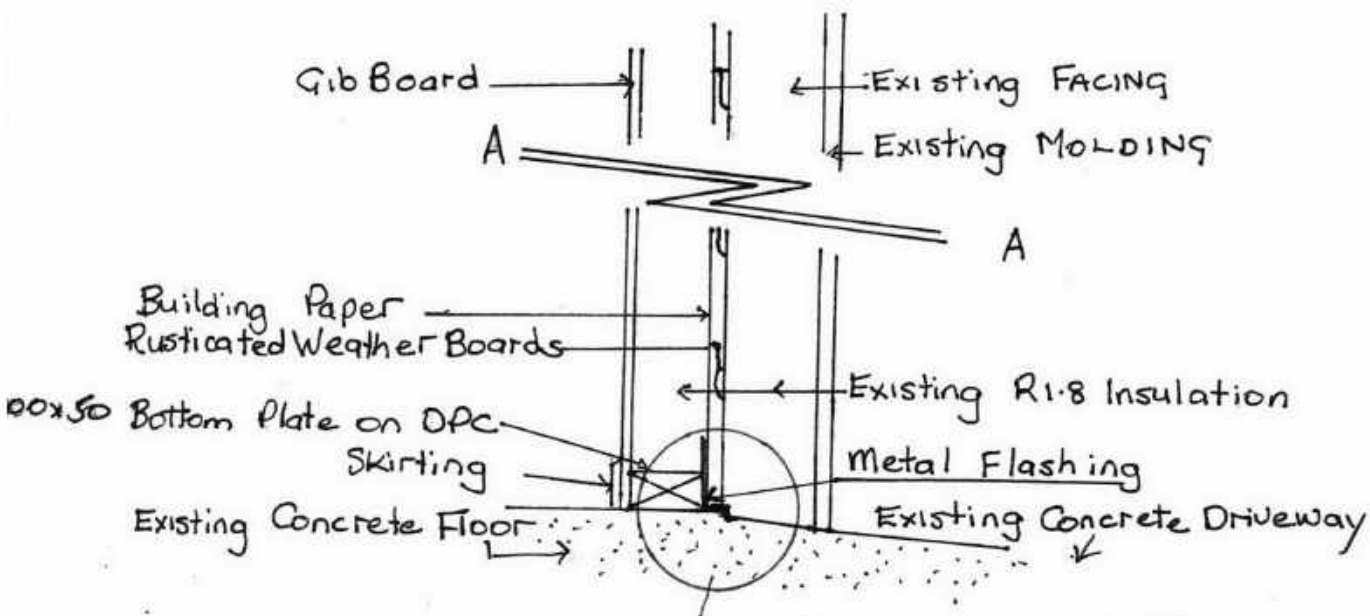


CENTRAL COUNCIL
19/09/17
Signed: [Signature] Date: 19/09/17

LAYOUT PLAN = CONSENT 960568
CCC 17/09/01



~~PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE
FOR N. BAIRD. 7 DONEGAL STREET, CROMWELL. SCALE: 1:100~~



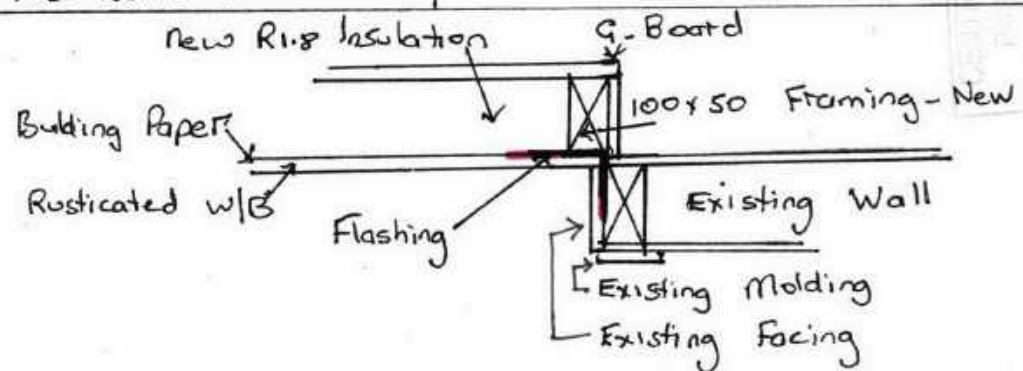
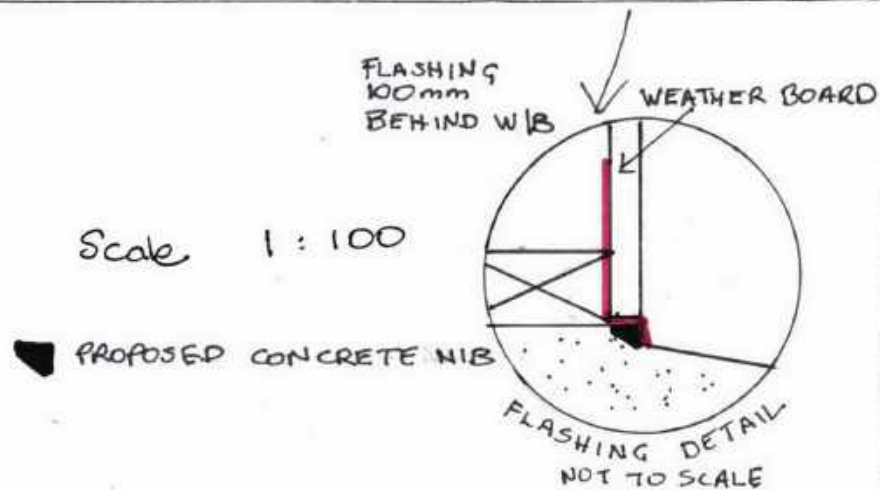
NOTES.

ALTERATIONS TO THIS DWELLING ARE TO BE CARRIED OUT IN ACCORDANCE WITH ALL RELEVANT REGULATIONS AND STANDARDS USING STANDARD TRADE PRACTICE AND APPROVED BUILDING MATERIALS.

17/9/13

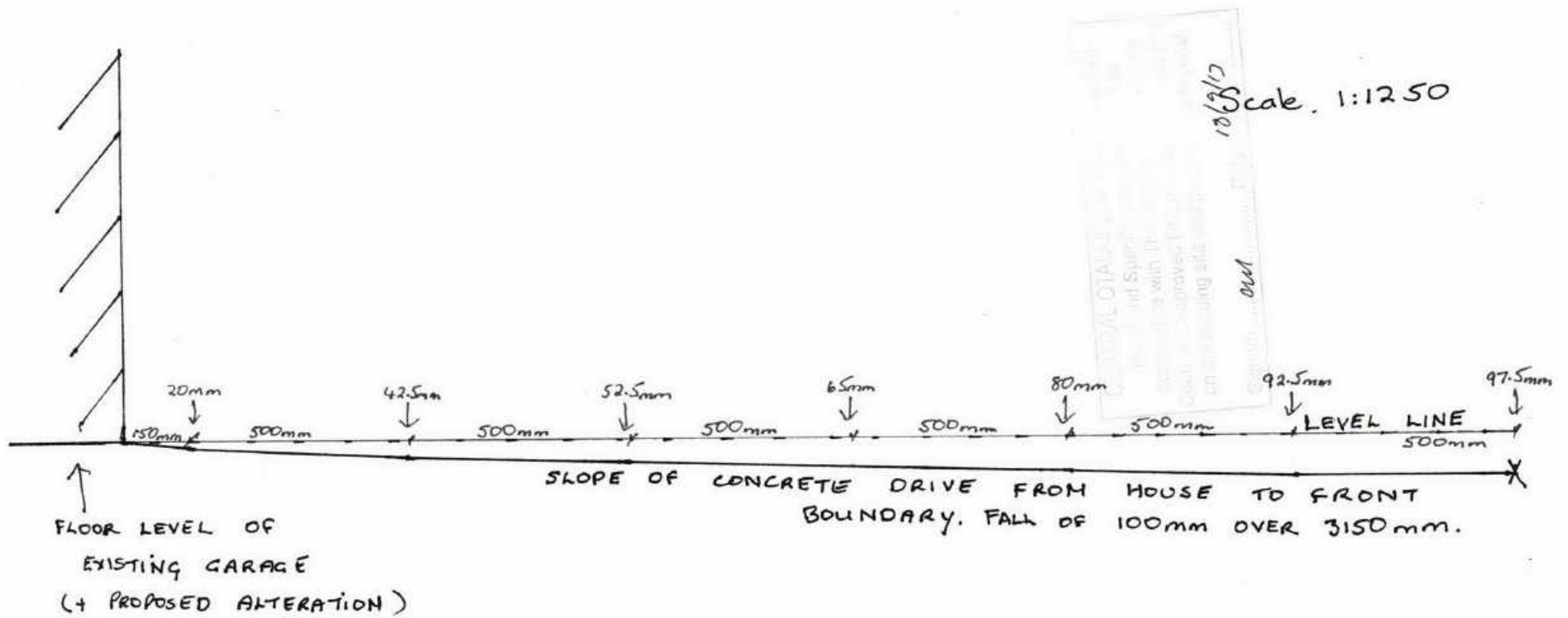
and

FLASHING PROPOSED ALTERATION WALL TO GROUND LEVEL

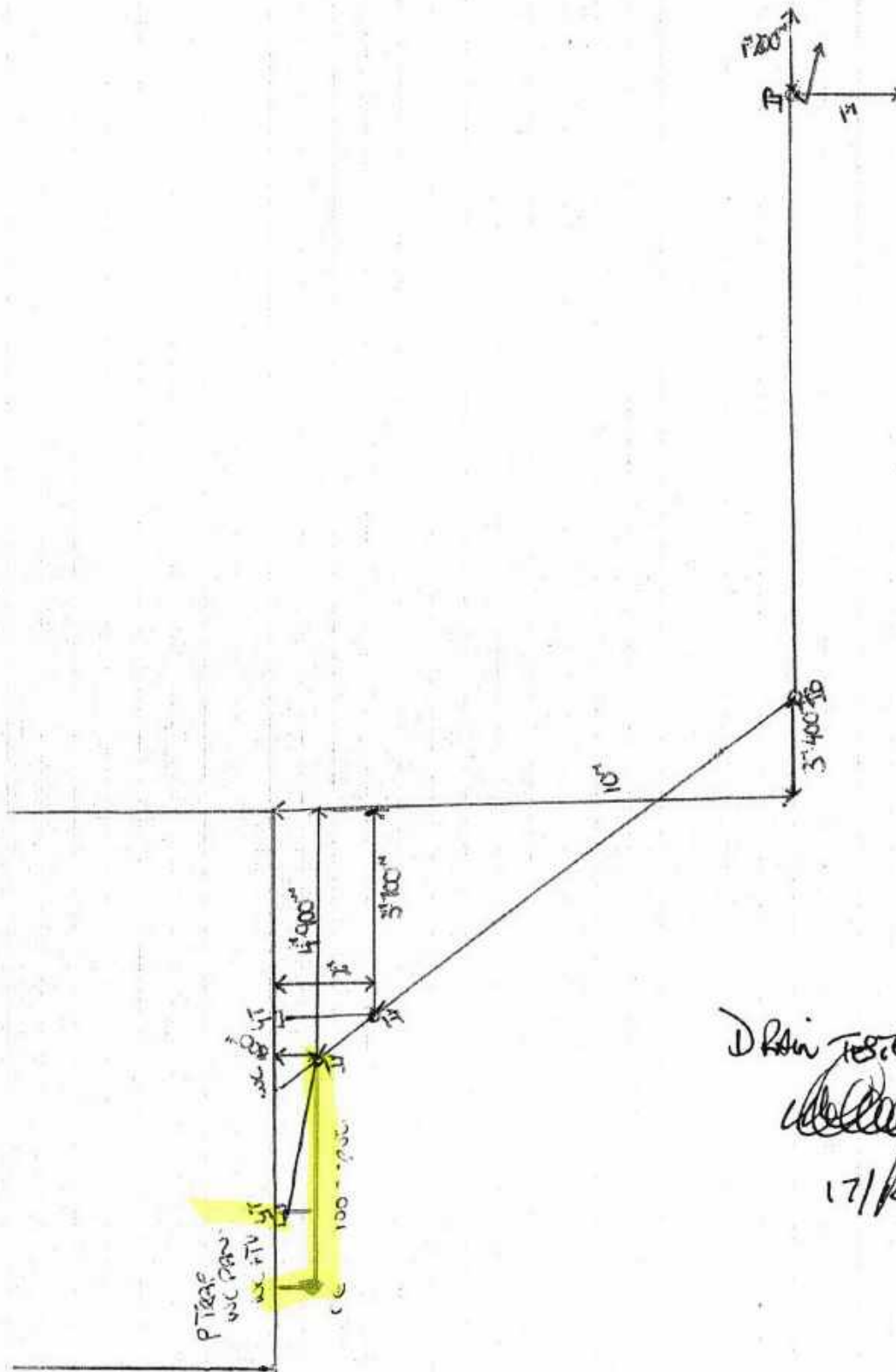


SECTION AA-FLASHING EXISTING WALL TO PROPOSED ALTERATION

WEATHER SEALING NEW FRONT WALL TO REPLACE EXISTING ROLLER DOOR FOR PROPOSED ALTERATION TO 7 DONEGAL ST, CROMWELL FOR PR + HP SAMSON.



SLOPE FROM PROPOSED ALTERATION TO FRONT Bdy
FOR 7 DONEGAL STREET, CROMWELL FOR PR+HP SAMSON



Drain Test OK
 17/12/86

G-13.

OWNER: D. Baird.

LOCATION: Donegal St

LOT No.:

D.P.:

SECTION:

BLOCK:

SIGNATURE R. Anderson
 (Registered Drainlayer)

MINOR INTERNAL ALTERATION PROCESSING CHECKLIST

Building Consent No 130595

Building Category		5.
BCO Overseer		Chris Hoff
Approved to Process		
NA	Approved	Failed
—	✓	X

Mark in each small tick box NA, Approved or Failed.

When each section is complete and correct initial large box at right-hand side.

<p>Plumbing Waste & Soil Layouts (AS/NZS 3500 or G13)</p> <ul style="list-style-type: none"> - Ground Floor <input checked="" type="checkbox"/> <u>G13</u> - 1st floor <input type="checkbox"/> _____ - System used named <input checked="" type="checkbox"/> <u>G13</u> - Pipe sizes & grades <input checked="" type="checkbox"/> <u>100 Ø 1:100</u> - Venting <input checked="" type="checkbox"/> <u>existing</u> 		<p><u>cur</u></p>
<p>Plumbing Water Pipes (G12)</p> <ul style="list-style-type: none"> - Material <input type="checkbox"/> <u>polybutylene</u> - Sizes <input checked="" type="checkbox"/> <u>colours</u> - Insulation <input checked="" type="checkbox"/> <u>chubert</u> 		<p><u>cur</u></p>
<p>Hot Water Source & Location</p> <ul style="list-style-type: none"> - Mains pressure HWC <input type="checkbox"/> <u>Colours at heating inspection</u> - Medium pressure HWC <input type="checkbox"/> _____ - Low pressure HWC <input type="checkbox"/> _____ - Gas califont <input type="checkbox"/> _____ - Other <input type="checkbox"/> _____ 		<p><u>cur</u></p>
<p>1. Foul drain to foul sewer</p> <ul style="list-style-type: none"> - system being used AS 3500 <input type="checkbox"/> <u>100 Ø 1:100</u> G13 ASI <input checked="" type="checkbox"/> _____ - plans showing drainage layout, pipe sizes, etc. <input checked="" type="checkbox"/> <u>existing</u> - venting <input checked="" type="checkbox"/> _____ 		<p><u>all</u></p>
<p>Bracing</p> <p>Schedule and calculation sheet correct <input type="checkbox"/> _____</p> <p>Bracing plan showing location number and type of bracing elements to show compliance with NZS3604. <input type="checkbox"/> _____</p> <p>Engineer producer statement showing calculations if engineer designed <input type="checkbox"/> _____</p>	<p><u>all</u></p>	<p><u>all</u></p>

Safety Glass Impact Requirements NZS4223:1999 <input type="checkbox"/> _____			
Heating Appliance (AS/NZS 2918:201) - Appliance make <input type="checkbox"/> _____ - Appliance model <input type="checkbox"/> _____ - Clean air approved <input type="checkbox"/> _____ - Clearances chart <input type="checkbox"/> _____ - Cross section of flue details <input type="checkbox"/> _____ - If diesel - tank size <input type="checkbox"/> _____ - tank seismic restraint <input type="checkbox"/> _____ - safety cut out valve <input type="checkbox"/> _____ - Smoke alarms shown <input type="checkbox"/> _____			
Insulation walls, ceilings and floors (H1) - Type <input type="checkbox"/> _____ - R value correct <input checked="" type="checkbox"/> <u>R 1.8 Batts</u> - Floors <input checked="" type="checkbox"/> <u>walls</u> - Calculations req. <input type="checkbox"/> _____ - Building Wrap _____ type _____ - Compatible with other materials <input type="checkbox"/> _____			
Producer Statements - Type <input type="checkbox"/> _____ - Site location <input type="checkbox"/> _____ - Author assessed (CO17) <input type="checkbox"/> _____ - Work correctly identified <input type="checkbox"/> _____ - Code clauses covered _____ - Work within Author's approved scope <input type="checkbox"/> _____ - Conditions restricting Producer Statement <input type="checkbox"/> _____ - Signed and dated by Author (PSI) <input type="checkbox"/> _____ - Inspection schedule <input type="checkbox"/> _____ - Have plans-specs been signed and dated by author or referenced <input type="checkbox"/> _____ - Supporting info provided/does the design interface with the non spec design <input type="checkbox"/> _____ - Is peer review required <input type="checkbox"/> _____ Yes No			
Specifications – type, make, grade and dimensions of all materials and systems - relate to job <input type="checkbox"/> _____ - comply with code <input type="checkbox"/> _____ <u>Combine Plumbing Pipes and</u> <u>Hot Water - Temping.</u>		?	

	Initial if OK	Peer Review
<p>Structural Fixings (Load Path)</p> <ul style="list-style-type: none"> -Purlin to Rafter or Truss <input type="checkbox"/> - Rafter to plates and ridges, and or beams <input type="checkbox"/> - Truss to plates or beams <input type="checkbox"/> - Plate to Stud and or beam to post <input type="checkbox"/> - Lintel tie down details <input type="checkbox"/> - Bracing tie down details <input type="checkbox"/> - Bottom plate fixing details <input type="checkbox"/> - Post to foundation fixings <input type="checkbox"/> - Any point loads <input type="checkbox"/> - Have thickenings for trusses been shown <input type="checkbox"/> - Has bottom cord restraint been specified <input type="checkbox"/> - Chimney structures within non specific design <input type="checkbox"/> 		
<p>Stairs Domestic</p> <p>-STAIRS Summary of requirements</p> <ul style="list-style-type: none"> - Cross section demonstrates head clearance (2m from pitch line) <input type="checkbox"/> - Risers: Open max gap 100mm <input type="checkbox"/> <li style="padding-left: 20px;">Closed <input type="checkbox"/> - Stair type: <li style="padding-left: 20px;">Main Private Max rise 190mm Min tread 280mm <input type="checkbox"/> <li style="padding-left: 20px;">Secondary Max Rise 200mm Min tread 250mm <input type="checkbox"/> <li style="padding-left: 20px;">Minor Max rise 220mm Min tread 220mm <input type="checkbox"/> <li style="padding-left: 20px;">Graspable hand rail to one side min if more than three Risers. <input type="checkbox"/> <li style="padding-left: 20px;">Hand rails Barriers 900 Min high stair and landings <input type="checkbox"/> <li style="padding-left: 20px;">Slip resistance to Exterior Main private Stair or ramp.(see table 2 D1) <input type="checkbox"/> <p>Stair types: Main private Entrance to dwelling and living areas. Secondary Private to bedrooms and multiple rooms.</p> <p style="padding-left: 40px;">Minor private may only supply access to a single room (from acceptable solution)</p>		

	Initial if OK	Peer Review
Fire Safety		
- Purpose group SH only (no greater than 3 stories, detached dwelling where people live as a single household or family Table 2.1)	<input checked="" type="checkbox"/>	
- Purpose group SR consider STC and fire separation (walls floor ceiling etc)	<input type="checkbox"/>	
- Means of escape (24m for single escape and 60m for 2 escape routes Table 3.3)	<input type="checkbox"/> More than 1	
- Fire Ratings (if less than 1m from boundary 30/30/30 rating required. If roof eaves within 650mm of boundary walls still req. 30/30/30 Table 7.10.1 and 7.8.5)	<input checked="" type="checkbox"/> Remote	
- Carports / open sided buildings (Fire ratings req. figure 7.10)	<input type="checkbox"/>	
- Small Buildings (Fire ratings figure 7.10.6)	<input type="checkbox"/>	
- Farm Stay, B & B (OK for SH if less than 6 beds for guests appendix A)	<input type="checkbox"/>	
- Domestic Smoke Alarms (F7ASI 3.1)	<input checked="" type="checkbox"/> New Plan	
- Fire Walls (design & specification of wall from manufacturer etc.) detail for construction included in plan	<input type="checkbox"/>	
- Structural fire endurance, bottom plate/structural fixing, details provided	<input type="checkbox"/>	
Restricted Building Work [RBW]		
- COW covers all RBW included in this application	<input type="checkbox"/>	
- Designer is appropriately licensed	<input type="checkbox"/>	

Further information is required

Applicant notified

Further information received

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

I, Chris Smith am satisfied on reasonable grounds that the provisions of the building code will be met if the building work were properly completed in accordance with the plans and specifications that accompanied the application.

Granted

Date 18/9/13

Signed Chris Smith

Peer Review

Date

Signed

Job Card

Site address 7 Donegal Street Valuation # 2850578100

File 11 # _____

Use of bldg Dwelling

Bldg Category 5

Description of bldg work Alteration within existing roof line. Overseer Cms hyl
Approved to process ☒ YES ☐ NO

Intended start date _____

Owner name PR & HP Sampson Agent name _____

Phone 445 4305 Phone

Email _____ Email _____

[illegible]

CONSENT FORMALLY ACCEPTED FOR PROCESSING

DATE: 9/9/13. SIGNED: *CH/L*

☒

BC number:

Y or N/A

[illegible]

PROJECT INFORMATION MEMORANDUM

Section 34, Building Act 2004

APPLICATION

P R & H P Samson	No.	130595
7 Donegal Street	Issue date	18/09/13
Cromwell 9310	Application date	9/09/13
	Overseer	Chris Hight

PROJECT

Description	Residential - Dwelling alteration (internal only) Being Stage 1 of an intended 1 Stages Internal alterations to existing dwelling.
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$4,800
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Valuation No.	2850578100

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

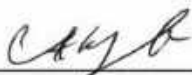
- this document is not approval to build
- the building consent authority will follow up on building work not completed within two years of building consent issue
- a building consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue

No relevant information has been located for this property.

Notes

Building Consent Officer: Chris Hight

Signature:



Date: 18/09/13

On behalf of:

Central Otago District Council
PO Box 122
Alexandra

Form 2 Application for Building Consent and/or Project Information Memorandum Section 33 or 45, Building Act 2004



1 Dunorling Street
P O Box 122
Alexandra 9340

(03) 440 0056

B:11

1. THE BUILDING [If item is not applicable put NA in the space]

Street address of building: 7 Donegal St, Cromwell

[If no street address - details of nearest intersection]

Legal description of land where building is located: Lot 1 DP 301986

Site area: 566 (m²) Sec Block

Building name: Valuation Number 2850578106

Location of building within site/block number: [Include nearest street access]

Number of levels: [Above & below ground] Level /Unit Number:

Floor area: 38.8 (m²) [Indicate area affected by the building work]

Current, lawfully established, use: Year First Constructed: 2015

[Add no. of occupants per level and per use if more than 1]

OFFICE USE ONLY:

Consent Number: 150069

PIM Number:

Compliance Schedule No:

Date received: 20 FEB 2015



2. APPLICATION [Tick as applicable]

I request that you issue a (for the building work described in this application)

☐ Project Information Memorandum (PIM)

☒ Project Information Memorandum (PIM) and Building Consent

☐ Building Consent The existing PIM No [if applicable] is:

☐ Amendment to an existing Building Consent. The existing BC No is:

State the reference number if this application involves a National Multiple Use Approval:

Name: Chris Sangster Signature: [Signature] Date: 16/2/15

The signature is that of the ☐ Owner ☒ OR ☒ the Agent on behalf of and with the approval of the Owner

3. THE PROJECT

DESCRIPTION OF BUILDING WORK: (Provide sufficient information below to enable scope of work to be fully understood)

To build a new 7.2 x 5.4 Skyline garage

Current use of building: [E.g. Home, implement shed, office]

Will the building work result in a change of use of the building? ☐ Yes ☒ No. If Yes, provide details of the new use of the building:

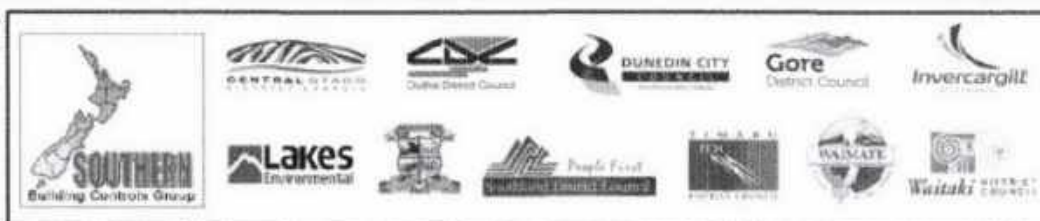
Intended life of the building if less than 50 years: [Years]

List Building Consents previously issued for this project (if any):

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):

\$ 23,300 [State estimated value as defined in section 7 of the Building Act 2004]

Is prescribed energy work to be part of this Building Consent (tick if applicable) Gas ☐ Electricity ☒



4. OWNER

Name of Owner: Paul & Heather Snison
Contact person: Paul
Mailing address: 7 Doregal St
Cromwell
Street address/registered office:

Phone No.: Landline:
Mobile: 027 5777369
Daytime:
After hours:
Facsimile:

Email:
Website:

THE FOLLOWING EVIDENCE OF OWNERSHIP IS ATTACHED:

- ☒ Certificate of Title ☐ Lease Agreement
☐ Agreement for Sale and Purchase ☐ Other document

5. AGENT [Only required if application is being made on behalf of the owner]

Name of Agent: Sangster Construction Ltd
Contact person: Chris Sangster
Mail address: 4 Chardonnay St
Cromwell
Street address/registered office:

Phone No.: Landline: 03 4453306
Mobile: 027 6785086
Daytime:
After hours:
Facsimile:

Email: chris@sangsterconstruction.co.nz
Website:

Relationship to owner: [State details of the authorisation from the owner to make the application on the owner's behalf] Builder

FIRST POINT OF CONTACT for communications with the Council / Building Consent Authority:

☐ Owner ☒ Agent

Or: (if different to above details) Name: Email:

Mailing Address: Phone: Facsimile:

6. RESTRICTED BUILDING WORK

Will the building work include any restricted building work? ☐ Yes ☒ No

If Yes, provide the following details of all licensed building practitioners who will be involved in carrying out or supervising the restricted building work (If these details are un-known at the time of the application, they must be supplied before the building work begins.):

Name	Licensing Class	Licensed Building Practitioner Number (or registration number if treated as being licensed under section 291 of the Building Act 2004)

Note: Continue on another page if necessary

7. PROJECT INFORMATION MEMORANDUM [Do not fill in this section if the application is for a building consent only]

The following matters are involved in the project: [Tick the matters relevant to the project]

- ☐ Subdivision
☐ Alterations to land contours [e.g. digging out the site for a building platform]
☐ New or altered connections to public utilities [e.g. Council sewer, storm water or water mains]
☒ New or altered locations and/or external dimensions of buildings
☐ New or altered access for vehicles
☐ Building work over or adjacent to any road or public place
☒ Disposal of stormwater and wastewater
☐ Building work over any existing drains or sewers or in close proximity to wells or water mains
☐ Other matters known to the applicant that may require authorisations from the Territorial Authority: [Specify]

8. BUILDING CONSENT

The following plans and specifications are attached to this application: (please enter these in section 10 below)

THE BUILDING WORK WILL COMPLY WITH THE BUILDING CODE AS FOLLOWS:

Building Code Clause <i>Tick relevant clauses</i>	Means of Compliance <i>Tick relevant compliance path(s) for each clause selected.</i>				
	Acceptable Solution	NZS 4121 Accessible Design	Verification Method	Alternative Solution <i>Please complete Form SBCG 34.1</i>	Waiver/Modification <i>Please complete Form SBCG 23.1</i>
<input type="checkbox"/> B1 Structure	<input checked="" type="checkbox"/> B1/AS1 <input type="checkbox"/> B1/AS3		<input type="checkbox"/> B1/VM1 <input type="checkbox"/> B1/VM4	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> B2 Durability	<input checked="" type="checkbox"/> B2/AS1		<input type="checkbox"/> B2/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> C1-4 Fire Safety Clauses (not used after 9 April 2013)	<input type="checkbox"/> C/AS1		<input type="checkbox"/> C/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> C1-6 Fire Safety Clauses (new code clauses)	<input type="checkbox"/> C/AS1 <input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS3 <input type="checkbox"/> C/AS4 <input type="checkbox"/> C/AS5 <input type="checkbox"/> C/AS6 <input type="checkbox"/> C/AS7		<input type="checkbox"/> C/VM2	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> D1 Access routes	<input type="checkbox"/> D1/AS1	<input type="checkbox"/>	<input type="checkbox"/> D1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> D2 Mechanical installation for access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> D2/AS3	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> E1 Surface water	<input checked="" type="checkbox"/> E1/AS1		<input type="checkbox"/> E1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> E2 External moisture	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> E2/AS2 <input type="checkbox"/> E2/AS3		<input type="checkbox"/> E2/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> E3 Internal moisture	<input type="checkbox"/> E3/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F1 Hazardous agents on site			<input type="checkbox"/> F1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> F2/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F3 Hazardous substances and processes			<input type="checkbox"/> F3/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F4 Safety from falling	<input checked="" type="checkbox"/> F4/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F5 Construction and demolition hazards	<input type="checkbox"/> F5/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F6 Visibility in escape routes	<input type="checkbox"/> F6/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F7 Warning systems	<input type="checkbox"/> F7/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F8 Signs	<input type="checkbox"/> F8/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G1 Personal Hygiene	<input type="checkbox"/> G1/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G2/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G3 Food preparation and prevention of contamination	<input type="checkbox"/> G3/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G4 Ventilation	<input type="checkbox"/> G4/AS1		<input type="checkbox"/> G4/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G5 Interior environment	<input type="checkbox"/> G5/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G6 Airborne impact sound	<input type="checkbox"/> G6/AS1		<input type="checkbox"/> G6/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G7 Natural light	<input type="checkbox"/> G7/AS1		<input type="checkbox"/> G7/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G8 Artificial light	<input type="checkbox"/> G8/AS1		<input type="checkbox"/> G8/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G9 Electricity	<input type="checkbox"/> G9/AS1		<input type="checkbox"/> G9/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G10 Piped services	<input type="checkbox"/> G10/AS1		<input type="checkbox"/> G10/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G11 Gas as an energy source	<input type="checkbox"/> G11/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G12 Water supplies	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> G12/AS2		<input type="checkbox"/> G12/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G13 Foul water	<input type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3		<input type="checkbox"/> G13/VM1 <input type="checkbox"/> G13/VM4	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> G14/AS1		<input type="checkbox"/> G14/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G15 Solid waste	<input type="checkbox"/> G15/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> H1 Energy efficiency	<input type="checkbox"/> H1/AS1		<input type="checkbox"/> H1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> B1-H1 Simple House Solution	<input type="checkbox"/> SH/AS1				
<input type="checkbox"/> B1-H1 Back Country Hut	<input type="checkbox"/> BCH/AS1				

9. COMPLIANCE SCHEDULE (specified systems are defined in regulations)

☐ The specified systems for the building are as follows:

☐ The following specified systems are being altered, added to, or removed in the course of the building work:

☒ ^{or} There are no specified systems in the building

Please provide the details required by completing either form :

- SBCG27 Compliance Schedule Specified Systems (or)
- SBCG11 Application for amendment to Compliance Schedule

10. ATTACHMENTS

The following documents are attached to this application: [Tick as applicable]

☒ Plans and specifications (list) (or attach a list)

☐ Memoranda from licensed building practitioner(s) who carried out or supervised any design work that is restricted building work

☐ Project Information Memorandum ☐ Development contribution notice ☐ Certificate attached to Project Information Memorandum

☐ Other information relevant to this application: [Please specify]:

☒ Current Certificate of title provided - or do you request Council to obtain at your expense ☒

11. CONTACTS (involved in this project)

Designer

Name(s): *Shyline Auckland*

Postal Address:

Cellphone: Daytime: *09 636 0200*

Reg No: Email:

Engineer

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Builder

Name(s): *Sangster Construction Ltd*

Postal Address: *4 Chandonway St*

Remuera

Cellphone: *02 76785086* Daytime: *09 4453306*

Reg No: Email:

Gasfitter

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Drainlayer

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Plumber

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Electrician

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

Other

Name(s):

Postal Address:

Cellphone: Daytime:

Reg No: Email:

General Property Information: 2850578100

SAMPSON PAUL ROBERT & SAMPSON HEATHER PATRICIA

Property

Valuation No	2850578100 : GIS
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Owner	SAMPSON PAUL ROBERT : SAMPSON HEATHER PATRICIA
Owner Address	7 DONEGAL STREET CROMWELL 9310
Area (Hectares)	0.0566

Rates

Government Valuation

Land	134,000
Improvements	181,000
Capital Value	315,000

Current Rates Year 2014 to 2015

Annual Rates	1,842.15
Current Instalment	460.55
Outstanding Balance	-460.50
Arrears for Previous Years	0.00
Next Instalment Date	20/02/15

Planning/Resource Management

16/02/15 RESOURCE CONSENT 150002 : Land use consent to breach the side yard. : Decision Notified 23/01/15

7/02/96 RESOURCE CONSENT 950106 : BOUNDARY ADJUSTMENT BETWEEN TWO EXISTING TITLES : Decision Notified 21/12/95

Building

18/09/13 BUILDING CONSENT 130595 : Internal alterations to existing dwelling. : Code Compliance Certificate issued 24/02/14

6/03/12 BUILDING CONSENT 120154 : Install a new Masport fire : Code Compliance Certificate issued 14/03/12

25/09/96 BUILDING CONSENT 960568 : ALTERATIONS & ADDITIONS INCL FIRE APP : Code Compliance Certificate issued 17/09/01

Contributions

No information located

Licences

No information located

Sewer and Drainage

Water Connected

Sewer Connected

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

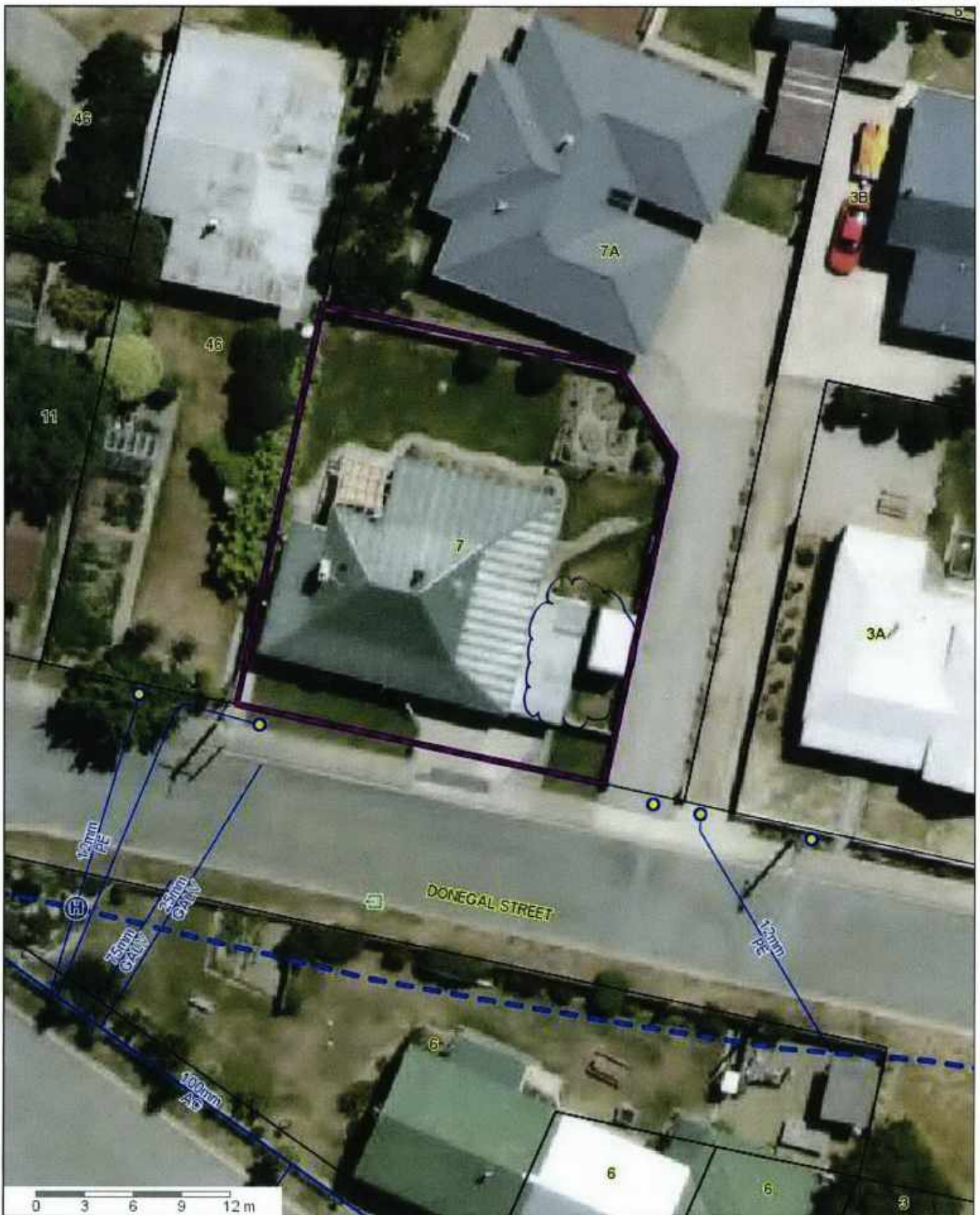
Swimming Pools

No information located

Other

8/08/13 SERVICE REQUEST 132221 : Water Service Requests
12/06/13 LIM APPLICATION L130315 : Residential - Standard LIM
26/03/13 SERVICE REQUEST 130987 : Water Service Requests
31/01/08 SERVICE REQUEST 080454 : Water Service Requests
22/01/07 SERVICE REQUEST 070347 : Roading - Footpaths/Carparks
22/12/03 LIM APPLICATION L030614 : Residential - Urgent LIM : Cancelled
15/01/04
19/12/03 LIM APPLICATION L030610 : Residential - Standard LIM
29/10/03 LIM APPLICATION L030525 : Residential - Standard LIM
11/09/96 SERVICE REQUEST 961196 : Water Service Requests
30/08/2001 LIM Cromwell First National LOTS 2-3 DP 9047 Cromwell Town

Created By: bsm
Print Date: 20/02/2015
Print Time: 2:41 PM



Scale: 1:321
Original Sheet Size A4

Projection: NZGD2000 / New Zealand Transverse Mercator 2000
Bounds: 1301566 62791193, 5004733 56895966
1301625 99489367, 5004807 37426334

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The information shown on this plan may not be accurate and is indicative only.
The Central Otago District Council accepts no responsibility for incomplete or inaccurate information.

User Guide for Farm Sheds / Garages / Carports / Sleepouts



Please complete this user guide, your building consent application and compile all the necessary documentation. This user guide must accompany your application.

When you are ready to lodge your application, please phone 4400056 [Alexandra] or 4450211 [Cromwell] to make a PAC appointment.

A Building Control Officer and a Planning Officer will be allocated to review your application for completeness and compliance prior to being accepted.

If there is further information required after the application is accepted you will be contacted requesting this detail.

Complete and technically correct building consent applications are processed FASTER than incorrect ones.

Valuation number: 285 0578100

Application	Applicant to complete		Office use only
	Yes	N/A	
Please provide two copies of: (The second copy will be returned with your consent) Plans Specifications Specific design	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Is there consistency of information between all documentation? (e.g. engineers design details do not conflict with other design details)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has only information relevant to this project been included?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Legal description and location address. Has the application form been completed, signed and dated?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the correct total value of building work been shown?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Is a current copy of the Certificate of Title provided? (where easements listed a full Certificate of Title is required)	<input checked="" type="checkbox"/>		<input type="checkbox"/> <i>Council to get</i>
Has the total floor area been shown?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Authorisation to act as Agent for Owner (for applications made on behalf of the owner)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Certificate of design work [COW] provided covering restricted building work	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
If a new or altered vehicle access to the property is required and/or a rapid number, an application should be made at this time. Have you made a 'vehicle crossing application' and/or requested a rapid number?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

	Applicant to complete			Office use only
	Page No	Yes	N/A	
Site Plan – Scale 1:200 Note: A location plan (typically 1:1000 or 1:2000) is also needed for rural blocks		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have the locations of all buildings from the legal boundaries been shown? (firewall construction details if closer than 1m to boundary)		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the distance measured from the extremities of the building line and from the footprint to the boundaries been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Stormwater - downpipe locations and sizes, drain pipe size and fall, size of soak pit and cross section of soak pit design provided (or alternative method)		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have any easements, water courses or hazards been shown?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Floor Plan	Applicant to complete			Office use only
	Page No	Yes	N/A	
Has the floor layout been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have the external and internal dimensions been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the position and size of structural beams been shown?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have all window and door lintel sizes been shown?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has a truss layout plan and certificate been provided?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Elevations

Have the proposed cladding materials been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Are the natural ground lines shown prior to excavations and in relation to finished floor levels?	<i>Flat</i>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have the window openings been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>

Cross Section

Has the depth and width of foundations been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the reinforcing and DPM been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the exterior wall cladding been specified?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have wall framing sizes and centres been shown		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have building wrap and timber treatments been specified?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have all flashing details been shown?		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has insulation been provided in habitable space		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Wall Bracing

Has a wall bracing calculation sheet and bracing plan been provided?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--	-------------------------------------	--------------------------	-------------------------------------

Specific Design

Has an Engineer's Producer Statement been provided for structural elements outside the scope of NZS 3604:1999?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--	-------------------------------------	--------------------------	-------------------------------------

Project Specifications

Have project specific specifications been provided showing make/type/grade/dimensions/fixing instructions of all materials and systems used in the project (including flashing systems, fire walls etc)		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the plumbing with drainage layout been shown? Note: changes to plumbing & drainage layout require specification of pipe sizes & materials, insulation, venting, surface finishes, safety glazing etc. Manufacturer's installation instructions should be provided for shower installations & water proof membranes shown in a cross-section for wet area showers.		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



BUILDING CONSENT FEE CALCULATOR

Updated on: 7/07/2014

Financial Year: 2014-2015

NOTE: Complete the blue highlighted boxes only.

Enter value of work: **\$23,000.00**

Enter type of building: **1**
 Residential = 1
 Commercial = 2

Example:

Residential buildings include; Educational, agricultural, and community uses.

Commercial buildings include; Industrial, and property with ANY commercial activity.

DESCRIPTION	SUB	COST (GST inclusive)
CENTRAL OTAGO DISTRICT COUNCIL FEE CONSENT PROCESSING / INSPECTIONS	200	\$1,480.00
GOVERNMENT LEVIES BRANZ (BUILDING RESEARCH ASSOCIATION) exempt from GST		\$23.00
BUILDING (DEPARTMENT OF BUILDING & HOUSING) incl GST		\$46.23
TITLE SEARCH / COPYING/ MISCELLANEOUS		
FEE PAYABLE TO CENTRAL OTAGO DISTRICT COUNCIL		\$1,549.23
OFFICE USE ONLY	Invoice no.	Receipt no.

IF SEPARATE PIM APPLICATION ALREADY MADE

FEE PAYABLE TO CENTRAL OTAGO DISTRICT COUNCIL (PIM Fee removed)

\$1,349.23

SET FEE FOR SPECIFIC TYPE BUILDING CONSENTS

DESCRIPTION	Total Fee (\$)
Appliances	
Free Standing	200
In built / 2nd hand & new wet-back	350
Marquee	230
Wind Machines	440
Demolition	
Residential	230
Commercial	450

Disclaimer:

Central Otago District Council makes every effort to ensure that the information provided in this Building Consent Fee Calculator is accurate and up to date. If you have a previous version or unsure that this version is current please contact the Council via email on building@codc.govt.nz to obtain the current version.

PRINT PAGE



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952




R.W. Muir
Registrar-General
of Land

Search Copy

Identifier 7974
Land Registration District Otago
Date Issued 27 July 2001

Prior References

OT398/111 OT398/112

Estate Fee Simple
Area 566 square metres more or less
Legal Description Lot 1 Deposited Plan 301986

Proprietors

Paul Robert Samson and Heather Patricia Samson

Interests

Appurtenant hereto is a right to convey sewage specified in Easement Certificate 5064712.3 - 27.7.2001 at 3:44 pm

The easement specified in Easement Certificate 5064712.3 is subject to Section 243 (a) Resource Management Act 1991

9798177.1 Mortgage to Kiwibank Limited - 1.8.2014 at 4:44 pm

Search Copy Dated 24/02/15 3:20 pm, Page 2 of 2
Register Only

465100m

465100m

465100m

465100m

465100m

465100m

LAND DISTRICT Otago

SURVEY BLK. & DIST. BLK. LIX. Tn. of Cromwell

NZMS 261 SHT. G.41 RECORD MAP No. 04:32

**LOTS 1 & 2 BEING A SUBDIVISION
OF LOTS 2 & 3 DP 9047**

TERRITORIAL AUTHORITY Central Otago Dist

Surveyed by Paterson Pitts Partners Ltd

Scale 1:200 Date November 1996

ALLIANCE

IN A. NEWTON, SURVEY GENERAL, DEPARTMENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND

Dual Form D15 "Approved (L) 94/7"

APPENDIX A

10.8 x 6.6 House



WALL BRACING SYSTEM

**VERTICAL CORRUGATE AND TIMBER
WEATHERBOARD WALL CLADDING**

APPENDIX A.

Maintenance Instructions

Tilt Door Maintenance - Oil all pivot points, arms & wheels, and lightly oil the tracks every 6 months. Lubricate key holes annually.

Gutter Maintenance - These should be cleaned at least once a year and on a more regular basis where there are trees in close proximity to remove leaves and dirt that can cause corrosion.

Access Door Maintenance - Oil hinges and key holes annually.

Exterior Maintenance

Clearcote Cedar - Clearcote Cedar is a 100% acrylic clear coating with a cedar tint on specially prepared zinc aluminium alloy coated steel. This product can be overpainted with 100% acrylic finish coats suitable for roofing applications. If Clearcote is not overpainted its appearance is likely to change due to weathering over a period of years.

As a guide;

- Inland areas wash every 6 months.
- Coastal & Industrial areas wash every 3 months.
- Aggressive coastal areas wash every 2 months.

N.B Aggressive Environments - Skyline Buildings Ltd and its Distributors shall not be liable for the performance of the Aluminium-Zinc Alloy Coating or pre-painting treatment of the sheet metal used in the construction of buildings built in close proximity of aggressive environments. This includes and building within 1500 metres of the coastline. In these areas all pre-painted and Aluminium-Zinc Coated steel wall cladding must be repainted every 5 years.

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Ph: 0800 83 4000



Single Story				<u>Bracing Requirements</u>		
Job Details						
Name	Mr Craig Webster					
Street and Number	Omakau					
City/Town/District	Omakau					
Designer and date	26-Sep-14					
Company Name	Sangster Construction Ltd					
This building requires Multistrap Roof Strap Bracing						
Building Specification						
Location of Storey	1	Single				
Floor Loading	1	2kpa				
Foundation Type	1	Slab				
Building Height to Apex (m)	5	4.14				
Roof Height above Eaves (m)	2	1.7				
Stud Height (m)	1	2.4				
Cladding Weight (top or single)	1	Light				
Cladding Weight (lower)	1	Light not applicable (single storey building)				
Cladding Weight (subfloor)	1	Light not applicable (slab)				
Roof Weight	1	Light				
Roof Pitch (degrees)	1	25				
Room in Roof Space	0					
Building Length (m)	10.8	10.8				
Building Width (m)	6.6	6.6				
Gross Building Plan Area (m2)	71.28	71.28				
Determination of Wind Zone As per NZS3604			Determination of topographic class			
Wind Region	N/A	(Refer table 5.4 NZS3604)				
Lee Zone	N/A	Formation and Hill Height N/A				
Ground Roughness	N/A	Topographic Zone N/A				
Site Exposure	N/A	Smooth Gradient Value N/A				
Topographic Class	N/A	Smooth Gradient Class N/A				
As per Council		Site Exposure N/A				
Wind Zone	V High	Topographic Class N/A				
Bracing Units required for Wind			Earthquake Zone Earthquake Zone 2			
per m	subfloor	walls		Bracing Units required for Earthquake		
W along	n/a	72 BUs/m	I Class D + E	per m2	subfloor	walls
W across	n/a	68 BUs/m	0.73	E	n/a	4.0 BUs/m2
Snow Zone NE 1.5 kPa						
#N/A						
Totals	subfloor	walls		Totals	subfloor	walls
W along	n/a	475 BUs		E along	n/a	286 BUs
W across	n/a	734 BUs		E across	n/a	286 BUs

Skyline Bracing Element Ratings				
Along		Across		GIB®
Wind	Earthquake	Wind	Earthquake	
OK	OK	OK	OK	
Supplier	System	Minimum Length (m)	<div>per metre</div> <div>BUs W/m</div>	<div>per metre</div> <div>BUs EQ/m</div>
	none		<div>GIB EzyBrace® 2011</div> <div></div> <div></div>	
GIB	GS1-N	0.4		
GIB	GS2-N	0.4		
GIB	GSP-H	0.4		
GIB	BL1-H	0.4		
GIB	BLP-H	0.4		
GIB	BLG-H	0.4		
<div>GIB - Timber Floors - A limit of 120BU/m for NZS3604:2011 timber floors applies unless specific engineering ensures that uplift forces generated by elements rated higher than 120BU/m can be resisted by floor framing.</div>				
Ply Brace	EP1	0.6	125	130
Ply Brace	EP2	0.6	140	150
Skybrace	Sky400	0.4	103	93
Skybrace	Sky600	0.6	103	93
Skybrace	Sky1200 60mm	1.2	79.2	79.2
Skybrace	Sky1800	1.8	72.2	70
Skybrace	Sky2400	2.4	63.8	58.8
Skybrace	Sky3000	3.0	79.2	70
Skybrace	Sky1200 30mm	1.2	72	51
Skybrace	SkyPanel 2400	2.4	50.6	39.9
Skybrace	ChampBrace 2400	2.4	58.7	25.7
Skybrace	SkyPanel 150 2400	2.4	37.8	26.6
Skybrace	SkyPanel 3000	3	50.6	39.9
Skybrace	SkyPanel 150 3000	3	37.8	26.6

Single Story		Site Omakau			Snow Zone 1.5 kPa		Earthquake Zone 2		
Bracing Element Schedule		Omakau			Wind Zone	V High	Soil Class D + E		
Along					Enter GIB				
Wall or Bracing Line		Bracing Elements provided			Brace Length		Wind	Earthq.	
1	2	3	4	5	7	8	6	9W	10EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Available Wall Length L(m)	Element Height H (m)	Angle to Bracing line (degrees)	BUs Achieved	BUs Achieved
A	enter	1	Skybrace	Sky2400	2.4	2.4		153	141
		2							
line totals		3							
W	153	4							
EQ	141	5							
B	enter	1	GIB	GS1-N	2.4	2.4		120	132
		2	GIB	GS1-N	2.4	2.4		120	132
line totals		3							
W	240	4							
EQ	264	5							
C	enter	1	GIB	GS2-N	1.2	2.4		84	78
		2	GIB	GS2-N	1.2	2.4		84	78
line totals		3							
W	168	4							
EQ	156	5							
D	enter	1	GIB	GS1-N	1.1	2.4		55	61
		2	GIB	GS1-N	2.4	2.4		120	132
line totals		3	GIB	GS1-N	1.1	2.4		55	61
W	230	4							
EQ	253	5							
								Wind	Earthq.
Totals Achieved								791	814
								OK	OK
Totals Required from Bracing Requirements Sheet								475	286

Across

M	enter	1	GIB	GS1-N	0.5	2.4		25	28
		2	GIB	GS1-N	1.2	2.4		60	66
line totals		3	GIB	GS1-N	0.4	2.4		20	22
W	145	4	GIB	GS1-N	0.8	2.4		40	44
EQ	160	5							
N	enter	1	GIB	GS1-N	1.7	2.4		85	94
		2	Skybrace	Sky3000	3	2.4		238	210
line totals		3							
W	323	4							
EQ	304	5							
O	enter	1	GIB	GS2-N	1.7	2.4		119	111
		2							
line totals		3							
W	119	4							
EQ	111	5							
P	enter	1	GIB	GS1-N	3	2.4		150	165
		2	GIB	GS1-N	0.7	2.4		35	39
line totals		3	GIB	GS1-N	0.5	2.4		25	28
W	210	4							
EQ	231	5							
								Wind	Earthq.
Totals Achieved								797	805
								OK	OK
Totals Required from Bracing Requirements Sheet								734	286

Skyline Bracing Element Ratings

Supplier	System	Length (m)	BUs W/m	BUs EQ/m	Supplier	System	Length (m)	BUs W/m	BUs EQ/m
Skybrace	Sky600	0.6	103	93	Skybrace	Sky1800	1.8	72.20	70
Skybrace	Sky1200 60m	1.2	79.20	79.20	Skybrace	Sky2400	2.4	63.80	58.8



TRUSS DETAILS

PRODUCER STATEMENT – PS1 - (DESIGN)

All roof trusses for **Skyline Buildings Ltd.** reflected in this producer statement comply with revised Building Act (2004) and Approved Documents B1 (Structure) & B2 (Durability). The roof trusses covered by this PS1 have a drawing job no. **20579** and are attached.

For: Craig Webster

The truss designs for this project have been determined using computer software provided by the Technical Division within Pryda Truss Systems. The software is maintained and overseen by chartered engineers in Australia and New Zealand to comply with the building codes in both countries. In New Zealand the software is regularly checked for structural integrity and building code compliance by the writer and various other staff.

DESIGN CRITERIA

Roofing – Corrugated Iron	Ceiling –10mm Gib
Top chord purlins restraints	- 1000 mm
Bottom chord restraints	- 600 mm
Maximum truss spacing	- 1200 mm
Standard roof pitch	- 25 deg
Design wind speed	- 50m/s
Open ground snow load	- 1.5 kPa
Int. pressure coefficient up	- 0.2
Building important level	- 2

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

These designs are in accordance with sound and widely accepted engineering principles and comply with the following New Zealand Standards:

AS/NZS 1170: 2002	Structural Design Actions
NZ3603 : 1993	Timber Design
AS1649 : 2001	Determination of Basic Working Loads for Metal Fasteners for Timber

All trusses shall be manufactured in accordance with the fabrication specifications provided by Pryda, and installed, connected and braced in accordance with the recommendations given in: AS4440:2004 "Installation of nail plated timber roof trusses" and any other supplementary details that may be provided.

The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$500,000.



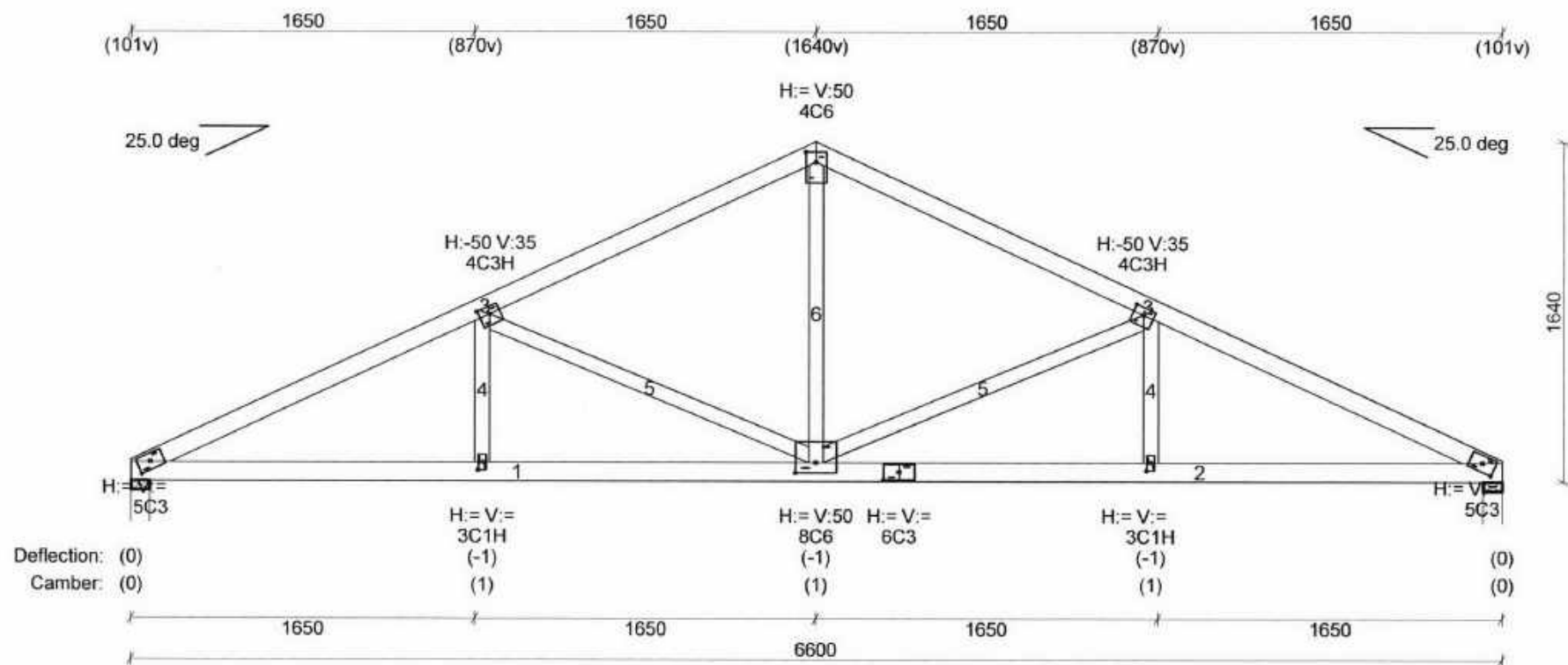
16 February 2015

Daniel Scheibmair
ME (Hons), CPEng, IntPE, MIPENZ (261677)

Engineering Manager

Pryda NZ (a division of ITW New Zealand)

Job: 20579
"S1" - 1 Single Truss - (45mm thick)
Approx truss weight : 39 kg



ID	Type	Timber	Qty	Length	Bracing
1	BC	90MSG10 H1_2	1	3703	
2	BC	90MSG10 H1_2	1	2897	
3	TC	90MSG10 H1_2	2	3641	

ID	Type	Timber	Qty	Length	Bracing
4	Web	70MSG8 H1_2	2	714	
5	Web	70MSG8 H1_2	2	1672	
6	Web	70MSG8 H1_2	1	1451	

TRUSS DETAILS (DESIGN)

Ver 4.2.3.70

Job Ref: 20579

Truss Reference : S1 (Single Truss)

Date created: 16 Feb 2015

Page No: 1

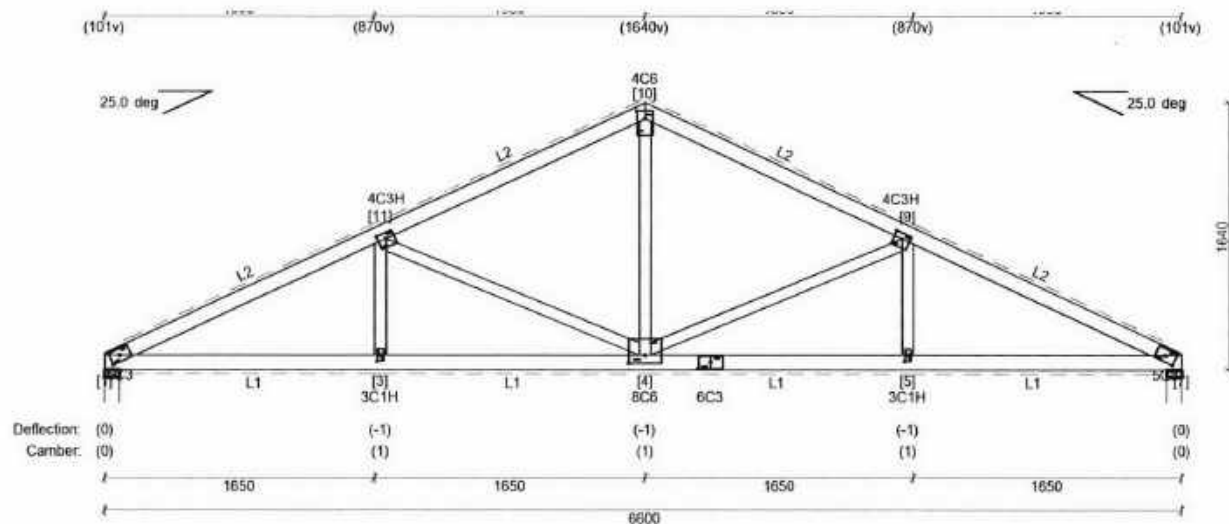
Truss type: Standard

No. plies : 1x45mm

Design spacing : 1200mm

No. of : 1

Building type: Residential



Linings

L1: 10mm Gib-board (6.8 kg/sq.m).

Battens @ 600mm.

L2: Longrun (6.0 kg/sq.m).

Battens @ 1000mm.

Timber

Top Chords 1 / 90x45 MSG10 H1_2 uno

Bottom Chords 1 / 90x45 MSG10 H1_2 uno

Webs 1 / 70x45 MSG8 H1_2 uno

Notes

1. Deflection = permanent load deflection including creep if timber truss.
2. Overhang condition: Metal fascia.
3. Safety plank on BC : Required if head height exceeds 1.2m.
4. Refer to Pryda Installation Guide for full bracing details.
5. Refer to layout for overall truss bracing.
6. Truss close to gable end: YES

Major supports and factored reactions

Joint	Type	Width	Perm.	Max. down (LC)	Uplift	Tie-down	Connector
1	Wall Ext	90	1.3 kN	4.1 kN (Gc+S1)	-5.0 kN	-	-
7	Wall Ext	90	1.3 kN	4.1 kN (Gc+S1)	-5.0 kN	-	-

APPENDIX A

7.2 x 5.4 Garage



WALL BRACING SYSTEM

TIMBER WEATHERBOARD AND 150mm SKYBOARD WALL CLADDING



APPENDIX A.

Maintenance Instructions

Tilt Door Maintenance - Oil all pivot points, arms & wheels, and lightly oil the tracks every 6 months. Lubricate key holes annually.

Gutter Maintenance - These should be cleaned at least once a year and on a more regular basis where there are trees in close proximity to remove leaves and dirt that can cause corrosion.

Access Door Maintenance - Oil hinges and key holes annually.

Exterior Maintenance

Clearcote Cedar - Clearcote Cedar is a 100% acrylic clear coating with a cedar tint on specially prepared zinc aluminium alloy coated steel. This product can be overpainted with 100% acrylic finish coats suitable for roofing applications. If Clearcote is not overpainted its appearance is likely to change due to weathering over a period of years.

As a guide;

- Inland areas wash every 6 months.
- Coastal & Industrial areas wash every 3 months.
- Aggressive coastal areas wash every 2 months.

N.B Aggressive Environments - Skyline Buildings Ltd and its Distributors shall not be liable for the performance of the Aluminium-Zinc Alloy Coating or pre-painting treatment of the sheet metal used in the construction of buildings built in close proximity of aggressive environments. This includes and building within 1500 metres of the coastline. In these areas all pre-painted and Aluminium-Zinc Coated steel wall cladding must be repainted every 5 years.

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Ph: 0800 83 4000



Single Story				Bracing Requirements			
Job Details							
Name	Paul & Heather Samson						
Street and Number	7 Donegal Street						
City/Town/District	Cromwell						
Designer and date	12-Dec-14						
Company Name	Sangster Construction Ltd						
No supplementary roof bracing needed in this building							
Building Specification							
Location of Storey	1	Single					
Floor Loading	1	2kpa					
Foundation Type	1	Slab					
Building Height to Apex (m)	5	4.16					
Roof Height above Eaves (m)	2	1.72					
Stud Height (m)	1	2.4					
Cladding Weight (top or single)	1	Light					
Cladding Weight (lower)	1	Light not applicable (single storey building)					
Cladding Weight (subfloor)	1	Light not applicable (slab)					
Roof Weight	1	Light					
Roof Pitch (degrees)	2	30					
Room in Roof Space	0						
Building Length (m)	7.2	7.2	Use roof length including eaves				
Building Width (m)	5.4	5.4	Use roof length including eaves				
Gross Building Plan Area (m2)	38.88	38.88					
Determination of Wind Zone As per NZS3604				Determination of topographic class			
Wind Region	N/A			(Refer table 5.4 NZS3604)			
Lee Zone	N/A			Formation and Hill Height	N/A		
Ground Roughness	N/A			Topographic Zone	N/A		
Site Exposure	N/A			Smooth Gradient Value	N/A		
Topographic Class	N/A			Smooth Gradient Class	N/A		
As per Council				Site Exposure	N/A		
Wind Zone	High			Topographic Class	N/A		
Bracing Units required for Wind				Earthquake Zone	Earthquake Zone		
per m	subfloor	walls		Bracing Units required for Earthquake			
W along	n/a	55 BUs/m	I Class D + E	per m2	subfloor	walls	
W across	n/a	52 BUs/m		E	n/a	4.4 BUs/m2	
Snow Zone N£ 1.5 kPa							
#N/A							
Totals	subfloor	walls		Totals	subfloor	walls	
W along	n/a	297 BUs		E along	n/a	170 BUs	
W across	n/a	374 BUs		E across	n/a	170 BUs	

Skyline Bracing Element Ratings				
Along		Across		GIB®
Wind	Earthquake	Wind	Earthquake	
OK	OK	OK	OK	
Supplier	System	Minimum Length (m)	per metre BUs W/m	per metre BUs EQ/m
	none		<div>GIB EzyBrace® 2011</div> <div></div> <div></div>	
GIB	GS1-N	0.4		
GIB	GS2-N	0.4		
GIB	GSP-H	0.4		
GIB	BL1-H	0.4		
GIB	BLP-H	0.4		
GIB	BLG-H	0.4		
GIB - Timber Floors - A limit of 120BU/m for NZS3604:2011 timber floors applies unless specific engineering ensues that uplift forces generated by elements rated higher than 120BU/m can be resisted by floor framing.				
Ply Brace	EP1	0.6	125	130
Ply Brace	EP2	0.6	140	150
Skybrace	Sky400	0.4	103	93
Skybrace	Sky600	0.6	103	93
Skybrace	Sky1200 60mm	1.2	79.2	79.2
Skybrace	Sky1800	1.8	72.2	70
Skybrace	Sky2400	2.4	63.8	58.8
Skybrace	Sky3000	3.0	79.2	70
Skybrace	Sky1200 30mm	1.2	72	51
Skybrace	SkyPanel 2400	2.4	50.6	39.9
Skybrace	ChampBrace 2400	2.4	58.7	25.7
Skybrace	SkyPanel 150 2400	2.4	37.8	26.6
Skybrace	SkyPanel 3000	3	50.6	39.9
Skybrace	SkyPanel 150 3000	3	37.8	26.6

Single Story		Site 7 Donegal Street Cromwell			Snow Zone 1.5 kPa Wind Zone High		Earthquake Zone 2 Soil Class D + E		
Bracing Element Schedule									
Along		Bracing Elements provided			Enter GIB				
Wall or Bracing Line					Brace Length		Wind	Earthq.	
1	2	3	4	5	7	8	6	9W	10EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Available Wall Length L(m)	Element Height H (m)	Angle to Bracing line (degrees)	BUs Achieved	BUs Achieved
A	enter	1	Skybrace	SkyPanel 150 2400	2.4	2.4		91	64
		2	Skybrace	SkyPanel 150 2400	2.4	2.4		91	64
line totals		3							
W	181	4							
EQ	128	5							
B	enter	1	Skybrace	SkyPanel 150 2400	2.4	2.4		91	64
		2	Skybrace	SkyPanel 150 2400	2.4	2.4		91	64
line totals		3							
W	181	4							
EQ	128	5							
C	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
D	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
								Wind	Earthq.
Totals Achieved								363	255
								OK	OK
Totals Required from Bracing Requirements Sheet								297	170

Across

M	enter	1	Ply Brace	EP1	1.5	2.4		188	195
		2	Ply Brace	EP1	1.5	2.4		188	195
line totals		3							
W	375	4							
EQ	390	5							
N	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
O	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
P	enter	1							
		2							
line totals		3							
W		4							
EQ		5							
								Wind	Earthq.
Totals Achieved								375	390
								OK	OK
Totals Required from Bracing Requirements Sheet								374	170

Skyline Bracing Element Ratings

Supplier	System	Length (m)	BUs W/m	BUs EQ/m	Supplier	System	Length (m)	BUs W/m	BUs EQ/m
Skybrace	Sky600	0.6	103	93	Skybrace	Sky1800	1.8	72.20	70
Skybrace	Sky1200 60m	1.2	79.20	79.20	Skybrace	Sky2400	2.4	63.80	58.8



TRUSS DETAILS

PRODUCER STATEMENT – PS1 - (DESIGN)

All roof trusses for **Skyline Buildings Ltd.** reflected in this producer statement comply with revised Building Act (2004) and Approved Documents B1 (Structure) & B2 (Durability). The roof trusses covered by this PS1 have a drawing job no. **20555** and are attached.

For: Paul and Heather Samson

The truss designs for this project have been determined using computer software provided by the Technical Division within Pryda Truss Systems. The software is maintained and overseen by chartered engineers in Australia and New Zealand to comply with the building codes in both countries. In New Zealand the software is regularly checked for structural integrity and building code compliance by the writer and various other staff.

DESIGN CRITERIA

Roofing – Corrugated Iron	Ceiling – Nil
Top chord purlins restraints	- 1000 mm
Bottom chord restraints	- 1800 mm
Maximum truss spacing	- 1200 mm
Standard roof pitch	- 30 deg
Design wind speed	- 40m/s (equal to 44m/s for residential)
Open ground snow load	- 1.5 kPa
Int. pressure coefficient up	- 0.2
Building important level	- 1

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

These designs are in accordance with sound and widely accepted engineering principles and comply with the following New Zealand Standards:

AS/NZS 1170: 2002	Structural Design Actions
NZ3603 : 1993	Timber Design
AS1649 : 2001	Determination of Basic Working Loads for Metal Fasteners for Timber

All trusses shall be manufactured in accordance with the fabrication specifications provided by Pryda, and installed, connected and braced in accordance with the recommendations given in: AS4440:2004 "Installation of nail plated timber roof trusses" and any other supplementary details that may be provided.

The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$500,000.



9 February 2015

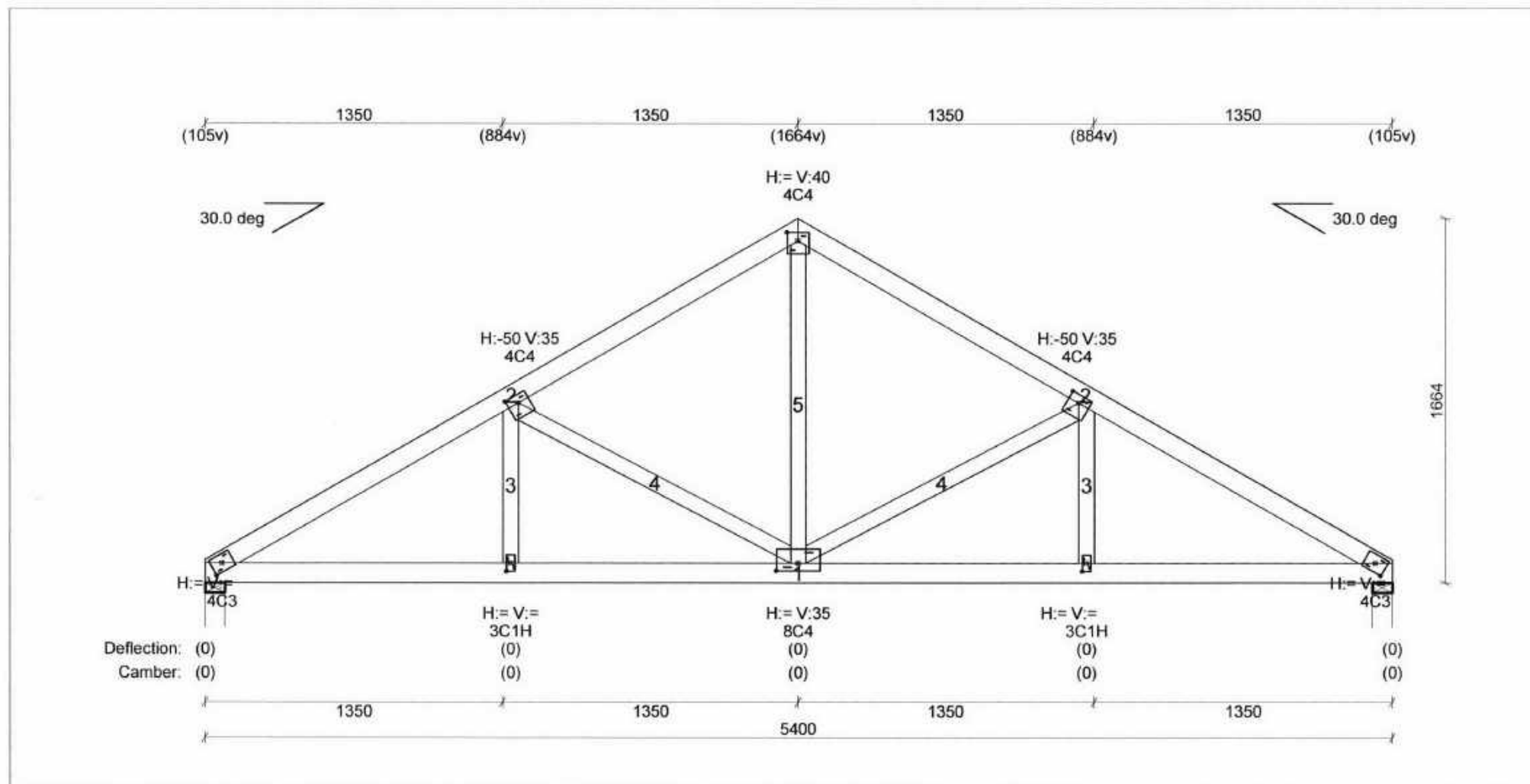
Andre van Blerk

BSc (Eng) MIPENZ (214689) CPEng IntPE
Pryda NZ (a division of ITW New Zealand)
Engineering Department

DDI: 09 477 2964
MOB: 021 790 946

PRODUCTION SHEET

Job: 20555
"S1" - 1 Single Truss - (45mm thick)
Approx truss weight : 32 kg

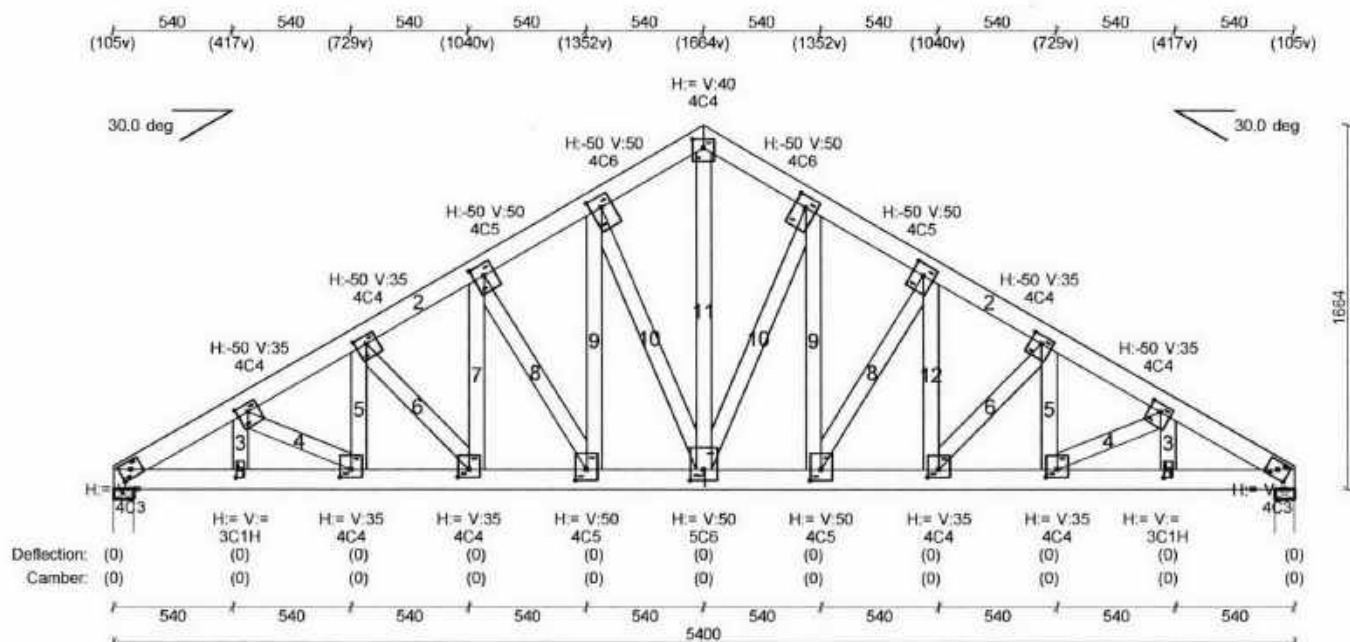


ID	Type	Timber	Qty	Length	Bracing
1	BC	90MSG8 H1_2	1	5400	
2	TC	90MSG8 H1_2	2	3118	
3	Web	70MSG8 H1_2	2	731	

ID	Type	Timber	Qty	Length	Bracing
4	Web	70MSG8 H1_2	2	1405	
5	Web	70MSG8 H1_2	1	1470	

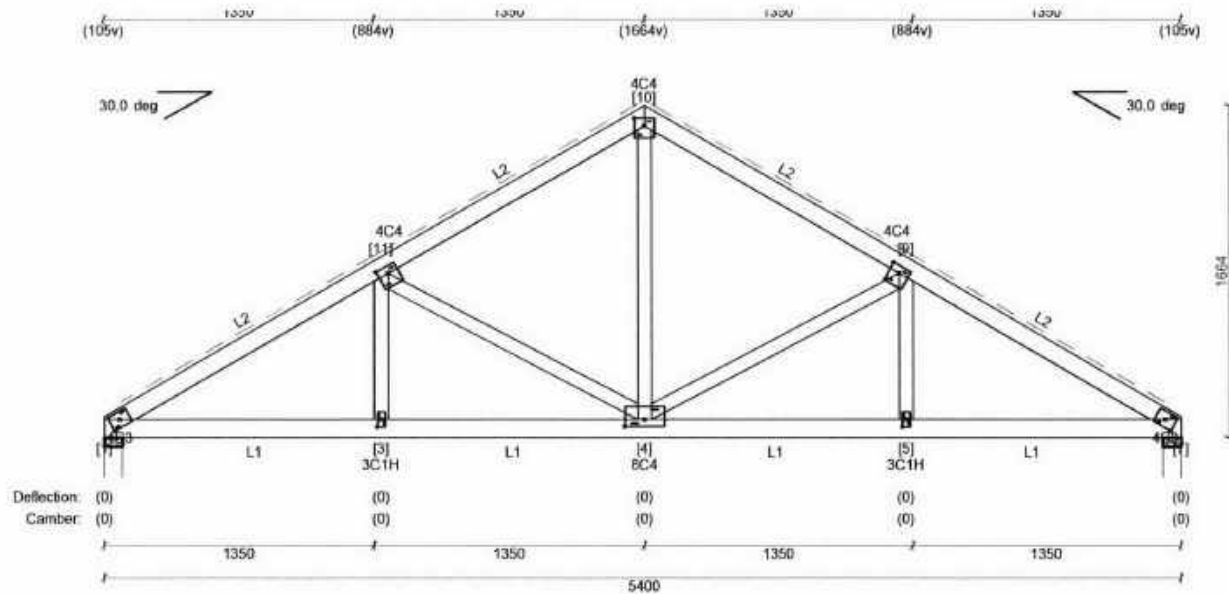
PRODUCTION SHEET

Job: 20555
"S2" - 1 Single Truss - (45mm thick)
Approx truss weight : 46 kg



ID	Type	Timber	Qty	Length	Bracing
7	Web	70MSG8 H1_2	1	887	
8	Web	70MSG8 H1_2	2	889	
9	Web	70MSG8 H1_2	2	1199	
10	Web	70MSG8 H1_2	2	1109	
11	Web	70MSG8 H1_2	1	1470	
12	Web	70MSG8 H1_2	1	887	

Building type: Residential



Linings

L1: Nil (0.0 kg/sq.m).

Lateral tie restraints @ 1800mm.

L2: Longrun (6.0 kg/sq.m).

Battens @ 1000mm.

Timber

Top Chords 1 / 90x45 MSG8 H1_2 uno

Bottom Chords 1 / 90x45 MSG8 H1_2 uno

Webs 1 / 70x45 MSG8 H1_2 uno

Notes

1. Deflection = permanent load deflection including creep if timber truss.
2. Overhang condition: Metal fascia.
3. Safety plank on BC : Required if head height exceeds 1.2m.
4. Refer to Pryda Installation Guide for full bracing details.
5. Refer to layout for overall truss bracing.
6. Truss close to gable end: YES

Major supports and factored reactions

Joint	Type	Width	Perm.	Max. down (LC)	Uplift	Tie-down	Connector
1	Wall Ext	90	0.6 kN	2.6 kN (Gc+Qj)	-2.6 kN	-	-
7	Wall Ext	90	0.6 kN	2.6 kN (Gc+Qj)	-2.6 kN	-	-

TRUSS DETAILS (DESIGN)

Ver 4.2.3.70

Job Ref: 20555

Truss Reference : S2 (Single Truss)

Date created: 09 Feb 2015

Page No: 2

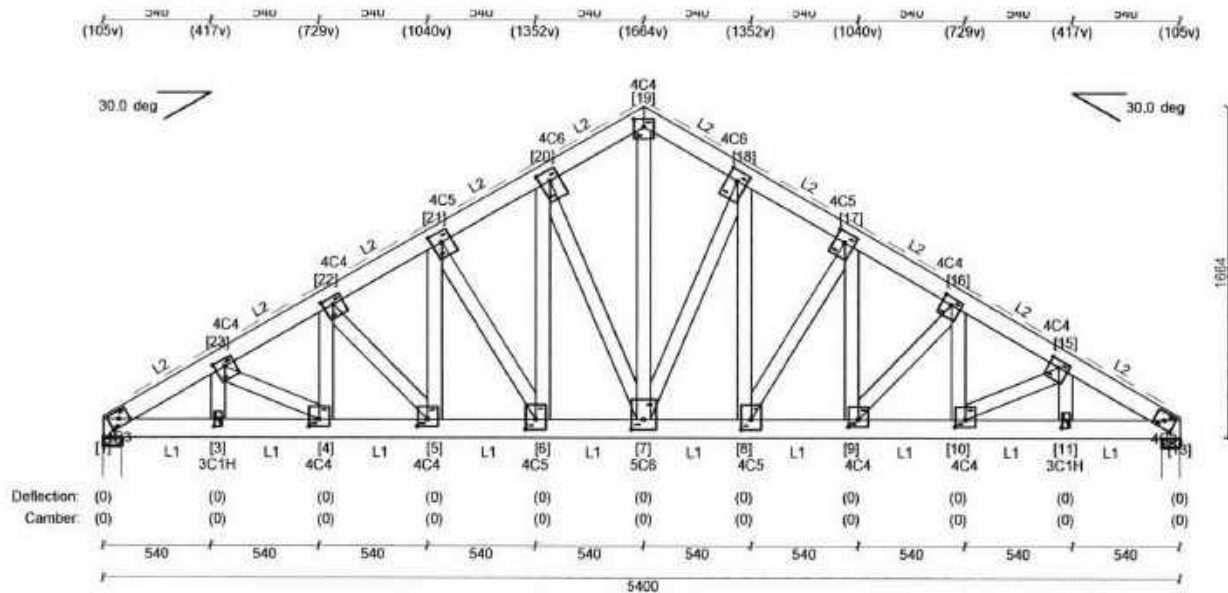
Truss type: Standard

No. of plies : 1x45mm

Design spacing : 1200mm

No. of : 1

Building type: Residential



Linings

L1: Nil (0.0 kg/sq.m).

Lateral tie restraints @ 1800mm.

L2: Longrun (6.0 kg/sq.m).

Battens @ 1000mm.

Timber

Top Chords 1 / 90x45 MSG8 H1_2 uno

Bottom Chords 1 / 90x45 MSG8 H1_2 uno

Webs 1 / 70x45 MSG8 H1_2 uno

Notes

1. Deflection = permanent load deflection including creep if timber truss.
2. Overhang condition: Metal fascia.
3. Safety plank on BC : Required if head height exceeds 1.2m.
4. Refer to Pryda Installation Guide for full bracing details.
5. Refer to layout for overall truss bracing.
6. Truss close to gable end: YES

Major supports and factored reactions

Joint	Type	Width	Perm.	Max. down (LC)	Uplift	Tie-down	Connector
1	Wall Ext	90	0.7 kN	2.7 kN (Gc+Qj)	-2.6 kN	-	-
13	Wall Ext	90	0.7 kN	2.7 kN (Gc+Qj)	-2.6 kN	-	-

N.S. Chandler Ltd
Consulting Civil and Structural Engineer

Principal
Noel S Chandler BE C Eng MICE CP Eng FIPENZ

P O Box 2
Waipu 0545
Phone 09 432 0826
Mobile 0274 927 828
email nsc@clear.net.nz

Building Design Parameters and Loads Summary to support PS1 Producer Statement

Client	Paul & Heather Samson		
Site Address	7 Donegal Street Cromwell		
Site Legal Description	Lot 1	DP 301986	
Building Description	7.2x5.4 Double Gar		

Roof

Dead Load

Lightweight roof	=	0.25	kPa
Ceiling	=	N/A	kPa

Live Load

Uniform Load	=	0.25	kPa
Point Load	=	1.30	kN

Snow Load - NZS 3604 Fig 15.1

Zone	=	N5	
Altitude	up to	=	300 m
∴ Sg	=	1.5	kPa

Wind Load - as per NZS 3604 Wind Zones

NZS 3604 Wind Zone	=	High	
Vz	=	44	m/sec
∴ q	=	1.16	kPa

Declaration

I, N.S.Chandler am: ☒ CPEng 51037 #
(name of Design Professional)

☐ Reg Arch _____ #

I am a Member of: ☒ IPENZ ☐ NZIA

and hold the following qualifications

BE Ceng MICE CPEng FIPENZ

The Design Firm is a member of ACENZ ☐ YES ☒ NO

SIGNED BY N.S. Chandler ON BEHALF OF N.S.Chandler
(Design Firm)

Date: 9.02.2015 (signature) 

BUILDING CONSENT 150069

Section 51, Building Act 2004

William Fraser Building
1 Dunorling Street, Alexandra 9320
PO Box 122, Alexandra 9340
New Zealand

TEL +64 3 440 0056
FAX +64 3 448 9196
EML info@codc.govt.nz
WEB www.codc.govt.nz

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Erect a new garage
Location of Building within site/block number:	
Level/Unit Number:	

OWNER

Owner's Name and Mailing Address:	P R & H P Sampson 7 Donegal St Cromwell 9310
-----------------------------------	--

Street Address/Registered Office:

Contact Person:

Phone Number:

Mobile Phone: 0275777369

Fax Number:

Email Address:

Website:

First Point of Contact:	Full Name: Sangster Construction Ltd Mailing Address: 4 Chardonnay St, Cromwell 9310 Phones: 0276785086; 4453306 Email: chris@sangsterconstruction.co.nz
-------------------------	---

BUILDING WORK

The following building work is authorised by this building consent:

Erect a new garage

If for any reason work is to be carried out other than that shown on the approved documents, then new documents are to be submitted and approved by Council before work can continue. (Building Act 2004 requirement)

All building work is to comply with the New Zealand Building Code.

All plumbing work is to be carried out by a craftsman plumber, drainage work by a registered drain layer and gas fitting by a craftsman gas fitter holding a current practising licence as required by the Plumbers, Gas Fitters and Drain Layers Act 1976.

It is the owners' responsibility to verify the legal boundaries of the property prior to the commencement of work.

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

The building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

The owner or his authorised agent are reminded of their responsibilities to ensure that any conditions detailed are conveyed to the appropriate parties engaged to carry out works associated with this consent.

KEY PERSONNEL

Prior to the commencement of work you are required to provide to the Council the names of contractors carrying out the work.

The personnel who will carry out the building work are as follows:

Builder: Agent

COMPLIANCE SCHEDULE

A compliance schedule is not required for this building.

ATTACHMENTS

Copies of the following documents are attached to this building consent:

Building Consent Officer: Bill Massey

Signature:



Date:

10 March 2015

On behalf of:

Central Otago District Council

PO Box 122

Alexandra

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Erect a new garage
Level/Unit Number:	
Current, lawfully established use:	
Intended Use (if change of use):	Outbuilding
Year of Construction	2015

OWNER*

Owner's Name and Mailing Address:

P R & H P Sampson
7 Donegal St
Cromwell 9310

Phone Number:

Fax Number:

Email Address:

BUILDING WORK

Building Consent No:	BC 150069
Issued by:	Central Otago District Council

CODE COMPLIANCE CERTIFICATE

The Building Consent Authority named below is satisfied, on reasonable grounds, that:

a. The building work complies with the building consent.

Building Consent Officer: Bill Massey

On behalf of:

Signature:

Central Otago District Council

Date:

13 August 2015

PO Box 122

Alexandra

Code Compliance Certificate Checklist



Building Consent Number: 150069

Tick the "yes" box if the information has been provided and is complete and approved.

Tick the "no" box if the required information has not been provided, or is not complete, or is not approved.
Send CCC further information letter requesting the information.

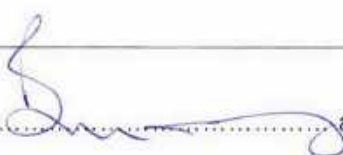
Tick "N/A" if the information identified below is not needed.

BUILDING INSPECTOR	Notes	Yes	No	N/A
<i>Have you changed the status to CCC application received?</i>				
Check:				
• New or amended Compliance schedule <i>[If yes to COB when CCC issued]</i>				✓
• Owners address matches rates <i>Use 'change' feature in NCS if required</i>		✓		
• EQPB upgrade occurred? <i>[If yes to COB to update status on register.]</i>				✓
Check:				
• Fees paid				
• Development and/or reserves contributions paid <i>[Check with PAO]</i>		✓		
• Outstanding notices to fix				
• Contractors are as nominated on consent <i>[If none are nominated enter them as per inspection details.]</i>		✓		
• Have there been any changes to the design				✓
• If yes, amended plan? <input type="checkbox"/> or new building consent? <input type="checkbox"/>				
• Was this application subject to Section 72 or 75? Yes <input type="checkbox"/> No <input type="checkbox"/>				✓
• If Yes has the Certificate of Title been updated? <i>(See COB/LIMO if unsure)</i>				
DOCUMENTATION ON THE BUILDING CONSENT FILE				
<i>Note: Remove duplicate and superseded plans/docs from file</i>				
• BC application and PIM (Form 2 issued)		✓		
• Job card and cover sheet		✓		
• User guide		✓		
• Certificate of Design [COW]				✓
• Completed processing checklist		✓		
• Approved plans		✓		
• Approved specifications		✓		
• As-built drainage plan received and scanned in to NCS				✓
• Approved amended documents/plans				✓
• Approved alternative solution form(s)				✓
• CCC application		✓		
• Other documents not identified				✓
DOCUMENTATION SAVED ON NCS				
• All inspections notes entered and inspections approved? <i>Unreasonably high number of unsatisfactory inspections? [Need to be invoiced prior to CCC – see COB.]</i>		✓		
• All letters saved		✓		
• Inspection checklists saved		✓		
• BC issued and conditions met		✓		
• PIM issued and conditions met		✓		

		Yes	No	N/A
ENERGY CERTIFICATES	Author			
Electrical				✓
Gas				✓
PRODUCER STATEMENTS	Author [approved?]			
Fire Alarm PS3				
Fire Alarm PS4 (Certification)				
Structural				
Truss				
Waterproof membrane				
ROWS AND LBP MAINTENANCE				
ROWS provided for all RBW by LBPs with appropriate license(s). Use DBH Public Register search in LBP maintenance to confirm licencing (as required).	Check ROWs against COW. Use LBP maintenance in NCS to update ROW dates received section.			✓
IS APPLICATION FOR CCC MORE THAN 5 YEARS AFTER BC WAS ISSUED?				
DURABILTY MODIFIED?	Has correct process been followed?			✓
Follow procedure 12.34 from QAS	Follow procedure 12.34 from QAS			

Further information is required - Letter sent ☐ Date

Notes:

I  am satisfied on reasonable grounds that:

1. The building work carried out complies with the building consent to the extent that the Code Compliance Certificate can be issued; and
2. All information relevant to the application for this building consent has been put on the application's file.
3. Specified Systems and standards are correctly described in compliance schedule attached to consent [if applicable]. Complete office use section of SBCG27. Whole building consent to go to COB with issued CCC.

Date 13/8/15

Building Consent No: BC 150069
Issued by: Central Otago District Council

THE BUILDING

Valuation Number: 2850578100
Street Address: 7 DONEGAL STREET, CROMWELL
Description of Building Work: Erect a new garage

OWNER

Owner's Name and Mailing Address: P R & H P Sampson 7 Donegal St Cromwell 9310	Contact Details: Phone Number: Fax Number: Email Address:
--	--

AGENT (if not owner)

Agents Name and Mailing Address: Sangster Construction Ltd 4 Chardonnay St Cromwell 9310	Contact Details: Phone Number: 4453306 Fax Number: Contact Person: Chris Sangster
--	--

APPLICATION

I request that a Code Compliance Certificate be issued for the building work described in this application, under section 95 of the Building Act 2004.

Name:

Please Print

Signature:

☐ Owner ☐ Agent on behalf of and with the authority of the Owner

Date: 13/08/2015

KEY PERSONNEL

The personnel who carried out the building work are as follows:

Builder: **Agent**

ATTACHMENTS

The following documents are attached to this application:

- ☐ Certificates that relate to energy work (if applicable)
- ☐ Records of Work from Licensed Building Practitioners (if applicable)
- ☐ As-built drainage plan from registered drain layer (if applicable)
- ☐ Producer Statement(s) (if applicable)

FOR OFFICE USE

Approved for Issue of Code Compliance Certificate [Subject to a full documentation check]

Building Control Officer:

Date:

13/8/15

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side*)

ISSUED BY: N S CHANDLER
(Design Firm)

TO: Skyline Buildings Ltd
(Owner/Developer)

TO BE SUPPLIED TO: All NZ Territorial Authorities
(Building Consent Authority)

IN RESPECT OF: Skyline 1.8 Verandah - Including Edge Beam, Ribbon Plate and Fixings
(Description of Building Work)

AT: All Areas up to, and including Very High Wind as defined in NZS3604:2011
(Address)

LOT

DP

SO

We have been engaged by the owner/developer referred to above to provide

Structural Engineering

services in respect of the requirements of

Clause(s) B1-Structure - for 50 year Structural Design Life / AS1 the Building Code for

- ☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.
Part only includes timber structure, wall bracing system and slab/foundations
Excludes truss design which is covered by Pryda PS1

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing

Verification Method

(verification method / acceptable solution)

or

☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled

Skyline 1.8 Verandah - Including Edge Beam, Ribbon Plate and Fixings and numbered 1 of 1

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions Assumes site conditions comply with CL3 Site Requirements NZS 3604:2011 "Good Ground"
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, N.S CHANDLER am: ☒ CPEng 51037 #
(Name of Design Professional)

☐ Reg Arch #

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications BE Ceng MICE CPEng FIPENZ

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$500,000*

The Design Firm is a member of ACENZ ☐ YES ☒ NO

SIGNED BY N.S Chandler ON BEHALF OF N. S Chandler

Date 2.04.2014 (signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$500,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.



PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side*)

ISSUED BY: N S CHANDLER
(Design Firm)

TO: Skyline Buildings Ltd
(Owner/Developer)

TO BE SUPPLIED TO: All NZ Territorial Authorities
(Building Consent Authority)

IN RESPECT OF: Skyline 3.0 Garaport - Including Edge Beam, Ribbon Plate and Fixings
(Description of Building Work)

AT: All Areas up to, and including Very High Wind as defined in NZS3604:2011
(Address)

LOT

DP

SO

We have been engaged by the owner/developer referred to above to provide
Structural Engineering services in respect of the requirements of
(Extent of Engagement)

Clause(s) B1-Structure - for 50 year Structural Design Life / AS1 the Building Code for

- ☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.
Part only includes timber structure, wall bracing system and slab/foundations
Excludes truss design which is covered by Pryda PS1

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing

Verification Method

(verification method / acceptable solution)

OR

☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled

Skyline 3.0 Garaport - Including Edge Beam, Ribbon Plate and Fixings and numbered 1 of 1

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions Assumes site conditions comply with CL3 Site Requirements NZS 3604:2011 "Good Ground"
- (ii) All proprietary products meeting their performance specification requirements:

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, N.S CHANDLER am: ☒ CPEng 51037 #
(Name of Design Professional)

☐ Reg Arch #

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The Design Firm is a member of ACENZ ☐ YES ☒ NO

SIGNED BY N.S Chandler ON BEHALF OF N. S Chandler
(Design Firm)

Date 2.04.2014 (signature) N.S Chandler

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$500,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side*)

ISSUED BY: N S CHANDLER
 (Design Firm)

TO: Skyline Buildings Ltd
 (Owner/Developer)

TO BE SUPPLIED TO: All NZ territorial Authorities
 (Building Consent Authority)

IN RESPECT OF: Standard "Skyline" Short Concrete Pile Foundation and Slab for Importance Level 1 Buildings
 (Description of Building Work)

AT: All Areas up to, and including Very High Wind as defined in NZS:3604:2011
 (Address)

LOT **DP** **SO**

We have been engaged by the owner/developer referred to above to provide Structural Engineering services in respect of the requirements of
 (Extent of Engagement)

Clause(s) B1-Structure the Building Code for

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing

Verification Method

(verification method / acceptable solution)

or

☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled

Standard "Skyline" Short Concrete Pile Foundation and Slab for Importance Level 1 and numbered SGFD

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site verification of the following design assumptions

Assumes site conditions comply with CL3 Site Requirements NZS 3604:2011 "Good Ground"

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, N.S CHANDLER am: ☒ CPEng 51037 #
 (Name of Design Professional)

☐ Reg Arch #

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications BE Ceng MICE CPEng FIPENZ

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$500,000*.

The Design Firm is a member of ACENZ ☐ YES ☒ NO

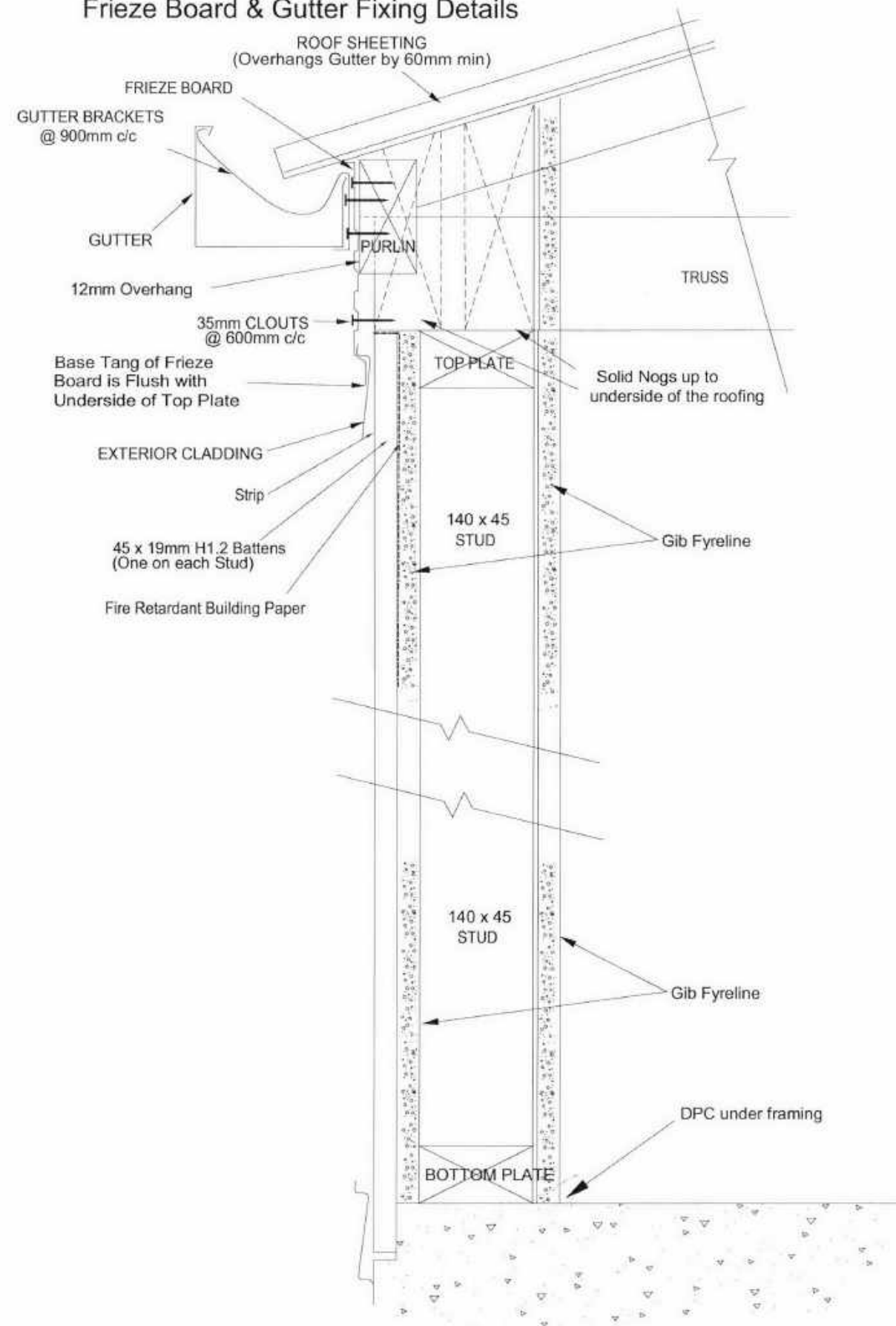
SIGNED BY N.S Chandler ON BEHALF OF N. S Chandler
 (on Firm)

Date 25.09.2014 (signature) 

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$500,000.*

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

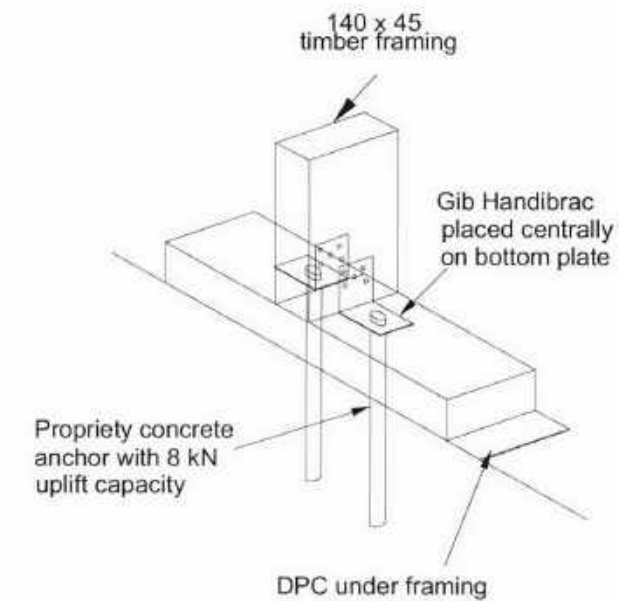
Side Wall Cavity Details: Frieze Board & Gutter Fixing Details



This Wall to Be Constructed as Per
Gib Fire-Rated Systems 2012

Issued October 2012

Note: Cavity Required under Exterior Wall Cladding



Hold down detail



Distributor:

Salesperson:

Revision:

Drawn By:

Scale: 1:

Date:

PROJECT :

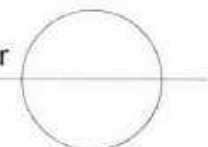
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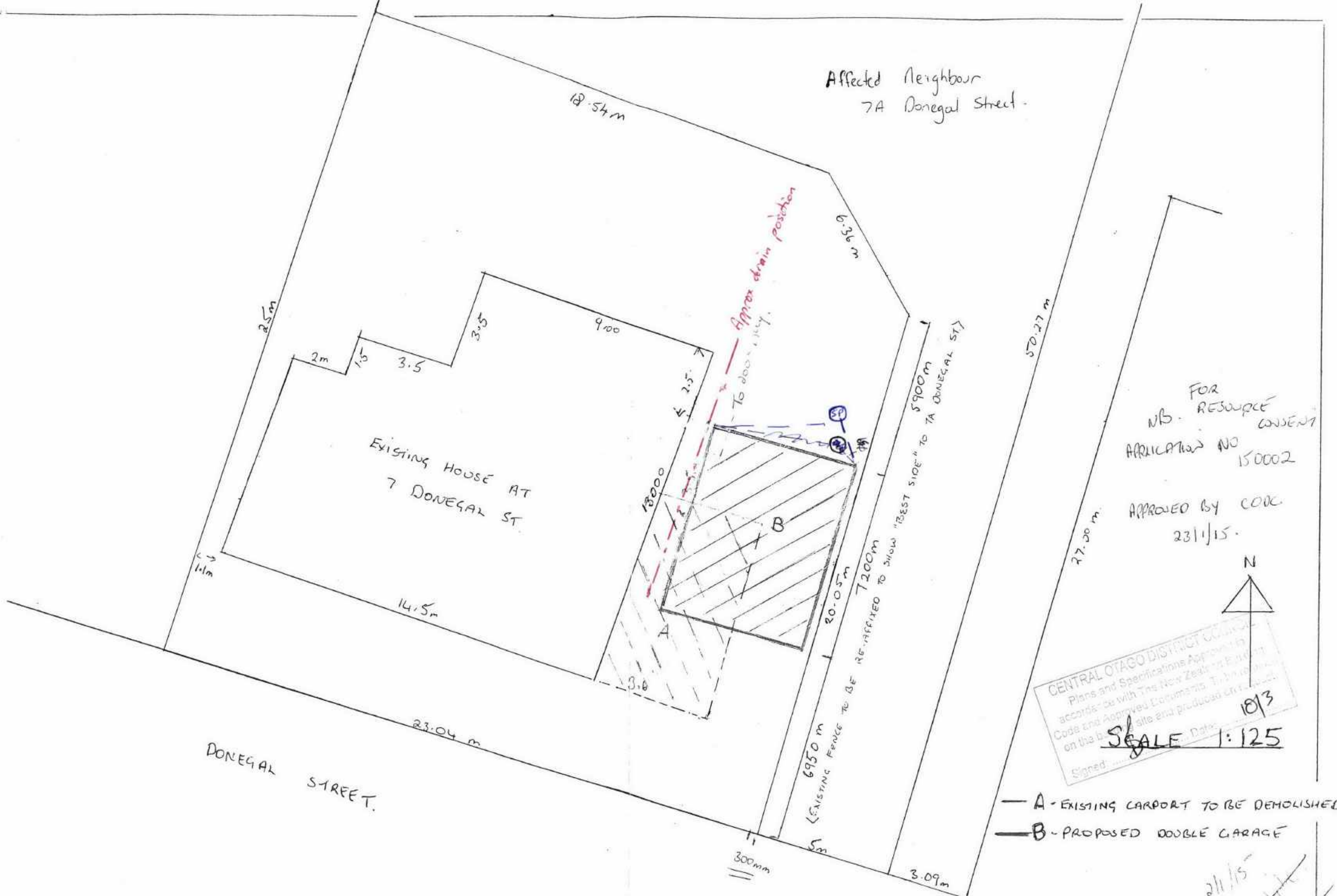
AT :



SHEET

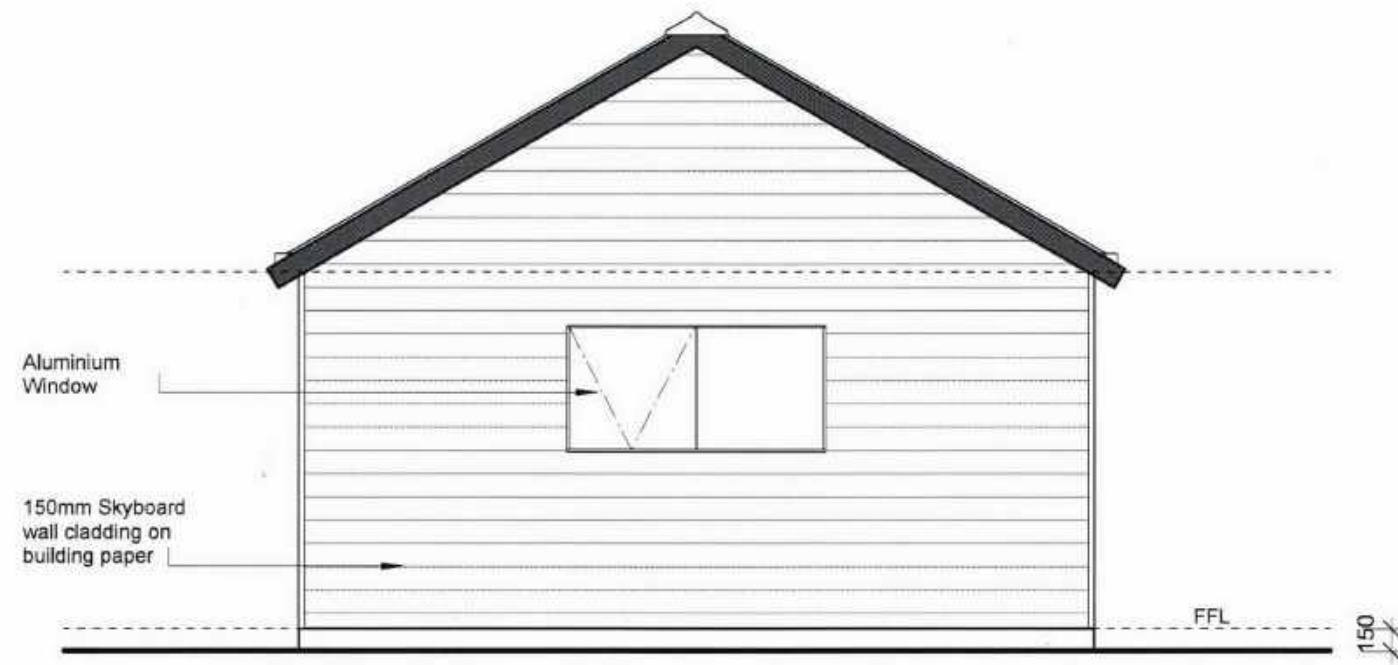
Number
of



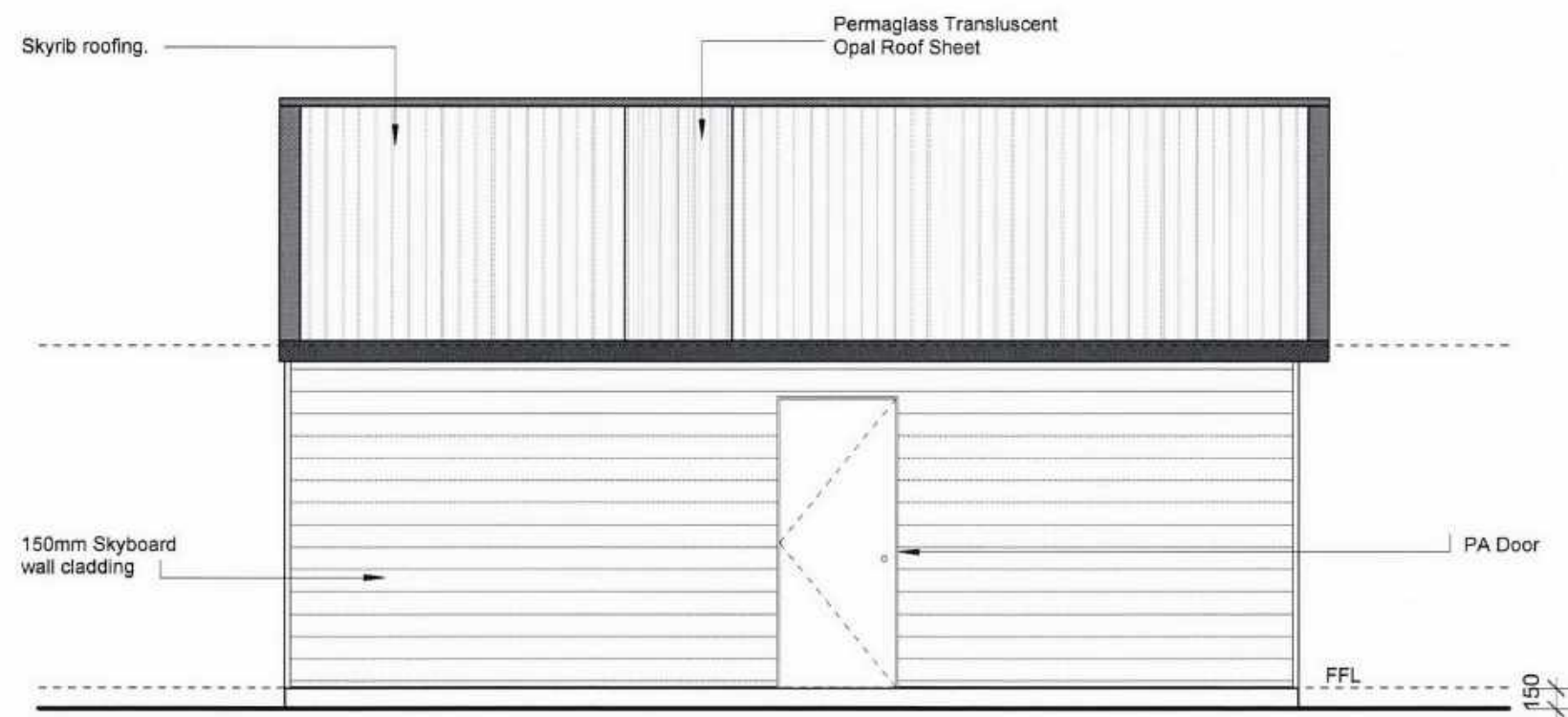


Site Plan = 7 Donegal Street, Cromwell - PR + HP SAMSON

21/1/15
COP
WPM
SKYLINE



ELEVATION LINE M



ELEVATION LINE A

CENTRAL OTAGO DISTRICT COUNCIL
Plans and Specifications Approved in
accordance with The New Zealand Building
Code and Approved Documents. To be retained
on the building site and produced on request.
Signed: _____ Date: 10/3

Distributor : Cromwell

Salesperson : Chris Sangster

Revision :

Drawn By : DVS

Scale : 1 : 50 @ A3

Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage

FOR : Paul & Heather Samson

AT : 7 Donegal Street, Cromwell



SHEET

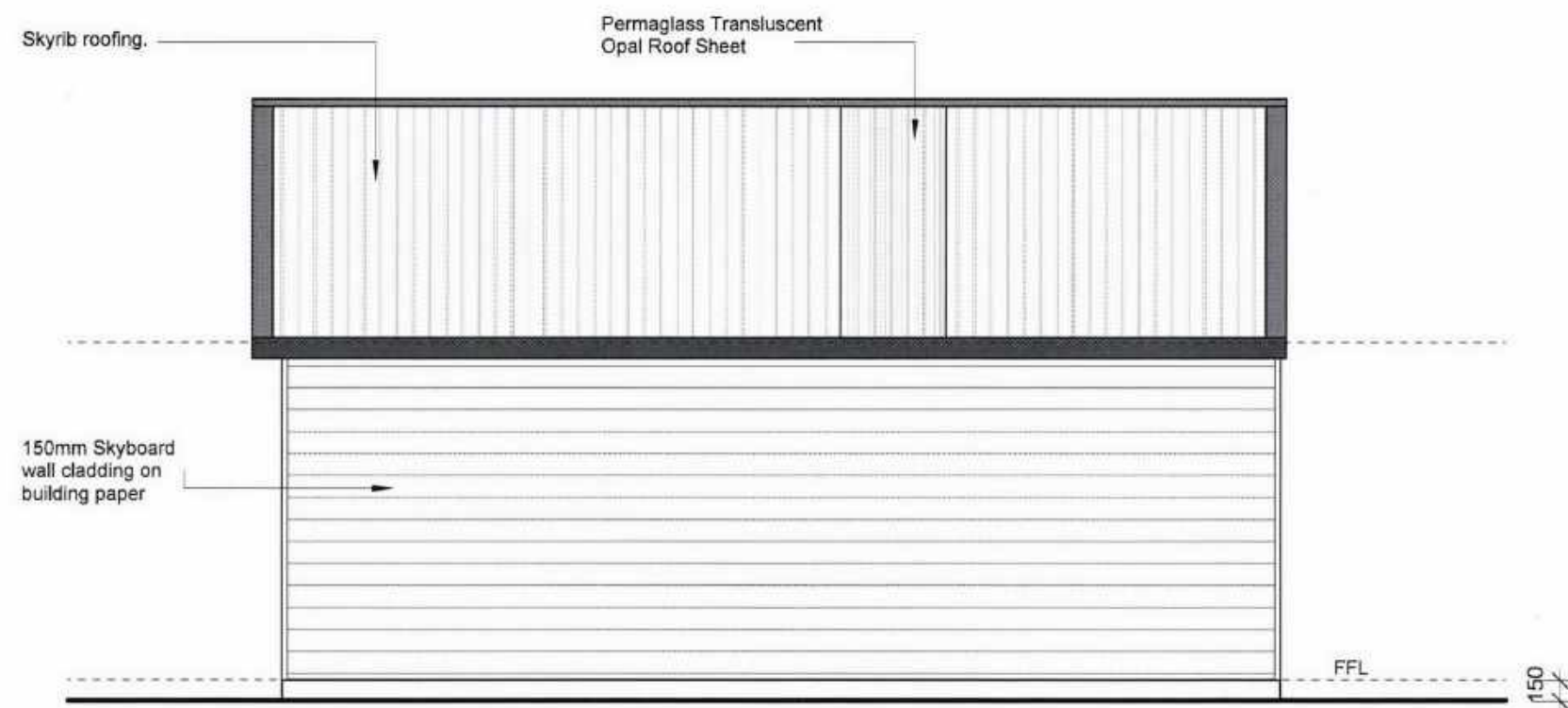
Number 2
of



NOTE :

Wall on Line N has 180mm wide Timber Weatherboard Cladding on building paper

ELEVATION LINE N



ELEVATION LINE B

Distributor : Cromwell

Drawn By : DVS

PROJECT : Proposed 7.2 x 5.4 Garage

Salesperson : Chris Sangster

Scale : 1 : 50 @ A3

FOR : Paul & Heather Samson

Revision :

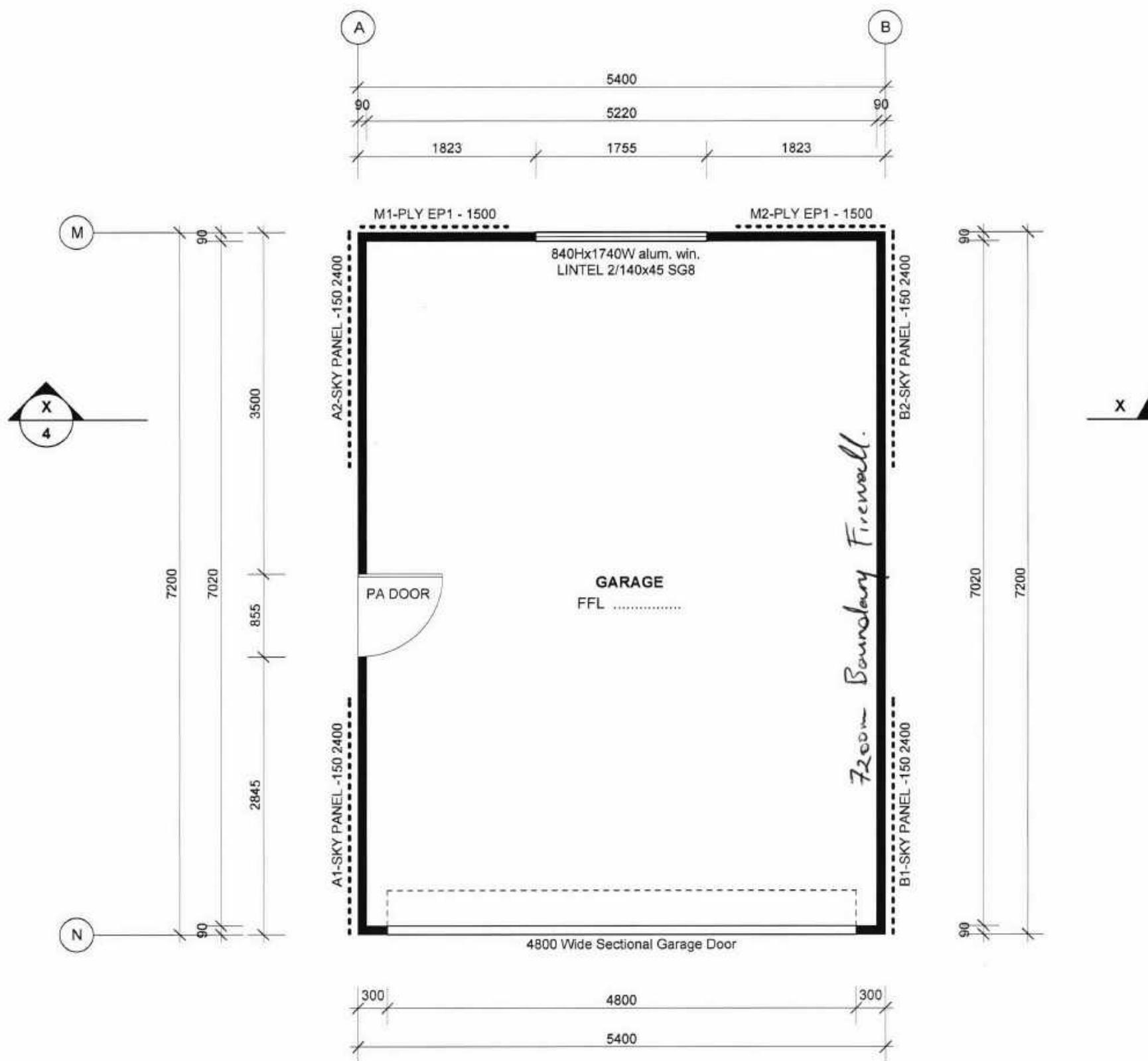
Date : February 2015

AT : 7 Donegal Street, Cromwell



SHEET

Number **2.1**
of



FLOOR PLAN

Distributor : Cromwell

Salesperson : Chris Sangster

Revision :

Drawn By : DVS

Scale : 1 : 50 @ A3

Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage

FOR : Paul & Heather Samson

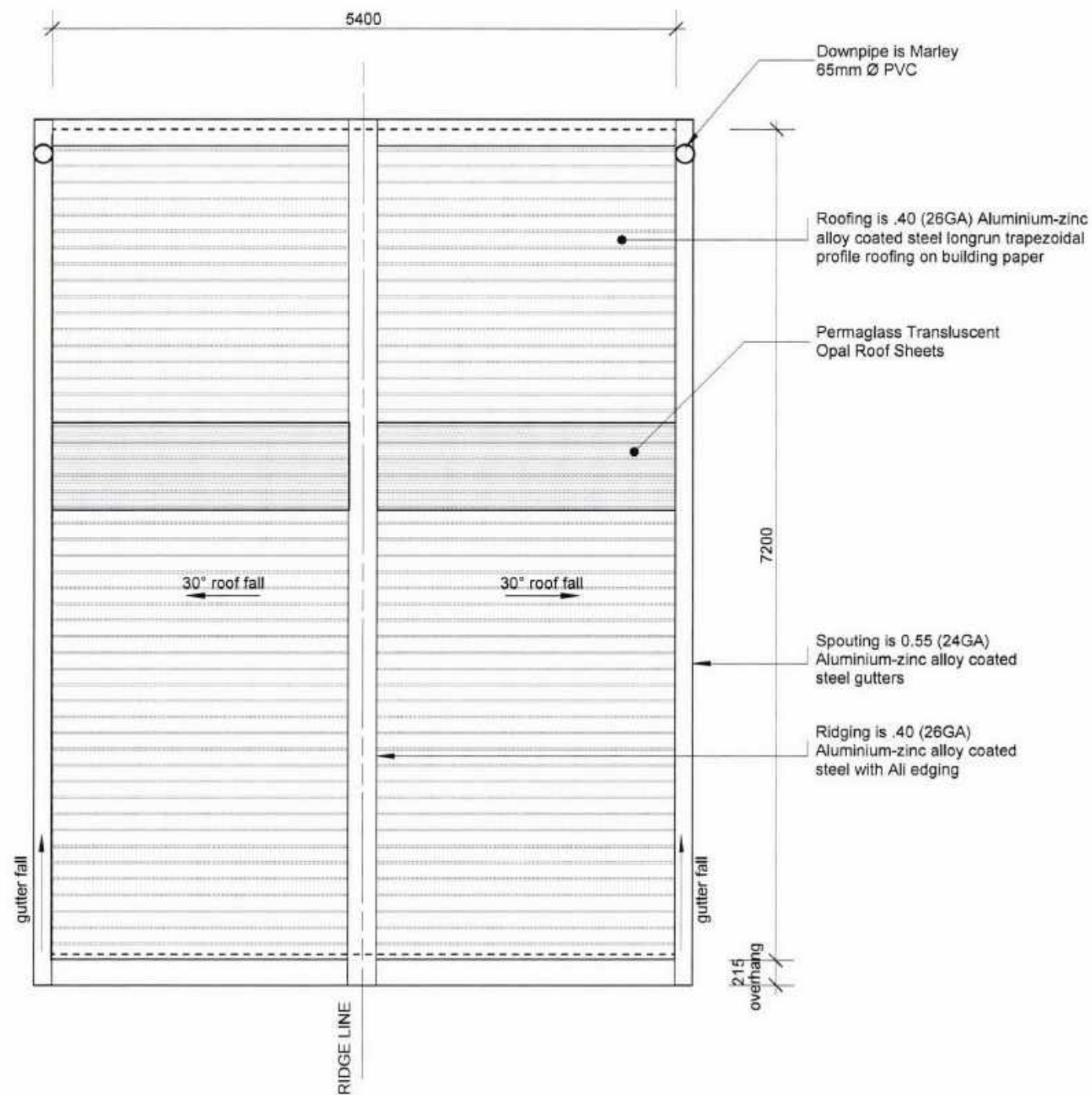
AT : 7 Donegal Street, Cromwell



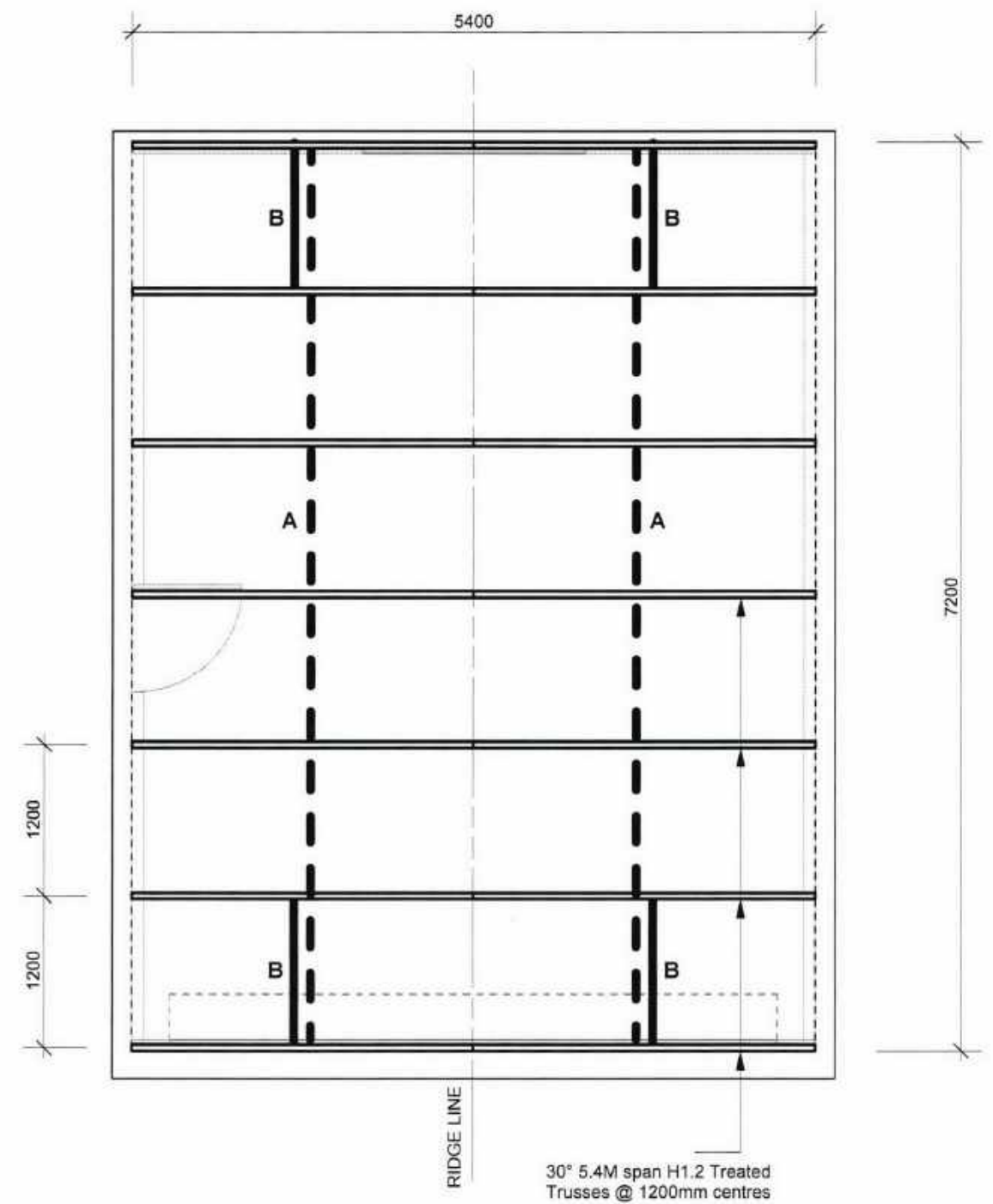
SHEET

Number
of

3



ROOF PLAN



ROOF FRAMING PLAN

A - Denotes 75x45 Lower Chord Ties
B - Denotes 90x45 H1.2 Gable End Braces

Distributor : Cromwell
Salesperson : Chris Sangster
Revision :

Drawn By : DVS
Scale : 1 : 50 @ A3
Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell



SHEET

Number of 3.1

SECTION 5400mm

ROOF PITCH

30°

ROOFING

Roofing is .40 (26GA) Aluminium-zinc alloy coated steel longrun trapezoidal profile roofing

Ridging is .40 (26GA) Aluminium-zinc alloy coated steel with Ali edging

Permaglass Translucent Opal Roof Sheets
(2 Sheets as shown on Roof Plan - Sheet 3.1)
No building paper below Permaglass sheets

SPOUTING & DP's

Spouting is 0.55 (24GA) Aluminium-zinc alloy coated steel gutters fixed to two sides of the Building.

Downpipe is Marley 65mm PVC

EXTERIOR SHEATHING

150mm Skyboard Profile 0.55mm (24GA) Aluminium-zinc alloy coated steel COLORCOTE weatherboards

STRUCTURAL BRACING

refer to appendix A -

"Wall Bracing System: BRANZ STO723/1/2/3/4"
containing the report from BRANZ Ltd.

BUILDING PAPER

Thermacraft heavy weight building paper
under roof cladding

Thermacraft heavy weight building paper
to external walls

ROOF FRAME

Skyline NZ Design Trusses

30° 5.4M span H1.2 Treated
Trusses @ 1200mm centres

70mm x 45mm Timber Purlins
on flat @ 450mm apart max

JOINERY

As Indicated on Floor Plan

Flashing System as indicated in details

STUD HEIGHT

2400 Nominal

WALL FRAME

All Timber is LVL J-Frame

Graded SG8.

All Timber is Housed.

i.e. Studs and Nogs are Checked

One Row of Nogs 90mm x 45mm H1.2

Bottom Plate 90mm x 45mm H3.2

Top Plate & Studs 90mm x 45mm H1.2

Studs at 600mm centres

Single Stud to all Corners

FLOOR STRUCTURE

Damp Proof Course under all
Bottom Plates.

Standard Skyline Garage Floor

SECTION X-X

NOTE

- The Floor Structure of this building is not suited to habitable use

ALL TIMBER GRADED SG8

Distributor : Cromwell

Salesperson : Chris Sangster

Revision :

Drawn By : DVS

Scale : 1 : 50 @ A3

Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage

FOR : Paul & Heather Samson

AT : 7 Donegal Street, Cromwell

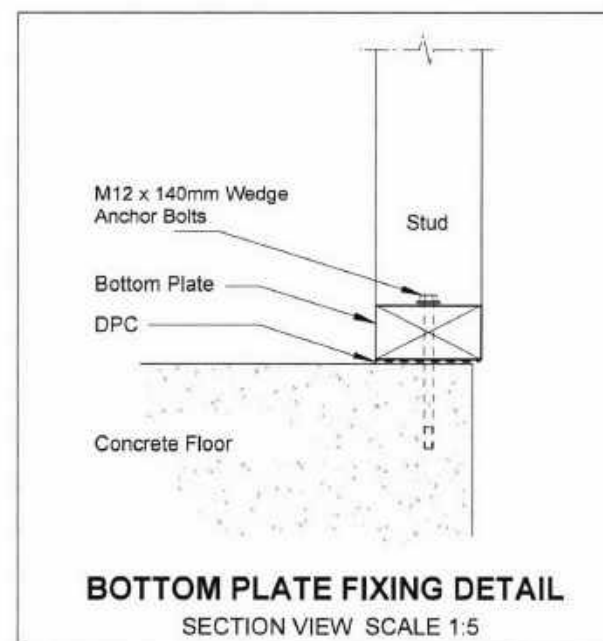
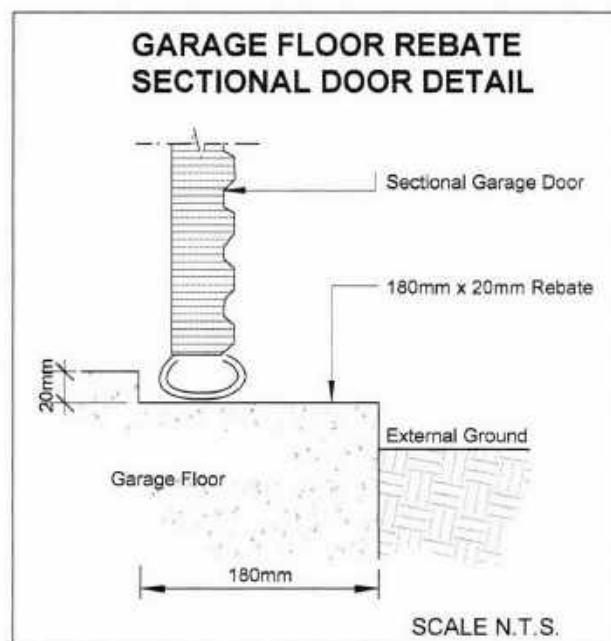
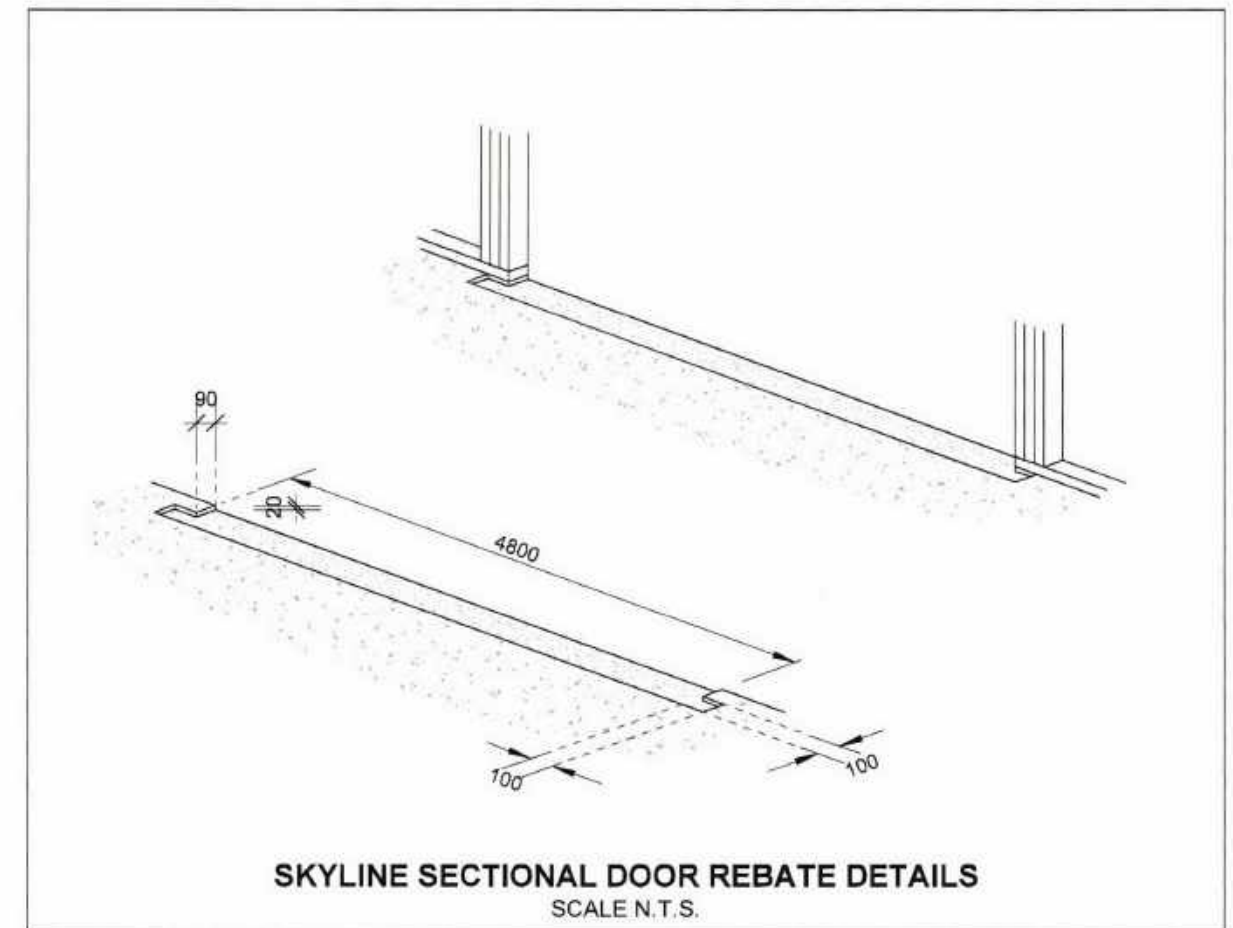
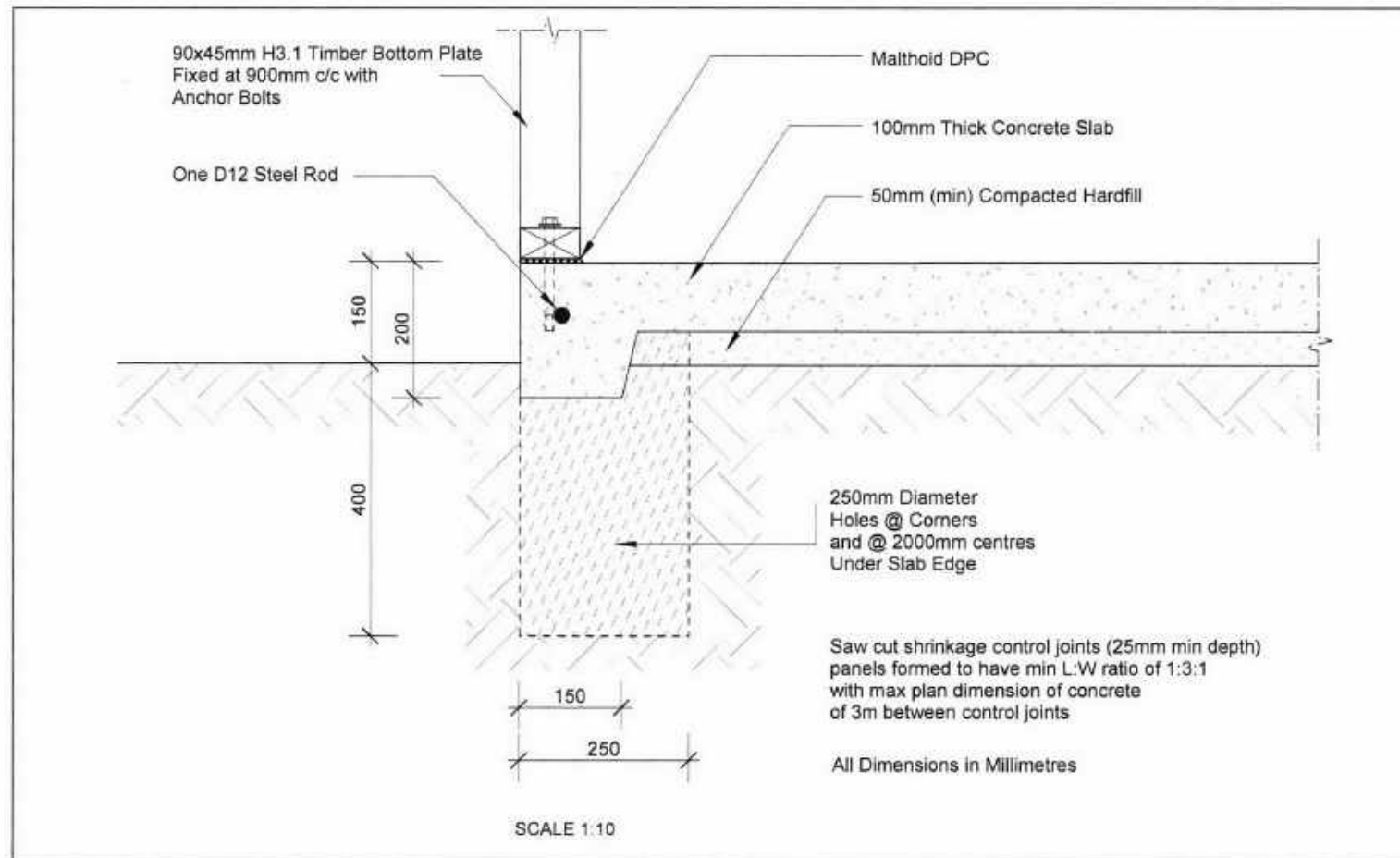


SHEET

Number
of

4

SKYLINE SECTIONAL DOOR GARAGE FLOOR FOUNDATION AND REBATE DETAILS



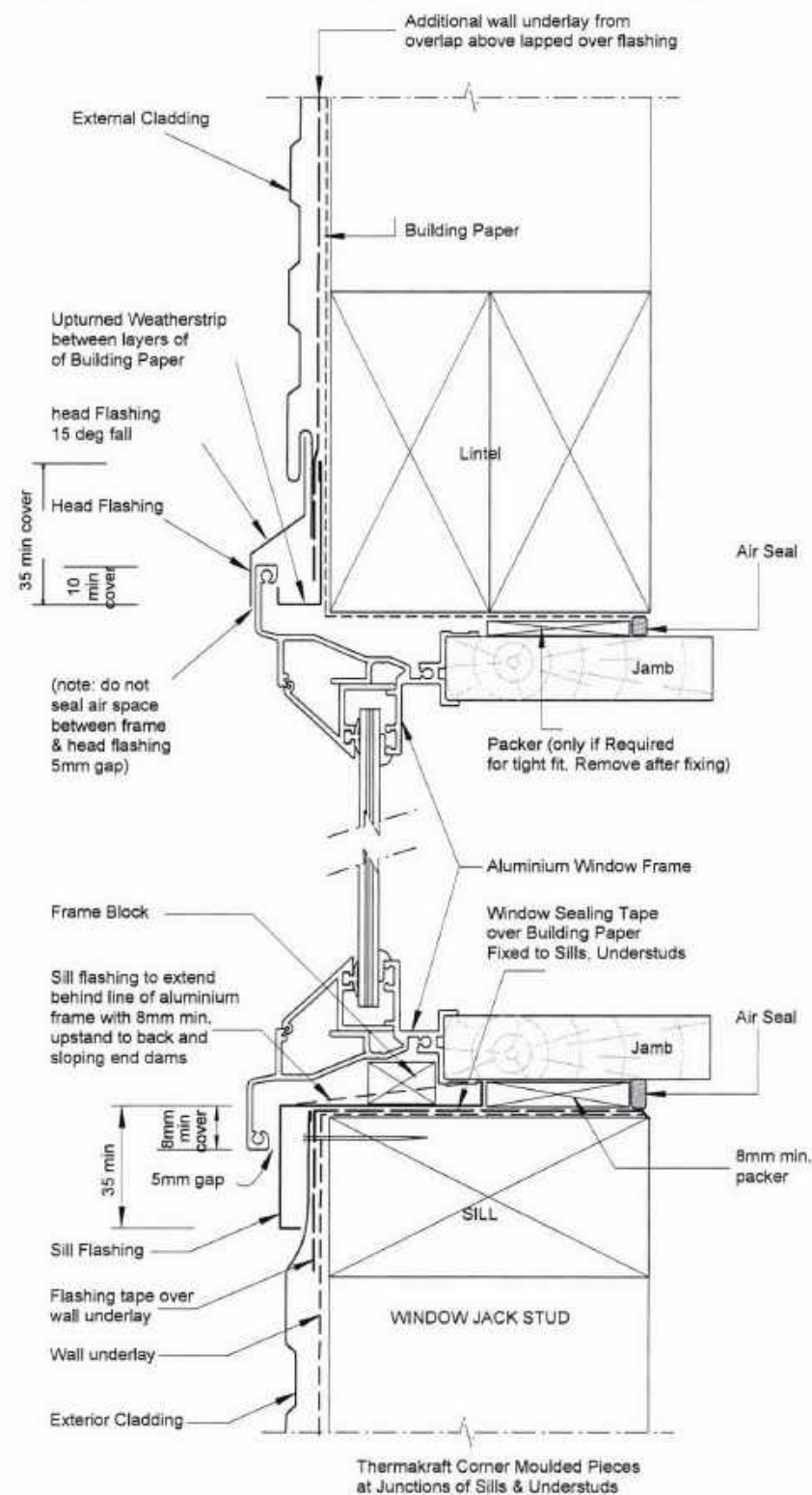
Distributor : Cromwell
Salesperson : Chris Sangster
Revision :

Drawn By : DVS
Scale : 1 : 10 @ A3
Date : February 2015

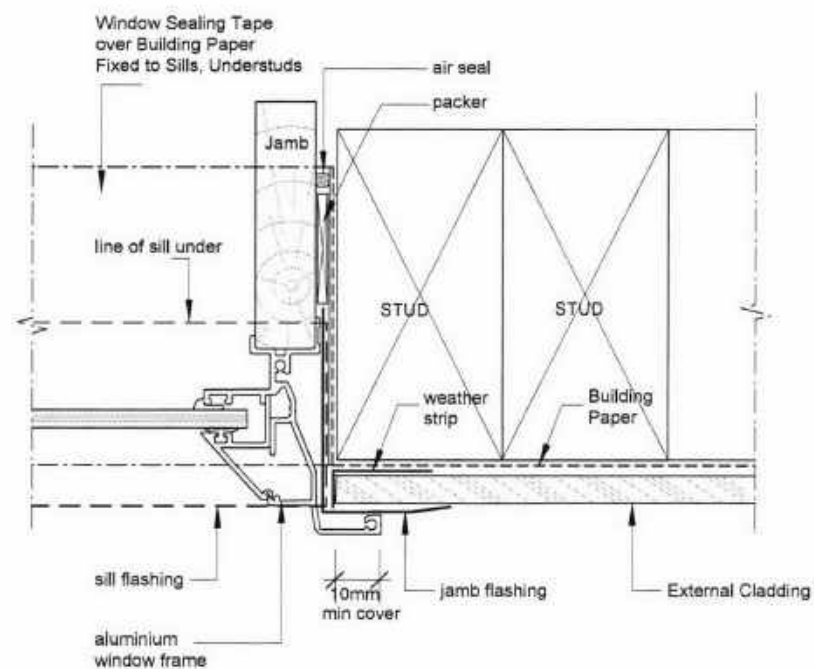
PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell



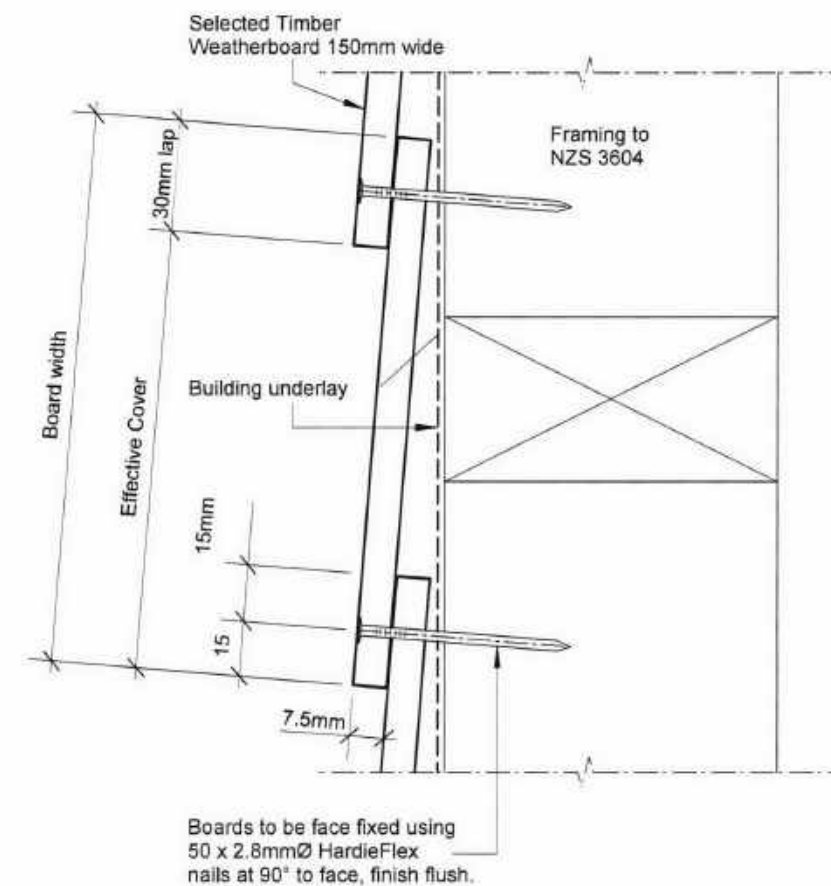
SHEET
Number of 5



**ALUMINIUM WINDOW
SILL & HEAD FLASHING DETAILS**
SCALE 1:2



**ALUMINIUM WINDOW
JAMB FLASHING**
SCALE 1:2



**Face Nailing
DIRECT FIX WEATHERBOARD FIXING**
SCALE 1:2

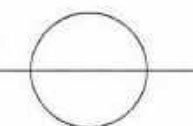
Distributor : Cromwell
Salesperson : Chris Sangster
Revision :

Drawn By : DVS
Scale : 1 : 2 @ A3
Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell



SHEET
Number of



Ecoply® Bracing Specification – EP1

July 2011

Single sided structural plywood brace

Specification No.	Minimum Wall Length	Lining Requirements	BU's/m Wind	BU's/m Earthquake
EP1	0.6 m	7mm Ecoply®, Ecoply Barrier or Shadowclad® one side	125	130

Framing

Wall framing must comply with:

- NZBC B1 - Structure: AS1 Clause 3 Timber (NZS3604:2011)
- NZBC B2 - Durability: AS1 Clause 3.2 Timber (NZS3602)

Framing dimensions and height are as determined by the NZS3604 stud and top plate tables for load bearing and non load bearing walls. Kiln dried verified structural grade timber must be used. Machine stress graded timber, such as Laserframe®, is recommended.

Bottom Plate Fixing

Use GIB Handibrac® hold-down connections at each end of the bracing element. Refer to manufacturer installation instructions supplied with the connectors for correct installation instructions and bolt types to be used for either concrete or timber floors. Within the length of the bracing element, bottom plates are fixed in accordance with the requirements of NZS 3604.

Lining

One layer of 7mm Ecoply plywood, Ecoply Barrier or Shadowclad exterior wall cladding fixed directly to framing or over cavity battens. If part sheets are used, ensure nailing at required centres is carried out around the perimeter of each sheet or part sheet. A 2-3mm expansion gap should be left between sheets.

Fastening the Ecoply®

Fasteners

Fasten with 50 x 2.8 mm galvanised or stainless steel flat head nails for direct fix, or 60 x 2.8 mm over cavity battens. Place fasteners no less than 7 mm from sheet edges.

Fasteners for H3.2 CCA treated Ecoply

Where fasteners are in contact with H3.2 CCA treated timber or plywood, fasteners shall be a minimum of hot dip galvanised

In certain circumstances stainless steel fasteners may be required. Refer to table 8 of the Ecoply Specification and Installation Guide for these circumstances and further fastener selection advice.

Stainless steel fasteners must be annular grooved

Ecoply® Bracing Systems are designed to meet the requirements of the New Zealand Building Code and have been tested and analysed using the P21 method referenced in NZS3604:2011 listed as an acceptable solution B1/AS1 Structure. Testing was carried out using Ecoply, Shadowclad and Laserframe SG8 timber framing manufactured by Carter Holt Harvey Limited trading as Carter Holt Harvey Woodproducts New Zealand, and GIB® products manufactured by Winstone Wallboards Ltd. **Substituting materials may compromise performance of the system.** GIB® and GIB Handibrac® are registered trade marks of Fletcher Building Holdings Ltd.

Fastening Centres

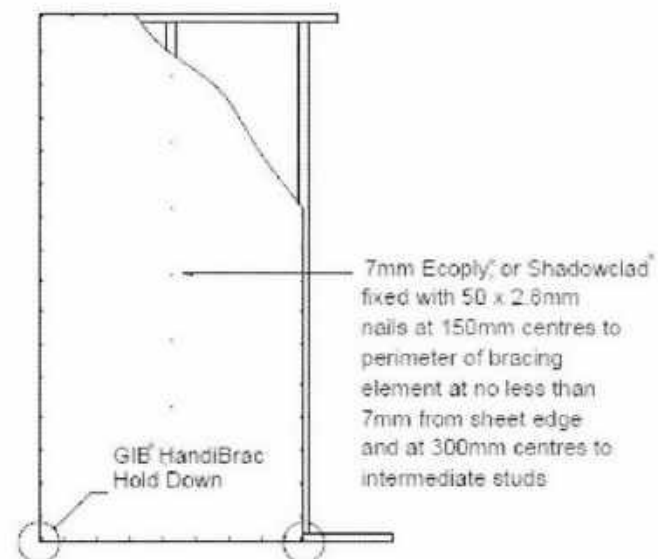
Fasteners are placed at 150 mm centres around the perimeter of each sheet and 300 mm centres to intermediate studs.

Where more than one sheet forms the bracing element each sheet must be nailed off independently.

Fastening to Cavity Battens

The brace element may be fixed over cavity battens.

The cavity battens must be a minimum of 40 x 20mm nailed in staggered formation at 150mm centres to studs around the perimeter of the brace element, and nailed to the intermediate studs within the element at 300mm centres. A minimum of 50mm x 2.8mm flat head galvanised or annular grooved stainless steel nails must be used.



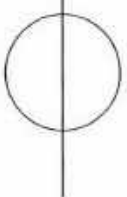
0800 746 399
www.chhwoodproducts.co.nz



SHEET

Number

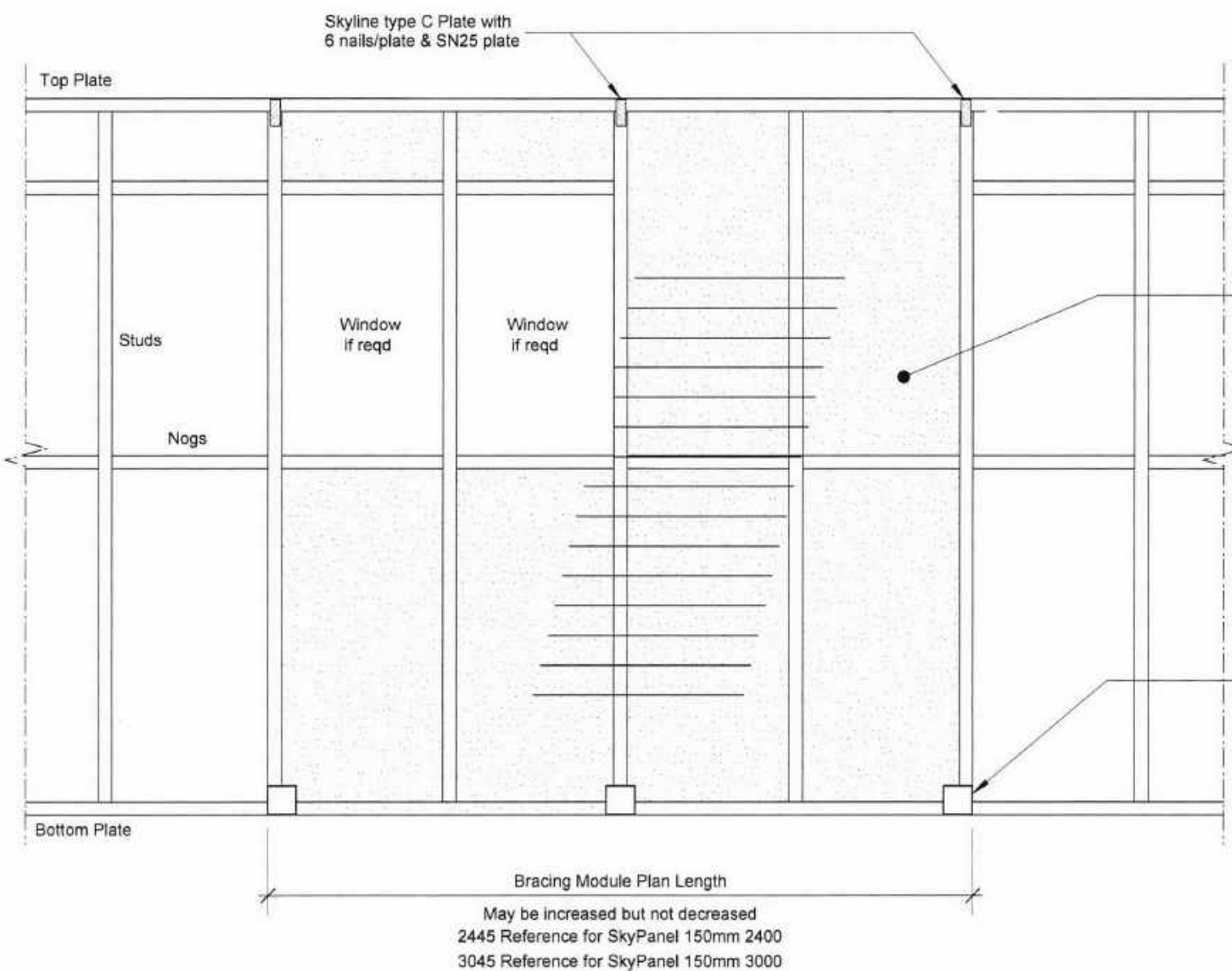
of



Distributor : Cromwell
Salesperson : Chris Sangster
Revision :

Drawn By : DVS
Scale :
Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell



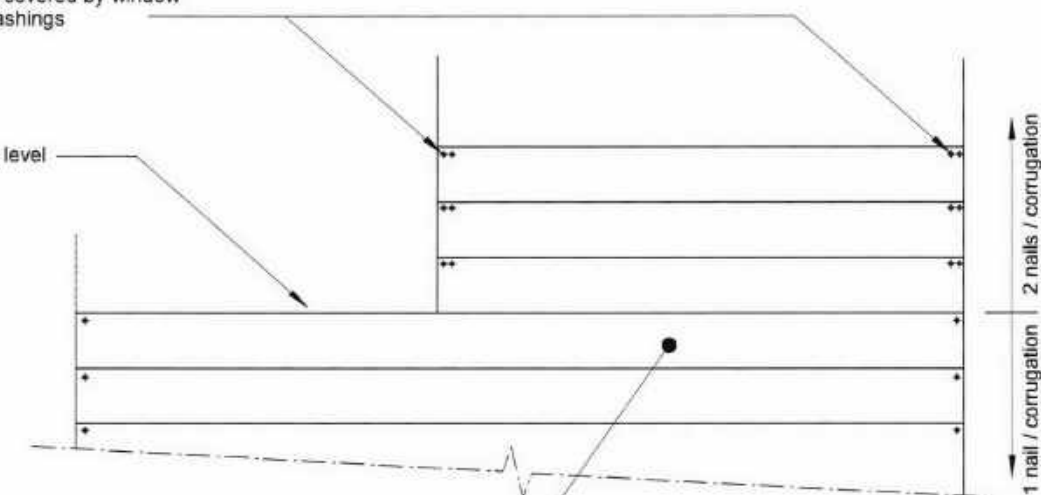
BRACING MODULE FOR SKYLINE 150MM SKYBOARD

Note - Nails are covered by window and/or corner flashings

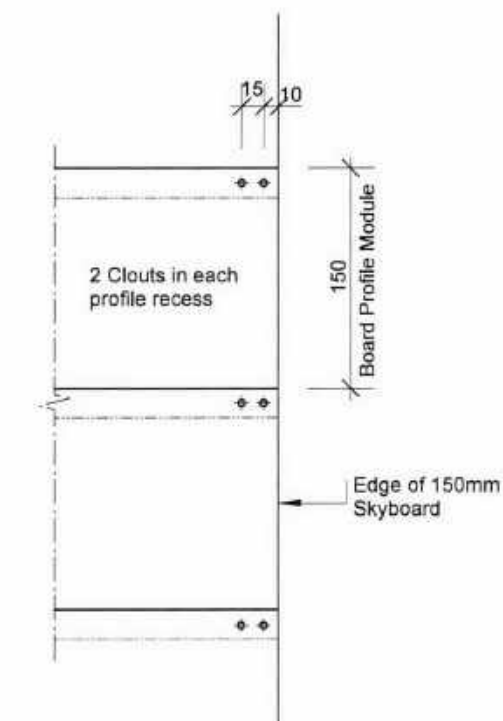
Window sill nog level

150mm "Skyboard" cladding to be nailed at each corrugation on vertical and horizontal edges with one nail below window sill line, and with two adjacent nails above window sill to each stud or dwang/nog, and at each alternate corrugation on central studs
Cladding fixings are 40mm x 2.8 dia F.H Galv Nails Hand-driven or 40mm x 2.5 min. dia F.H Galv Gun-driven nails

Skyline type A Plate with & SN25 plate



NAILING DETAIL
SCALE N.T.S.



DOUBLE NAILING DETAIL
SCALE 1:5

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Salesperson : Chris Sangster
Revision :

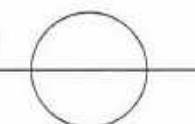
Drawn By : DVS
Scale : AS SHOWN @ A3
Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell

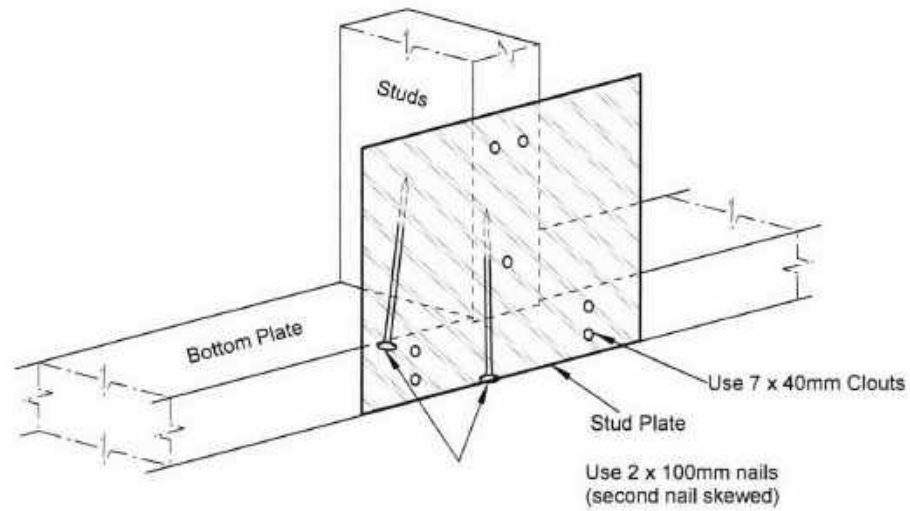


SHEET

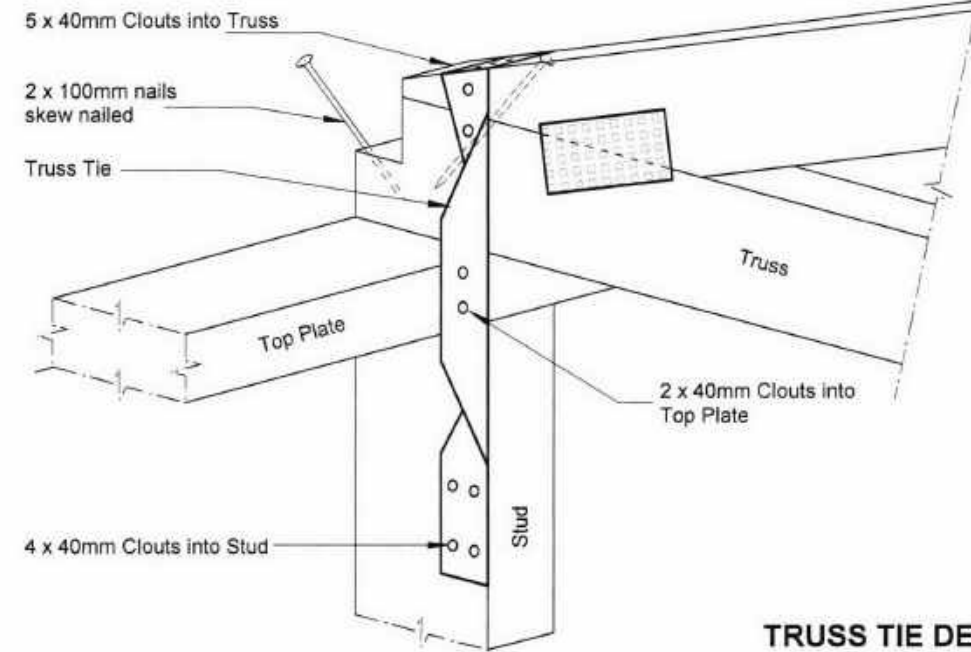
Number
of



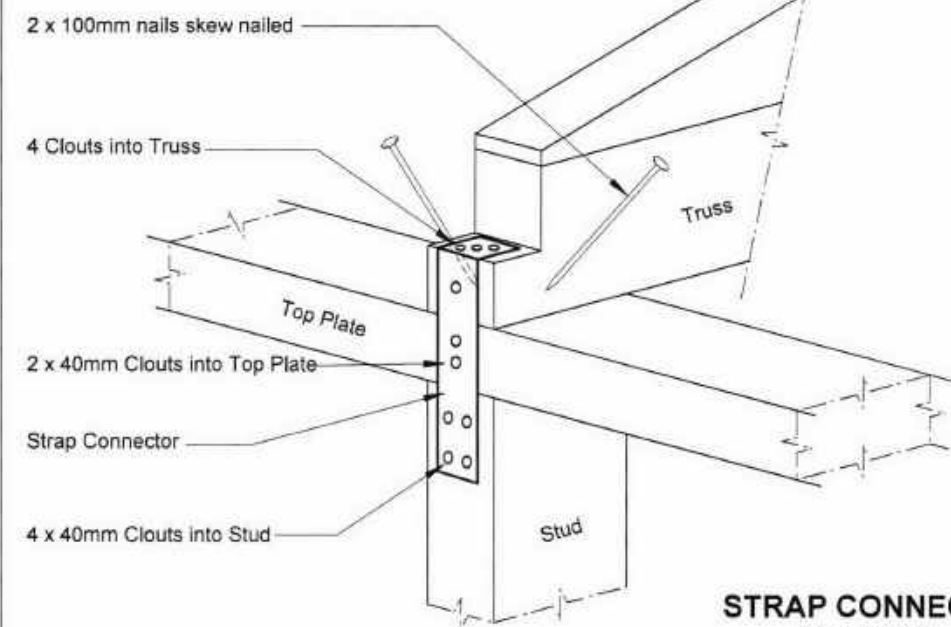
SKYLINE GARAGE TRUSS AND BOTTOM PLATE FIXING DETAILS



**STUD PLATE FIXING DETAIL
UNDER TRUSSES**
PLAN VIEW SCALE 1:5



TRUSS TIE DETAIL
PLAN VIEW SCALE 1:5



STRAP CONNECTOR DETAIL
PLAN VIEW SCALE 1:5

Distributor : Cromwell

Salesperson : Chris Sangster

Revision :

Drawn By : DVS

Scale : 1 : 5 @ A3

Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage

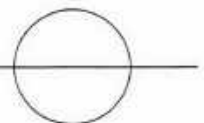
FOR : Paul & Heather Samson

AT : 7 Donegal Street, Cromwell

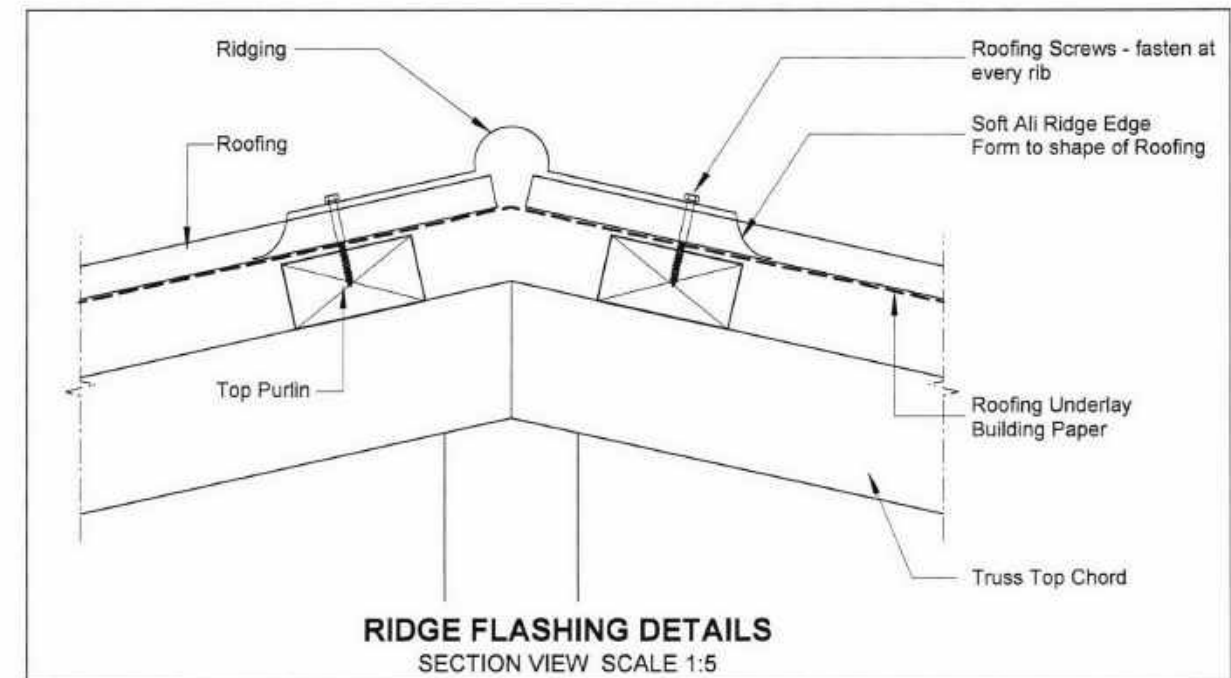
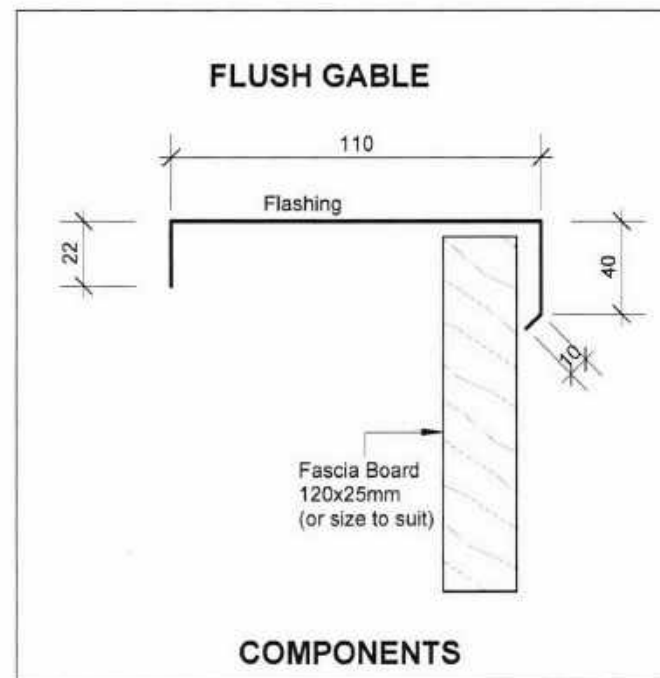
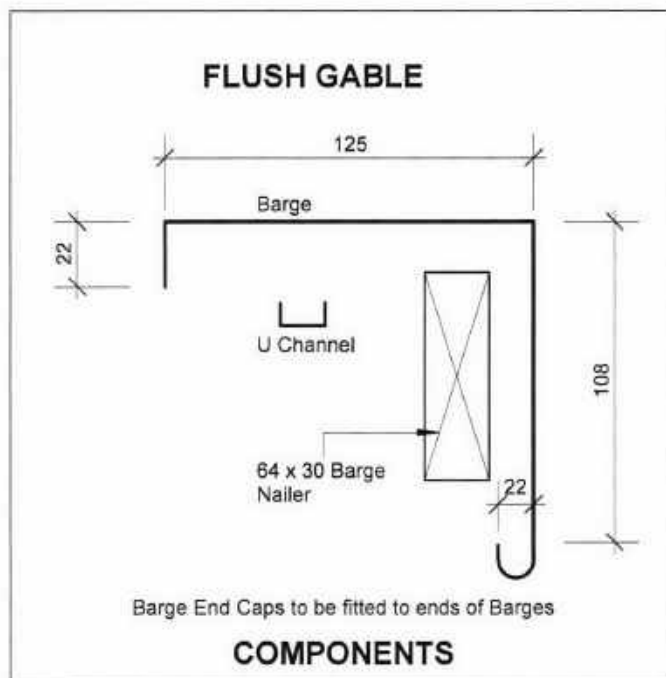
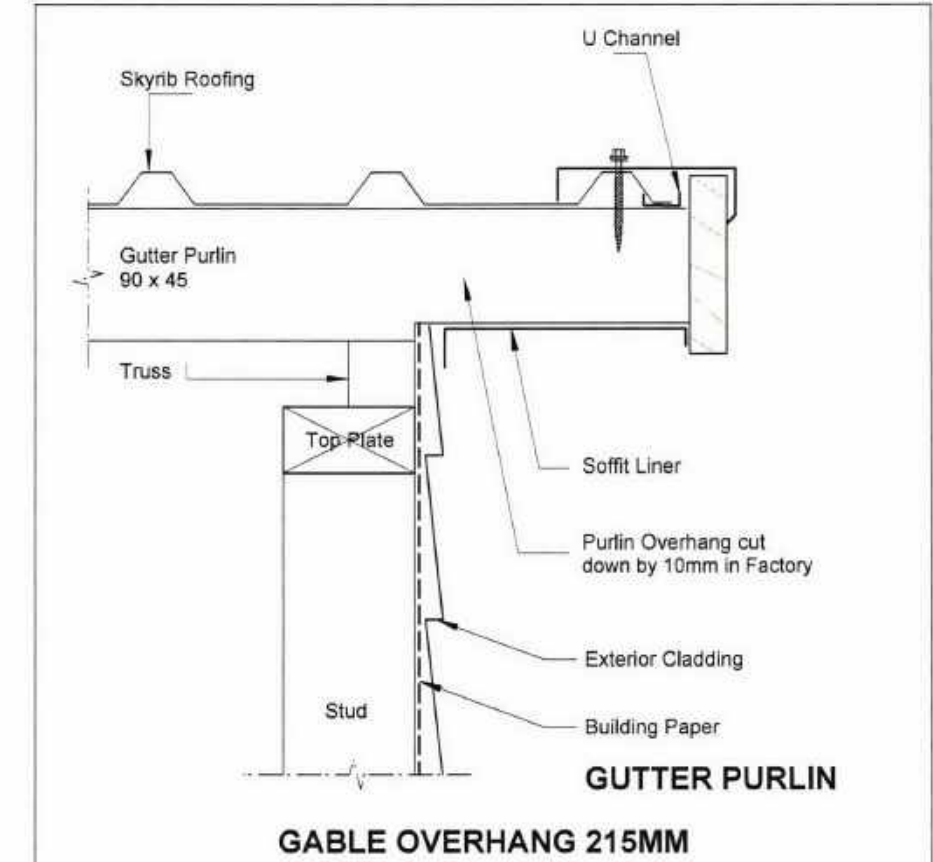
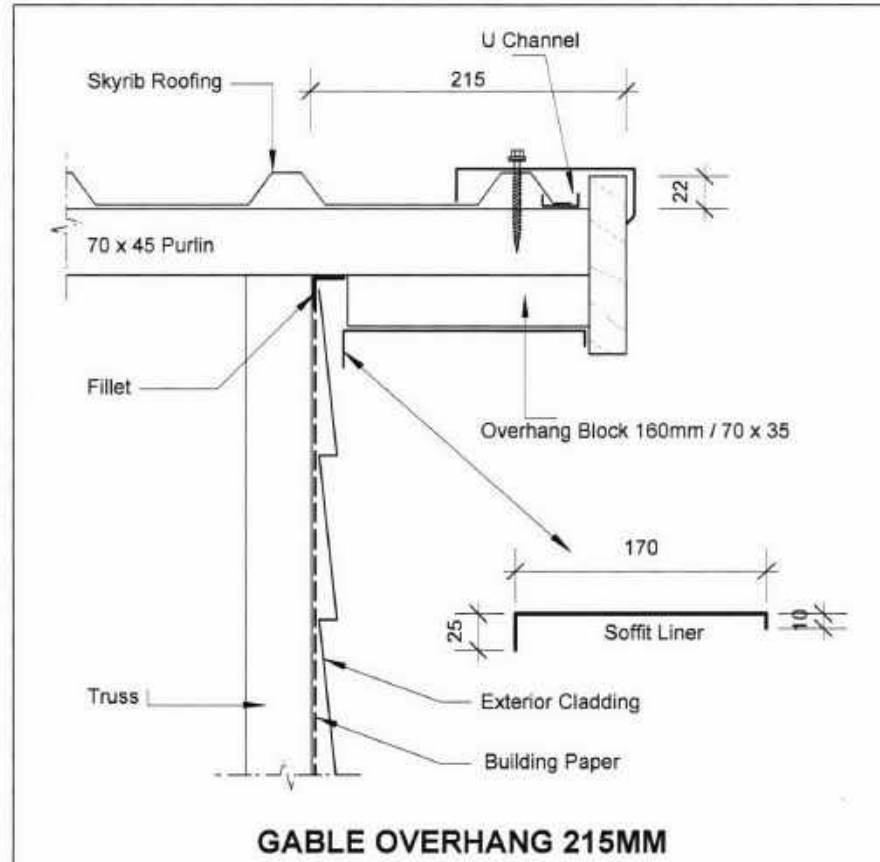
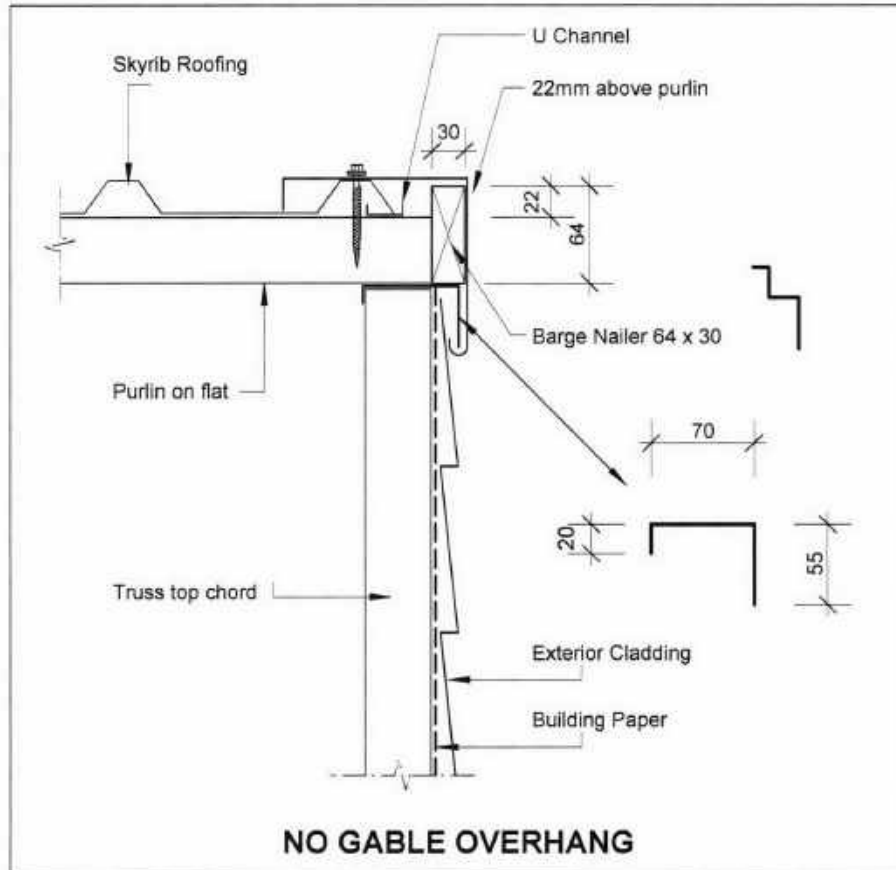


SHEET

Number
of



ONE PIECE BARGE DETAILS



Distributor : Cromwell
Salesperson : Chris Sangster
Revision :

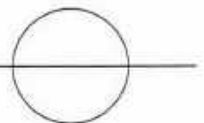
Drawn By : DVS
Scale : 1 : 5 @ A3
Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell

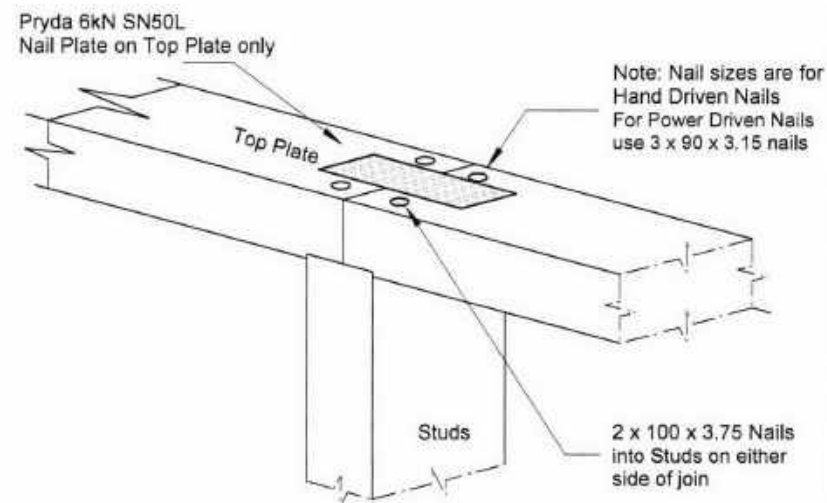
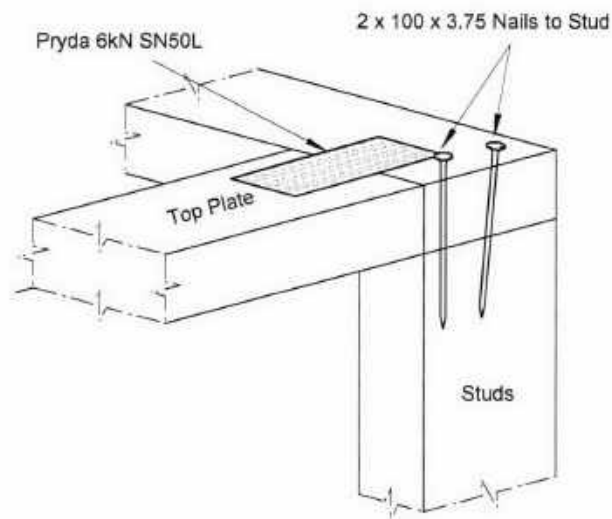


SHEET

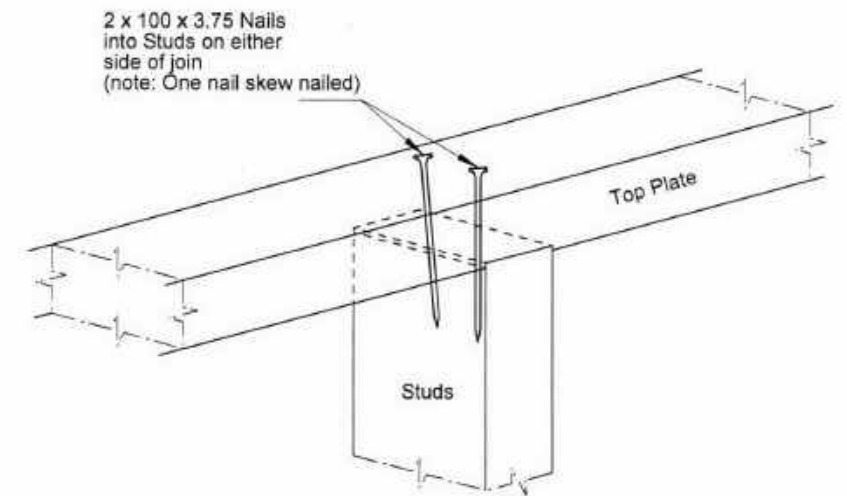
Number
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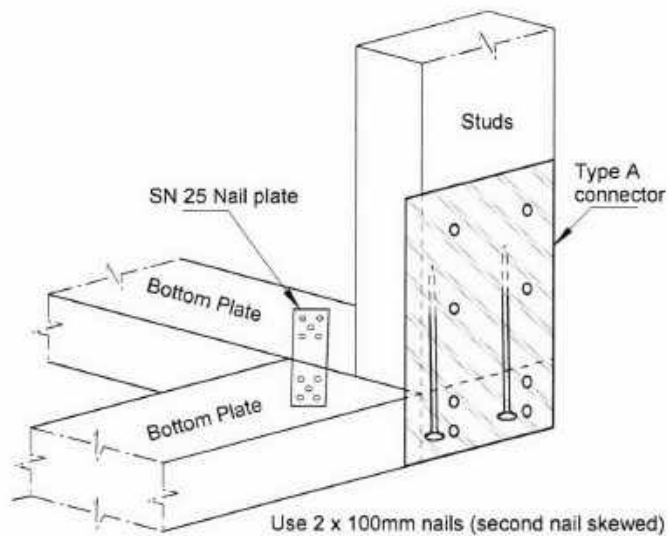
SKYLINE GARAGE FRAME, CORNERS & JOINT FIXING DETAILS



TOP JOINT CONNECTOR DETAIL
Plan View Scale 1:5



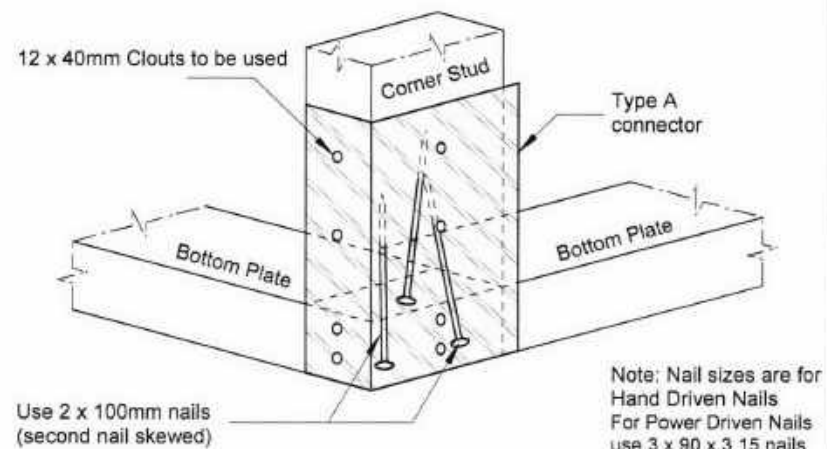
Note: Nail sizes are for Hand Driven Nails
For Power Driven Nails use 3 x 90 x 3.15 nails



Note: Nail sizes are for Hand Driven Nails
For Power Driven Nails use 3 x 90 x 3.15 nails

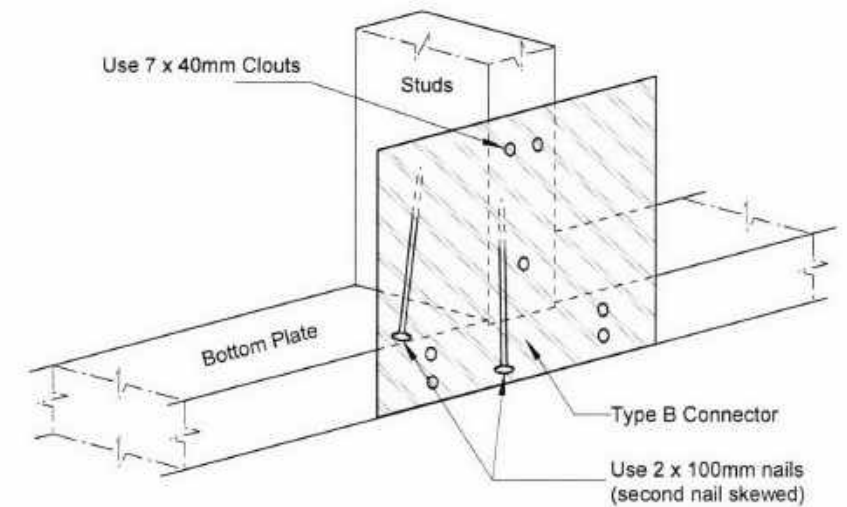
TOP & BOTTOM CONNECTOR DETAIL
At Corners

Plan View Scale 1:5



BOTTOM CONNECTOR DETAIL
At Corners

Plan View Scale 1:5



STUD PLATE FIXING DETAIL
Under Trusses

Plan View Scale 1:5

N.B The corner stud goes on the side walls, not the end wall

Distributor : Cromwell
Salesperson : Chris Sangster
Revision :

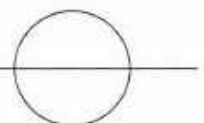
Drawn By : DVS
Scale : 1 : 5 @ A3
Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage
FOR : Paul & Heather Samson
AT : 7 Donegal Street, Cromwell

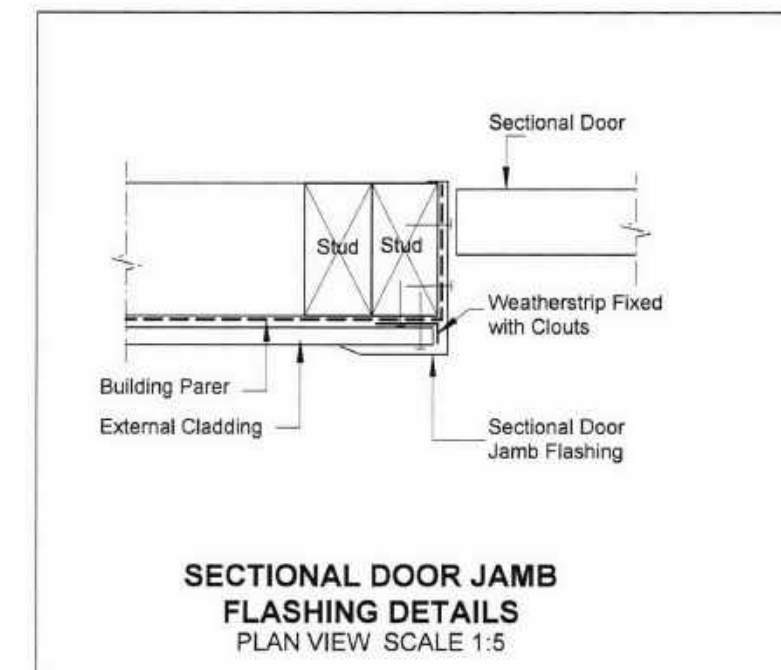
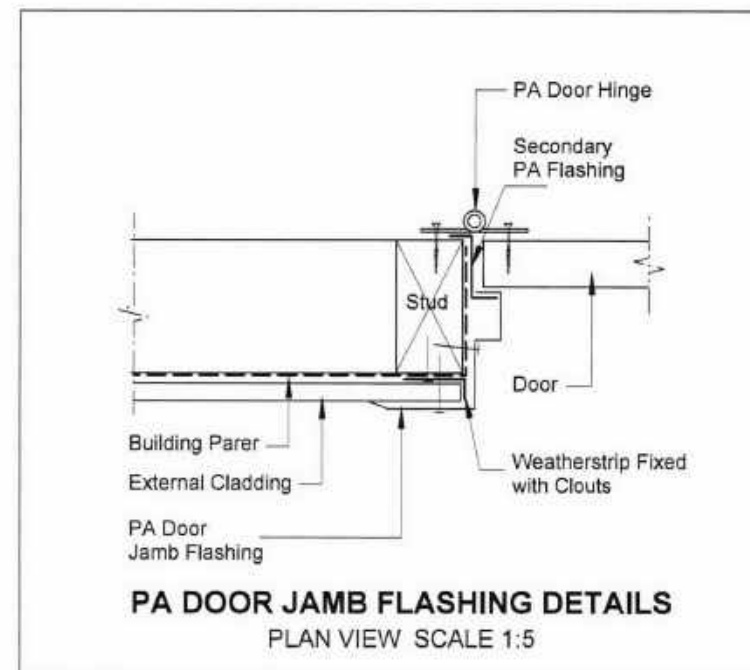
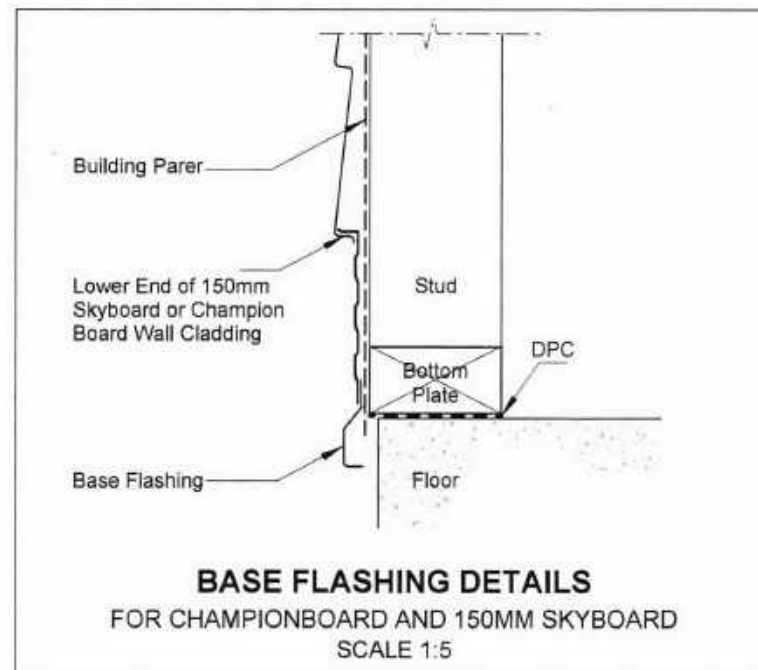
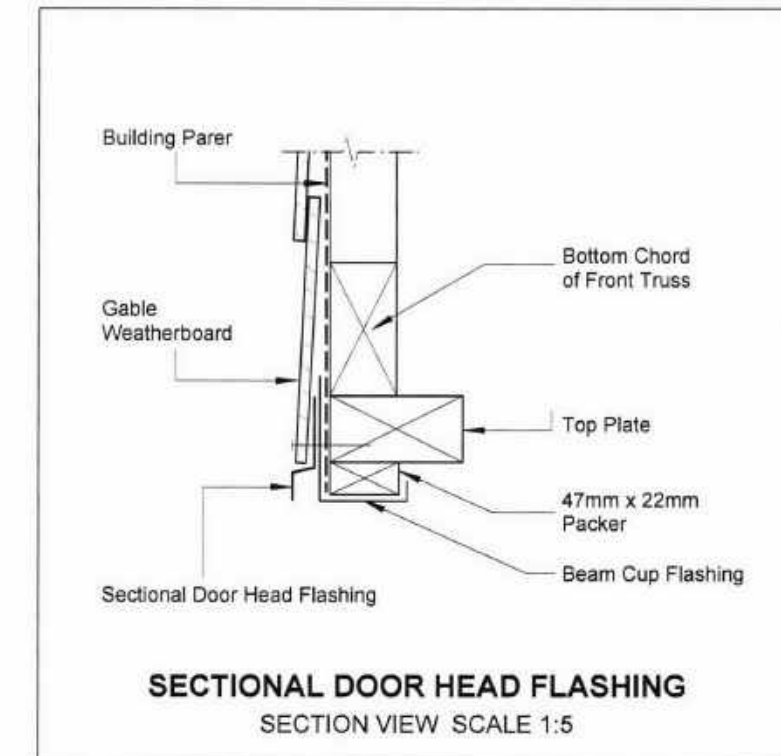
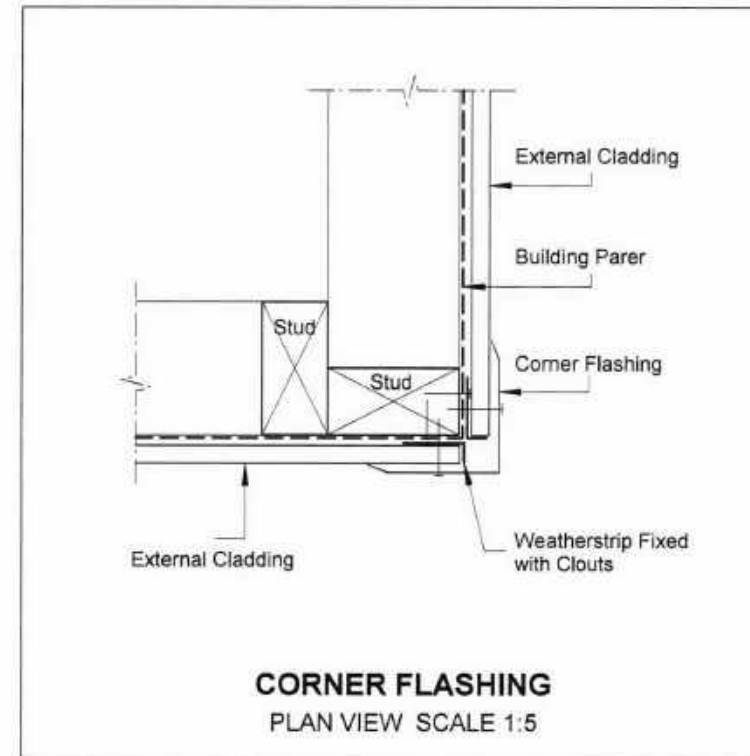
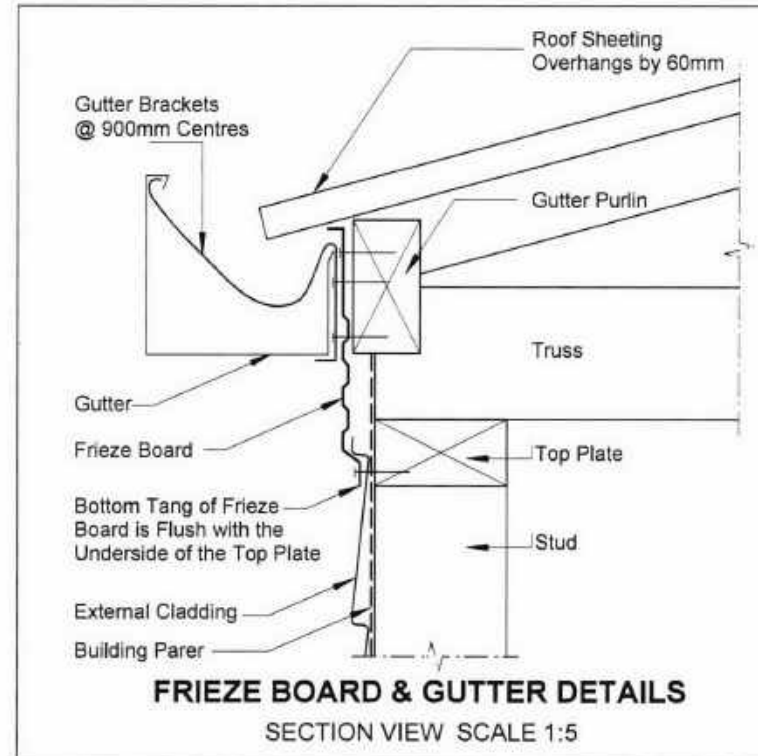


SHEET

Number
of



SKYLINE GARAGE & GOTTAGE GUTTER, CORNER AND BASE FLASHING DETAILS



Distributor : Cromwell

Salesperson : Chris Sangster

Revision :

Drawn By : DVS

Scale : 1 : 5 @ A3

Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage

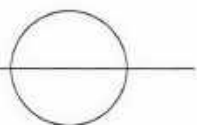
FOR : Paul & Heather Samson

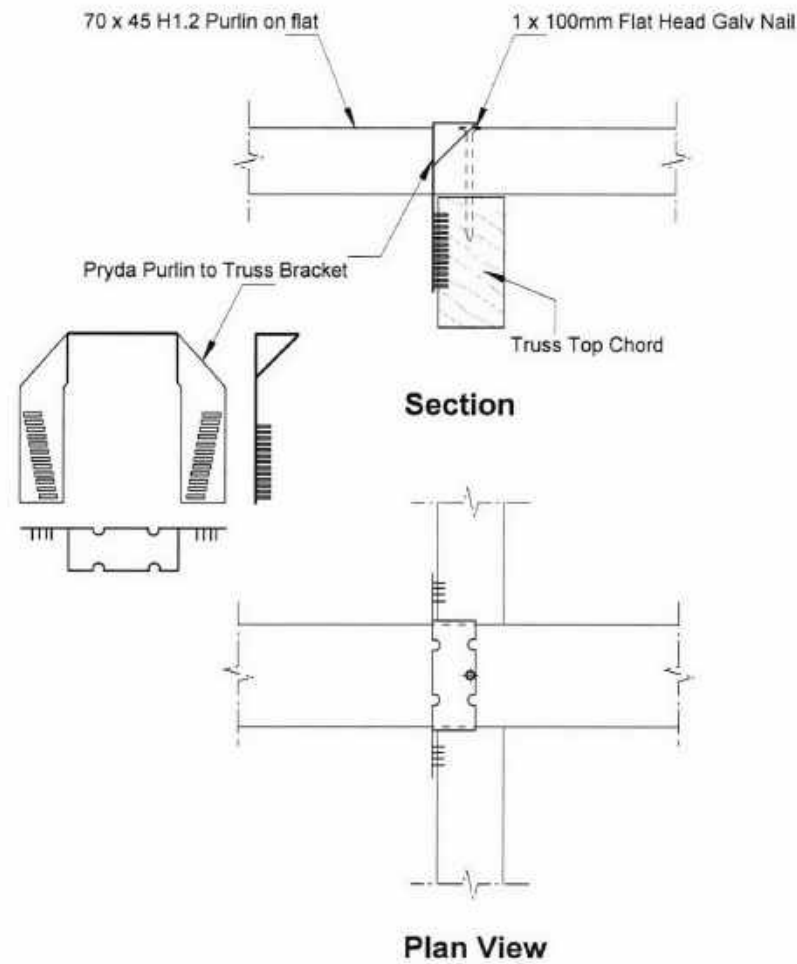
AT : 7 Donegal Street, Cromwell



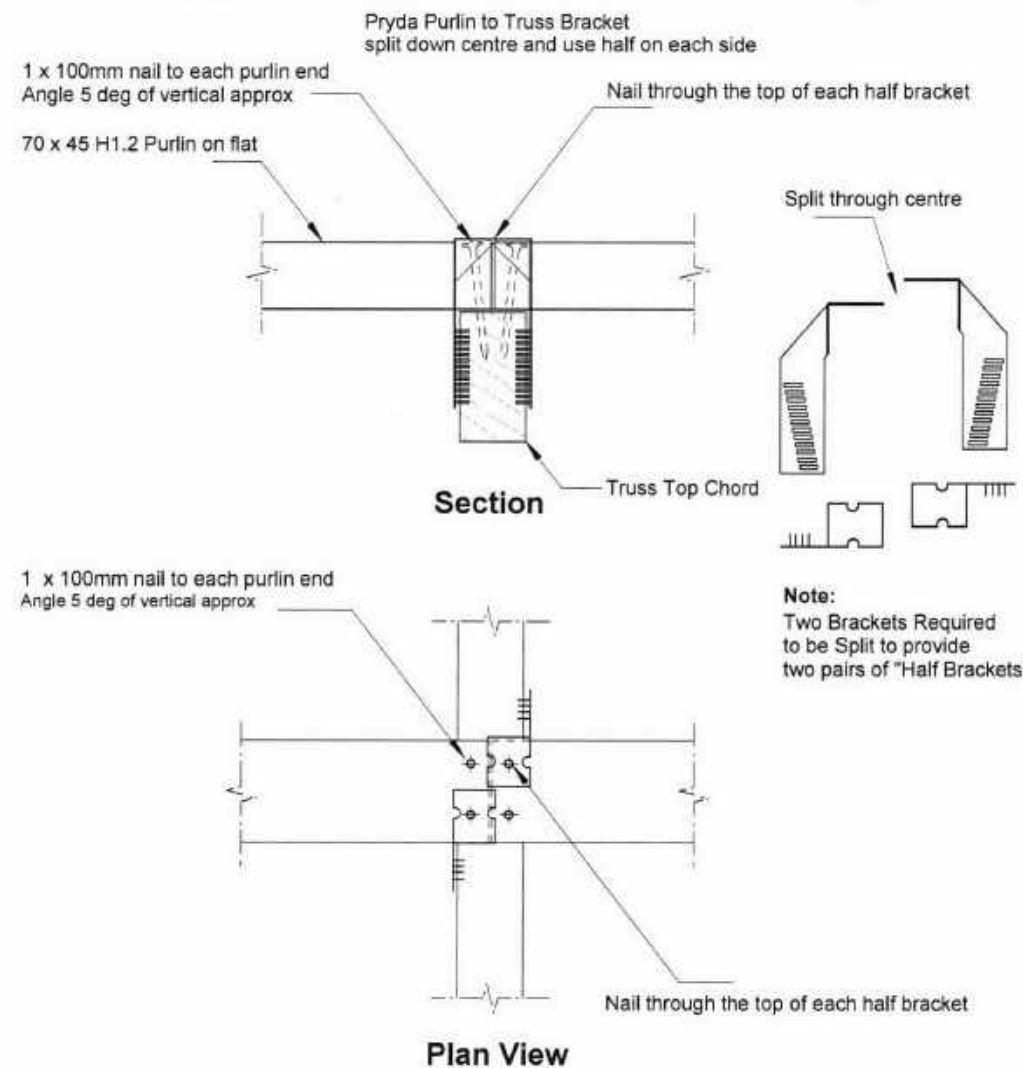
SHEET

Number of

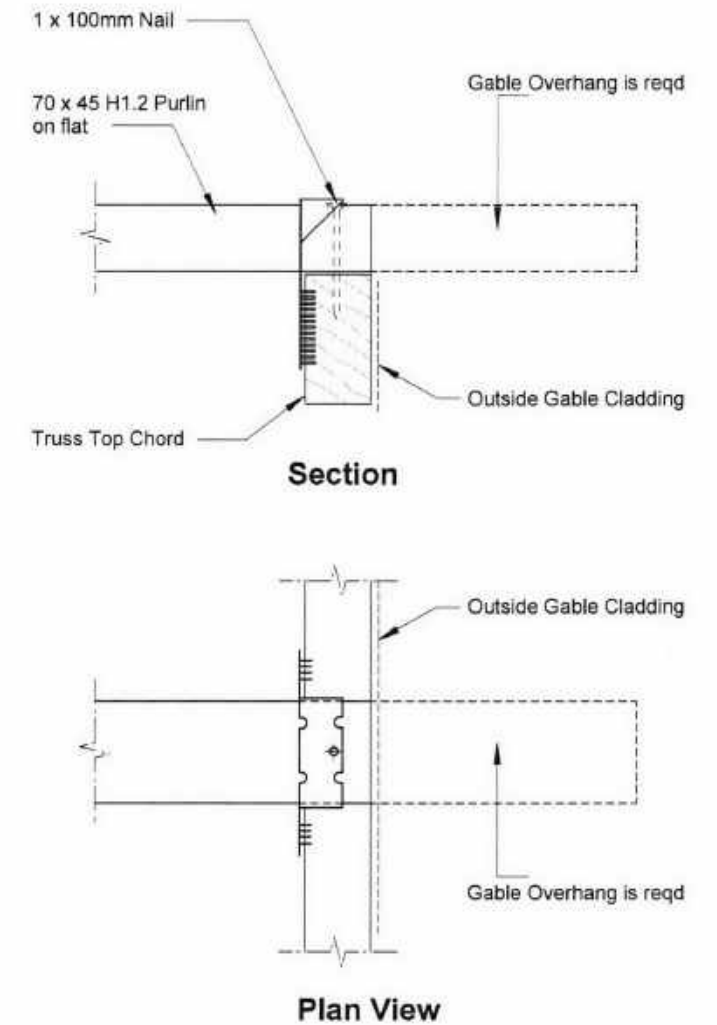




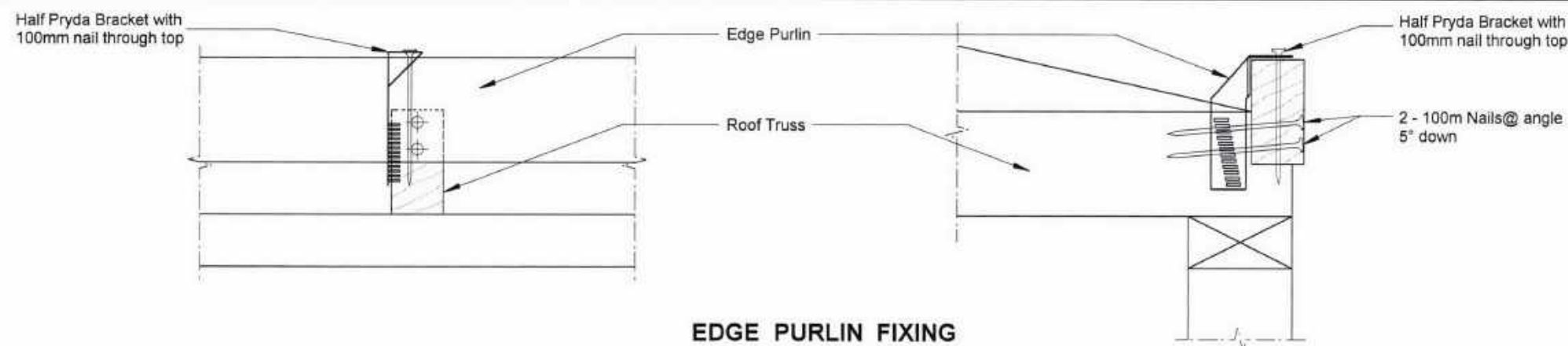
STANDARD PURLIN FIXING



PURLIN BUTT JOINT FIXING



GABLE END PURLIN FIXING



EDGE PURLIN FIXING

Distributor : Cromwell

Salesperson : Chris Sangster

Revision :

Drawn By : DVS

Scale : N.T.S. @ A3

Date : February 2015

PROJECT : Proposed 7.2 x 5.4 Garage

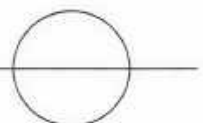
FOR : Paul & Heather Samson

AT : 7 Donegal Street, Cromwell



SHEET

Number
of



SLEEPOUTS AND NON-HABITABLE BUILDINGS PROCESSING CHECKLIST

Building Category	Res 1a	
BCO Overseer	B. J. J.	
Approved to Process	✓	
NA	Approved	Failed
—	✓	X




BUILDING CONSENT NO 150069

Mark in each small tick box NA, Approved or Failed.

When each section is complete and correct initial large box at right-hand side.

		Initial if OK	Peer Review
Has the building been checked by Planning?	<u>yes</u> <input checked="" type="checkbox"/>	<u>h</u>	
Ground conditions subject to:			
Section 72	<u>No known conditions</u> <input type="checkbox"/>		
Fill	<input type="checkbox"/>	<u>h</u>	
Existing file checked	<u>no</u> <input type="checkbox"/>		
Subdivision file checked	<input type="checkbox"/>	<u>h</u>	
Legal Owner			
Certificate of Title incl. title plan	<input checked="" type="checkbox"/>		
Easements	<u>clear of platform</u> <input checked="" type="checkbox"/>		
Section 75	<input type="checkbox"/>	<u>h</u>	
Potable Water Supply	<u>na</u> <input type="checkbox"/>	<u>h</u>	
Drainage (foul drain to sewer / septic tank)			
System used AS 3500	<u>Possible private drain under</u> <input type="checkbox"/>		
G13/AS1	<input type="checkbox"/>		
Plan showing drainage layout	<input type="checkbox"/>		
Waste pipe layout	<input type="checkbox"/>		
Septic tank and disposal field AS 1547	<input checked="" type="checkbox"/>		
Stormwater drains to: soakholes	<input type="checkbox"/>		
other	<input type="checkbox"/>	<u>h</u>	
Foundation / Floor			
NZS:3604	<input type="checkbox"/>		
Engineer's design	<u>PA design</u> <input checked="" type="checkbox"/>	<u>h</u>	
Timber Treatment (B2)			
Structure	<u>H1.2 B/Ale H3.2</u> <input checked="" type="checkbox"/>		
Cladding	<input type="checkbox"/>		
Other	<input type="checkbox"/>	<u>h</u>	
Bracing			
NZS:3604 (wall and roof)	<input type="checkbox"/>		
Engineer's design	<u>Capriety</u> <input checked="" type="checkbox"/>		
Layout/calculations	<input checked="" type="checkbox"/>	<u>h</u>	
Insulation (H1)			
Type, location, R Value	<u>na</u> <input type="checkbox"/>		
Calculations	<input type="checkbox"/>	<u>h</u>	

			Initial if OK	Peer Review
Timber / Steel Structure				
NZS:3604		<input type="checkbox"/>		
Engineer's design	<u>Skylar</u>	<input checked="" type="checkbox"/>		
Proprietary		<input checked="" type="checkbox"/>		
Other		<input type="checkbox"/>	<u>L</u>	
Weather Tightness Details (E2)				
E2 risk matrix		<input checked="" type="checkbox"/>		
Flashings		<input checked="" type="checkbox"/>		
Ground clearance		<input checked="" type="checkbox"/>		
Masonry veneer		<input checked="" type="checkbox"/>		
Direct fixed cladding		<input checked="" type="checkbox"/>		
Cavity claddings		<input checked="" type="checkbox"/>		
Building wrap / roof underlay		<input checked="" type="checkbox"/>		
Manufacturer's specifications		<input type="checkbox"/>	<u>L</u>	
Plumbing Water Pipes (G12)				
Materials		<input checked="" type="checkbox"/>	<u>L</u>	
Hot water system		<input checked="" type="checkbox"/>	<u>L</u>	
Ventilation				
Windows		<input checked="" type="checkbox"/>	<u>L</u>	
Mechanical		<input checked="" type="checkbox"/>	<u>L</u>	
Safety Glass NZS 4223:1999				
Internal Surface Finishes				
Fire	<u>Gib fire wall</u>	<input checked="" type="checkbox"/>		
Wet areas		<input checked="" type="checkbox"/>	<u>L</u>	
Slip resistance		<input checked="" type="checkbox"/>	<u>L</u>	
Specifications				
Site specific		<input checked="" type="checkbox"/>	<u>L</u>	
Comply with code		<input checked="" type="checkbox"/>	<u>L</u>	
Producer Statements				
- Type	<u>PS1 Design Generic</u>	<input checked="" type="checkbox"/>		
- Site location		<input checked="" type="checkbox"/>		
- Author assessed (CO17)	<u>Clens</u>	<input checked="" type="checkbox"/>		
- Work correctly identified		<input checked="" type="checkbox"/>		
- Code clauses covered		<input checked="" type="checkbox"/>		
- Work within Author's approved scope		<input checked="" type="checkbox"/>		
- Limitations restricting Producer Statement		<input checked="" type="checkbox"/>		
- Signed and dated by Author (PS1)		<input checked="" type="checkbox"/>		
- Inspection schedule		<input checked="" type="checkbox"/>		
- Have plans-specs been signed and dated by author or referenced		<input checked="" type="checkbox"/>		
- Supporting info provided/does the design interface with the non spec design		<input type="checkbox"/>		
- PS4 required and proposed in PS1		<input type="checkbox"/>		
- Is peer review required	Yes <u>No</u>		<u>L</u>	

	Initial if OK	Peer Review
Structural Fixings (Load Path) - Purlin to Rafter or Truss <input checked="" type="checkbox"/> _____ - Rafter to plates and ridges, and or beams <input checked="" type="checkbox"/> _____ - Truss to plates or beams <input checked="" type="checkbox"/> _____ - Plate to Stud and or beam to post <input checked="" type="checkbox"/> _____ - Lintel tie down details <input checked="" type="checkbox"/> _____ - Bracing tie down details <input checked="" type="checkbox"/> _____ - Bottom plate fixing details <input checked="" type="checkbox"/> _____ - Post to foundation fixings <input checked="" type="checkbox"/> _____ - Any point loads <input checked="" type="checkbox"/> _____ - Have thickenings for trusses been shown <input checked="" type="checkbox"/> _____ - Has bottom cord restraint been specified <input checked="" type="checkbox"/> _____ - Chimney structures within non specific design <input checked="" type="checkbox"/> _____		
Fire Safety - Purpose group SH only (no greater than 3 stories, detached dwelling where people live as a single household or family Table 2.1) <input checked="" type="checkbox"/> _____ - Purpose group SR consider STC and fire separation (walls floor ceiling etc) <input checked="" type="checkbox"/> _____ - Means of escape (24m for single escape and 60m for 2 escape routes Table 3.3) <input checked="" type="checkbox"/> _____ - Fire Ratings (if less than 1m from boundary 30/30/30 rating required. If roof eaves within 650mm of boundary walls still req. 30/30/30 Table 7.10.1 and 7.8.5) <input checked="" type="checkbox"/> <u>Sub system</u> _____ - Carports / open sided buildings (Fire ratings req. figure 7.10) <input checked="" type="checkbox"/> _____ - Small Buildings (Fire ratings figure 7.10.6) <input checked="" type="checkbox"/> _____ - Farm Stay, B & B (OK for SH if less than 6 beds for guests appendix A) <input checked="" type="checkbox"/> _____ - Domestic Smoke Alarms (F7ASI 3.1) <input checked="" type="checkbox"/> _____ - Fire Walls (design & specification of wall from manufacturer etc.) detail for construction included in plan <input checked="" type="checkbox"/> _____ - Structural fire endurance, bottom plate/structural fixing, details provided <input checked="" type="checkbox"/> _____		
Restricted Building Work [RBW] COW covers all RBW included in this application <input checked="" type="checkbox"/> _____ Designer is appropriately licensed <input checked="" type="checkbox"/> _____		

	Yes	No
Further information is required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Applicant notified	<input type="checkbox"/>	<input type="checkbox"/>
Further information received	<input type="checkbox"/>	<input type="checkbox"/>

I Bruce am satisfied on reasonable grounds that the provisions of the building code will be met if the building work were properly completed in accordance with the plans and specifications that accompanied the application.

Granted Date 10-3-15 Signed Bruce

Peer Review Date..... Signed.....

Job Card

Site address

Valuation #

Use of bldg

Bldg Category

Description
of bldg work

Overseer

Approved to process

Intended start date

Owner name

Agent name

Phone

Phone

Email

Email

Date	Notes	Time
20.2.15	RAC New garage ok.	
	RC. 150002	
	Fire wall details to come. ✓	
	Shona - copy of CT please.	

CONSENT FORMALLY ACCEPTED FOR PROCESSING

DATE: 20/2/15

SIGNED:

THE APPLICATION

☐ User guide filled out correctly?

BC number:

BC150069

APPLICATION TO BE CHECKED BY:

Y or N/A

g	Planning and Historic Places Trust	Boundaries / site coverage / district plan rules / historic buildings / ALL CONSENTS TO PLANNING OFFICER [EXCEPT INTERNAL ALTERATIONS – non historic]	SP	25/02	20m
AND	Roads and Access	Commercial properties and corner properties please refer to Roading Services Officer			
e	Utility Services	If connection to lateral required, commercial or more than one tenancy please refer to Water Services Officer			
x	Trade Waste	Non-domestic waste to sewer requires application prior to issuing consent. Refer to Water Services Officer			
f	Environmental Health	Refer applications for liquor/food/hairdressers to Environmental Health Officer			
r	Fire Design SPECIALIST	Fire design summary required for all commercial – to be reviewed by specialist BCO			
i	P & D SPECIALIST	Commercial to be reviewed by specialist BCO			
e	Structural SPECIALIST	Earthquake prone buildings / technical engineered projects to be reviewed by specialist BCO			
f	Development Contributions	ALL new non-residential buildings and alterations which change use or demand also multi-unit Refer to Planning Officer			
r	Compliance Schedule	If building will need a new or amended Compliance Schedule refer to QAS procedure			
i	ORC	Aquifer zones [Roxburgh and Etrick] please refer Water/discharge rights in Rural areas?			
y	Building ADMIN				

[illegible]

23 January 2015

P R & H P Samson
7 Donegal Street
Cromwell 9310

Dear Sir/Madam

RESOURCE CONSENT: RC150002 - 7 DONEGAL STREET, CROMWELL

This is to advise that the application for land use consent to breach the side yard which breaches the standards contained in Rule 7.3.6(iii) (c) of the Central Otago District Plan, on a property situated at 7 Donegal street, Cromwell, described as Lot 1 DP 301986 has been approved by the Manager, Planning and Environment under delegated authority, subject to the following conditions:

1. The garage shall be sited and constructed in accordance with the site plans provided in the application.
2. The garage shall be sited no closer than 0.3 metres from Eastern Boundary adjoining 7A Donegal Street

Following consideration of the application it has been determined that any effects on the environment will be no more than minor and that granting consent will not be contrary to the objectives and policies of the relevant district plan.

I draw your attention to Section 357 of the Resource Management Act 1991 which confers a right of objection to the Council to the conditions of consent.

Yours faithfully

Sarah Davidson
Planning Officer

PROJECT INFORMATION MEMORANDUM

Section 34, Building Act 2004

APPLICATION

Sangster Construction Ltd	No.	150069
4 Chardonnay St	Issue date	10/03/15
Cromwell 9310	Application date	20/02/15
	Overseer	Bill Massey

PROJECT

Description	Residential - New garage Being Stage 1 of an intended 1 Stages Erect a new garage
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$23,000
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Valuation No.	2850578100

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

- this document is not approval to build
- the building consent authority will follow up on building work not completed within two years of building consent issue
- a building consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue

This project information memorandum includes:

___ Important information

Notes

The site is within the Residential Resource Area of the Central Otago District Plan.

Subject to conditions of land use consent RC150002. Please refer to the decision document for details of the conditions. Should you require a copy of the decision please contact Council Planning staff

Prior to CCC for the building it is requested that written confirmation is provided to the Planning Team that confirms all relevant conditions of the land use consent associated with the building have been met.

Building Consent Officer:	Bill Massey	On behalf of:
Signature:		Central Otago District Council
Date:	10/03/15	PO Box 122
		Alexandra



H1 Report

Skyline Buildings Ltd

1 Rymer Place
Mangere Bridge
Auckland

ph (09) 636 0200
fax (09) 636 0201

H1 / AS1 Energy Efficiency - Acceptable Solution Schedule Method for Climate Zone 3

"Non-Solid" Light Timber Framed Construction

Client : Craig Webster
Project : Proposed 10.8 x 6.6 House
Address : Omakau

Building Dimensions

Building Length	=	10.8	m
Building Width	=	6.6	m
Stud Height	=	2.4	m
Floor Area	=	71.3	m2

North Wall

North Wall Area	=	25.9	m
North Wall Glazing	=	7.5	m2
% Glazing to Wall Area	=	29	%

East , West & South Walls

East Wall Area	=	15.8	m2
East Glazing Area	=	1.5	m2
South Wall Area	=	25.9	m2
South Wall Glazing	=	2.2	m2
West Wall Area	=	15.8	m2
West Wall Glazing	=	3.2	m2
East, West & South - % Glazing to Wall Area	=	12	%

Less than 30% ∴ Meets schedule method requirements

Use insulation details in following table

Climate Zone 3 - NZBC H1 / AS1 21st October 2007 - Replacement Table 1

Building Thermal Envelope Component		Minimum R- values (m2 deg Cel / Watt)	Insulation Product
Roof		3.3	Pink Batts R3.6 Ceiling
Wall		2.0	Pink Batts R2.2 Walls
Floor	Concrete slab	1.3	100mm Concrete Slab
Vertical Glazing		0.26	Double Glazing
Skylight Glazing		0.31	n/a

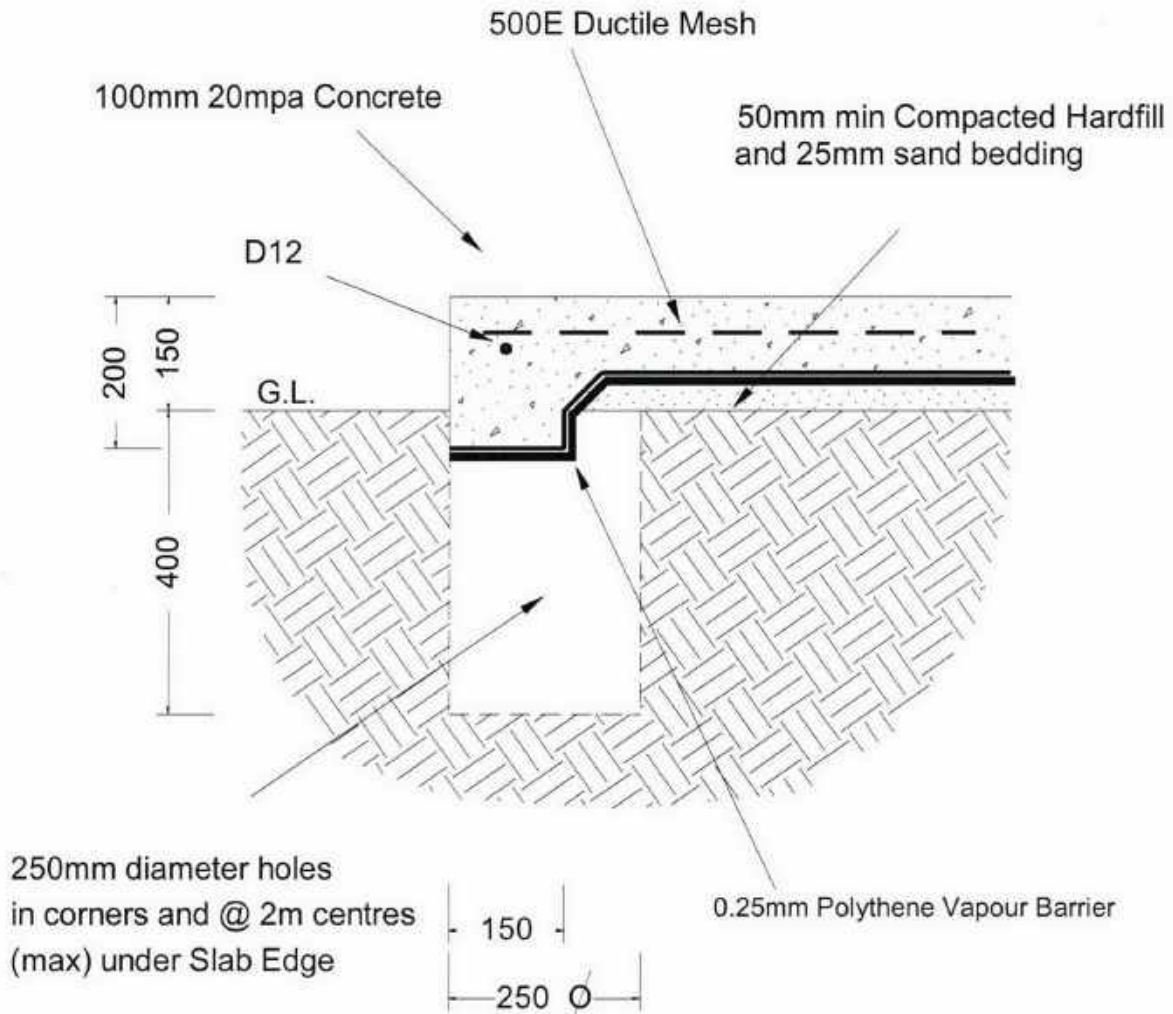
APPENDIX B



GARAGE FOUNDATIONS

Note: These floors Must not be used for habitable purpose

Foundation and Slab for Standard Skyline Garage Drawing Number SF1



Saw cut shrinkage control joints (25mm min depth)
panels formed to have min L:W ratio of 1:3:1 with
max plan dimension of 3m between control joints.

Skyline Buildings Ltd
1 Rymer Place
Mangere
Auckland
09 636 0200



Skyline Engineering Drawing
Concrete Floor Details
Version Date: June 2012
Number: SF1

Form 2 Application for Building Consent and/or Project Information Memorandum Section 33 or 45, Building Act 2004



1 Dunorling Street
P O Box 122
Alexandra 9340
(03) 440 0056

605

1. THE BUILDING [If item is not applicable put NA in the space]

Street address of building: 7 DONEGAL STREET
CROMWELL 9310

[If no street address - details of nearest intersection]

Legal description of land where building is located: Lot 1 DP 301986

Site area 566 (m²) Sec Block

Building name: HOTOP HOUSE Valuation Number 2850578100

Location of building within site/block number: [Include nearest street access] STREET FRONTAGE

Number of levels: [Above & below ground] 1 Level /Unit Number: X

Floor area: 192 incl verandah (m²) [Indicate area affected by the building work]

Current, lawfully established, use: Residential Year First Constructed: 1920?

[Add no. of occupants per level and per use if more than 1] 2

OFFICE USE ONLY:

Consent Number:

150117

PIM Number:

Compliance Schedule No:

Date received:



2. APPLICATION [Tick as applicable]

I request that you issue a (for the building work described in this application)

- ☐ Project Information Memorandum (PIM)
- ☐ Project Information Memorandum (PIM) and Building Consent
- ☒ Building Consent The existing PIM No [if applicable] is:
- ☐ Amendment to an existing Building Consent. The existing BC No is:

State the reference number if this application involves a National Multiple Use Approval:

Name: PAUL & HEATHER SAMON Signature: [Signature] Date: 12-3-15

The signature is that of the ☒ Owner OR ☐ the Agent on behalf of and with the approval of the Owner

3. THE PROJECT

DESCRIPTION OF BUILDING WORK: [Provide sufficient information below to enable scope of work to be fully understood]

CHANGES TO INTERNAL & EXTERNAL AREAS OF EXISTING DWELLING

Current use of building: RESIDENTIAL (BED + BREAKFAST) [E.g. Home, implement shed, office]

Will the building work result in a change of use of the building? ☐ Yes ☒ No If Yes, provide details of the new use of the building:

Intended life of the building if less than 50 years: N/A [Years]

List Building Consents previously issued for this project (if any): NONE

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):

\$39,500 [State estimated value as defined in section 7 of the Building Act 2004]

Is prescribed energy work to be part of this Building Consent (tick if applicable) Gas ☒ Electricity ☐ HWC FROM EL TO GAS CALIPHON



4. OWNER

Name of Owner: PAUL & HEATHER SAMSON
 Contact person: HEATHER SAMSON
 Mailing address: 7 DONEGAL STREET
CROMWELL 9310
 Street address/registered office: A/A
 Phone No.: Landline: (03) 445 4305
 Mobile: 0210 322 552
 Daytime: A/A
 After hours: A/A
 Facsimile: N/A
 Email: heather.samson@hotmail.com
 Website: N/A

THE FOLLOWING EVIDENCE OF OWNERSHIP IS ATTACHED:

- ☒ Certificate of Title ☐ Lease Agreement
☐ Agreement for Sale and Purchase ☐ Other document

5. AGENT [Only required if application is being made on behalf of the owner]

Name of Agent:
 Contact person:
 Mail address:
 Street address/registered office:
 Phone No.: Landline:
 Mobile:
 Daytime:
 After hours:
 Facsimile:
 Email:
 Website:
 Relationship to owner: [State details of the authorisation from the owner to make the application on the owner's behalf]

FIRST POINT OF CONTACT for communications with the Council / Building Consent Authority:

☒ Owner ☐ Agent

Or: (if different to above details) Name: Email:

Mailing Address: Phone: Facsimile:

6. RESTRICTED BUILDING WORK

Will the building work include any restricted building work? ☒ Yes ☐ No

If Yes, provide the following details of all licensed building practitioners who will be involved in carrying out or supervising the restricted building work (if these details are un-known at the time of the application, they must be supplied before the building work begins.):

Name	Licensing Class	Licensed Building Practitioner Number (or registration number if treated as being licensed under section 291 of the Building Act 2004)
<u>DEREK CRAIG</u>	<u>DESIGNER LBP</u>	<u>100531</u>
<u>MURRAY CLEAVE</u>	<u>Builder BP</u>	<u>107128</u>
<u>JONATHAN MILNE</u>	<u>Plumber/Draught/Gas</u>	<u>17020</u>
<u>STACEY BAILEY</u>	<u>Electrician E</u>	<u>17229</u>

Note: Continue on another page if necessary

KELVIN REID - RENDERER

114086

7. PROJECT INFORMATION MEMORANDUM [Do not fill in this section if the application is for a building consent only]

The following matters are involved in the project: [Tick the matters relevant to the project]

- ☐ Subdivision
☐ Alterations to land contours [e.g. digging out the site for a building platform]
☐ New or altered connections to public utilities [e.g. Council sewer, storm water or water mains]
☐ New or altered locations and/or external dimensions of buildings
☐ New or altered access for vehicles
☐ Building work over or adjacent to any road or public place
☐ Disposal of stormwater and wastewater
☐ Building work over any existing drains or sewers or in close proximity to wells or water mains
☐ Other matters known to the applicant that may require authorisations from the Territorial Authority: [Specify]

8. BUILDING CONSENT

The following plans and specifications are attached to this application: *(please enter these in section 10 below)*

THE BUILDING WORK WILL COMPLY WITH THE BUILDING CODE AS FOLLOWS:

Building Code Clause <i>Tick relevant clauses</i>	Means of Compliance <i>Tick relevant compliance path(s) for each clause selected.</i>				
	Acceptable Solution	NZS 4121 Accessible Design	Verification Method	Alternative Solution <i>Please complete Form SBCG 34.1</i>	Waiver/Modification <i>Please complete Form SBCG 23.1</i>
<input checked="" type="checkbox"/> B1 Structure	<input checked="" type="checkbox"/> B1/AS1 <input type="checkbox"/> B1/AS3		<input type="checkbox"/> B1/VM1 <input type="checkbox"/> B1/VM4	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> B2 Durability	<input checked="" type="checkbox"/> B2/AS1		<input type="checkbox"/> B2/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> C1-4 Fire Safety Clauses (not used after 9 April 2013)	<input type="checkbox"/> C/AS1		<input type="checkbox"/> C/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> C1-6 Fire Safety Clauses (new code clauses)	<input type="checkbox"/> C/AS1 <input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS3 <input type="checkbox"/> C/AS4 <input type="checkbox"/> C/AS5 <input type="checkbox"/> C/AS6 <input type="checkbox"/> C/AS7		<input type="checkbox"/> C/VM2	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> D1 Access routes	<input checked="" type="checkbox"/> D1/AS1	<input type="checkbox"/>	<input type="checkbox"/> D1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> D2 Mechanical installation for access	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> D2/AS3	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> E1 Surface water	<input type="checkbox"/> E1/AS1		<input type="checkbox"/> E1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> E2 External moisture	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> E2/AS2 <input type="checkbox"/> E2/AS3		<input type="checkbox"/> E2/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> E3 Internal moisture	<input checked="" type="checkbox"/> E3/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F1 Hazardous agents on site			<input type="checkbox"/> F1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> F2/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F3 Hazardous substances and processes			<input type="checkbox"/> F3/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> F4/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> F5 Construction and demolition hazards	<input checked="" type="checkbox"/> F5/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F6 Visibility in escape routes	<input type="checkbox"/> F6/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> F7 Warning systems	<input checked="" type="checkbox"/> F7/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> F8 Signs	<input type="checkbox"/> F8/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G1 Personal Hygiene	<input checked="" type="checkbox"/> G1/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G2/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G3 Food preparation and prevention of contamination	<input type="checkbox"/> G3/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G4 Ventilation	<input checked="" type="checkbox"/> G4/AS1		<input type="checkbox"/> G4/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G5 Interior environment	<input type="checkbox"/> G5/AS1	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G6 Airborne impact sound	<input type="checkbox"/> G6/AS1		<input type="checkbox"/> G6/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G7 Natural light	<input checked="" type="checkbox"/> G7/AS1		<input type="checkbox"/> G7/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G8 Artificial light	<input type="checkbox"/> G8/AS1		<input type="checkbox"/> G8/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G9 Electricity	<input checked="" type="checkbox"/> G9/AS1		<input type="checkbox"/> G9/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G10 Piped services	<input type="checkbox"/> G10/AS1		<input type="checkbox"/> G10/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G11 Gas as an energy source	<input checked="" type="checkbox"/> G11/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G12 Water supplies	<input checked="" type="checkbox"/> G12/AS1 <input type="checkbox"/> G12/AS2		<input type="checkbox"/> G12/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> G13 Foul water	<input checked="" type="checkbox"/> G13/AS1 <input checked="" type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3		<input type="checkbox"/> G13/VM1 <input type="checkbox"/> G13/VM4	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> G14/AS1		<input type="checkbox"/> G14/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> G15 Solid waste	<input type="checkbox"/> G15/AS1			<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> H1 Energy efficiency	<input checked="" type="checkbox"/> H1/AS1		<input type="checkbox"/> H1/VM1	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> B1-H1 Simple House Solution	<input type="checkbox"/> SH/AS1				
<input type="checkbox"/> B1-H1 Back Country Hut	<input type="checkbox"/> BCH/AS1				

9. COMPLIANCE SCHEDULE (specified systems are defined in regulations)

☐ The specified systems for the building are as follows:

☐ The following specified systems are being altered, added to, or removed in the course of the building work:

☒ There are no specified systems in the building

Please provide the details required by completing either form :

- SBCG27 Compliance Schedule Specified Systems (or)
- SBCG11 Application for amendment to Compliance Schedule

10. ATTACHMENTS

The following documents are attached to this application: [Tick as applicable]

☒ Plans and specifications (list) (or attach a list) LIST ATTACHED

☒ Memoranda from licensed building practitioner(s) who carried out or supervised any design work that is restricted building work

☐ Project Information Memorandum ☐ Development contribution notice ☒ Certificate attached to Project Information Memorandum

☐ Other information relevant to this application: [Please specify]:

☒ Current Certificate of title provided - or do you request Council to obtain at your expense ☐

11. CONTACTS (involved in this project)

Designer

Name(s): DEREK CRAIG
Postal Address: 4 MOLYNEUX AVE
CROMWELL
Cellphone: 0275 610 916 Daytime: (03) 445 3302
Reg No: BP100531 Email: dchomes99@gmail.com

Engineer

Name(s):
Postal Address:
Cellphone: Daytime:
Reg No: Email:

Builder

Name(s): MURRAY CLEAVE
Postal Address: 9- Mt Pisa Station
Mt Pisa Rd, Mt Pisa
Cellphone: 0272113757 Daytime:
Reg No: BP107128 Email:

Gasfitter

Name(s): JONATHAN MILNE
Postal Address: (AS BELOW)
Cellphone: Daytime:
Reg No: Email:

Drainlayer

Name(s): JONATHAN MILNE
Postal Address: (AS BELOW)
Cellphone: Daytime:
Reg No: Email:

Plumber

Name(s): JONATHAN MILNE
Postal Address: 2 WALTER CRESCENT
CROMWELL
Cellphone: 021382586 Daytime: =
Reg No: 17020 Email: jonathan@notjustplumbing.co.nz

Electrician

Name(s): Stacey Bailey of Raytech
Postal Address: 9A Molyneux St
Cromwell
Cellphone: 0274 705 207 Daytime: (03) 445 4309
Reg No: F17229 Email:

Other EXTERNAL RENDERER

Name(s): KELVIN REID
Postal Address: CROMWELL
Cellphone: 0274 477 055 Daytime: =
Reg No: BP114086 Email:



User Guide for Minor Alterations to Dwellings

NOTE: Minor alterations are those within the existing building that do not affect the weather tightness of the building or require specific design or changes to drainage plans.

Please complete this user guide, your building consent application and compile all the necessary documentation. When you are ready to lodge your application, please phone your appointed Overseer

CODC Overseer: <i>R. Clark</i>	Direct Dial Ph:
Valuation number: <i>28 50578100</i>	

Complete and technically correct building consent applications are processed **FASTER** than incorrect ones

Application

	Applicant to complete		Office use only
	Yes	N/A	
Legal description and location address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Correct total <u>value</u> of building work been shown (Note: this may be different from cost)	<input type="checkbox"/>		<input checked="" type="checkbox"/>
Evidence of Ownership (Current Certificate of Title)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Authorization to act as Agent for Owner (for applications made on behalf of the owner)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Application form completed correctly - in pen, signed and dated, with correct fees	<input type="checkbox"/>		<input checked="" type="checkbox"/>
Certificate of design work [COW] provided covering restricted building work	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plans			
Have you provided two copies of: (The second copy will be returned to you with your consent)			
Plans	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Specifications	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Specific design – P51	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has the original floor layout been shown?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has all demolition work been shown?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Has the proposed floor layout been shown? [Please include the location of smoke alarms]	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Have all external and internal dimensions been shown?	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
Has the position of structural beams and fixings been shown?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Removal of walls (or part walls) may require bracing calculations – are these provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cross-section			
Have you provided a cross-section through areas of construction showing method of construction & specifying ALL materials used & surface finishes? Please include section through stairs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Has the plumbing with drainage layout been shown?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: changes to plumbing & drainage layout require specification of pipe sizes & materials, insulation, venting, surface finishes, safety glazing etc. Manufacturer's installation instructions should be provided for shower installations & water proof membranes shown in a cross-section for wet area showers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952




R. W. Muir
Registrar-General
of Land

Search Copy

Identifier 7974
Land Registration District Otago
Date Issued 27 July 2001

Prior References

OT398/111 OT398/112

Estate Fee Simple
Area 566 square metres more or less
Legal Description Lot 1 Deposited Plan 301986

Proprietors

Paul Robert Samson and Heather Patricia Samson

Interests

Appurtenant hereto is a right to convey sewage specified in Easement Certificate 5064712.3 - 27.7.2001 at 3:44 pm

The easement specified in Easement Certificate 5064712.3 is subject to Section 243 (a) Resource Management Act 1991

9798177.1 Mortgage to Kiwibank Limited - 1.8.2014 at 4:44 pm



 DocID: 110211707

445100m
 445100m
 445100m

Lot 1
 DP 9047

Lot 2
 DP 24741

Lot 3
 DP 9047

Lot 2
 DP 24741

Lot 1
 566m²

Lot 2
 844m²

Lot 3
 504m²

DONEGAL ST Legal Rd 20

Sec 11
 Sec 10
 Sec 9

Approved pursuant to Section 223 of the Resource Management Act 1991 on the 20th day of April 1996. Subject to the granting or reserving of the easement set out in the Memorandum hereon. The Common Seal of the Central Otago District Council is affixed hereto in the presence of:

Mayor: *[Signature]*
 General Manager (as participating): *[Signature]*

Pursuant to Section 224(2) of the Resource Management Act 1991 I hereby certify that all the conditions of the subdivision consent have been complied with to the satisfaction of the Central Otago District Council.

Dated this 20th day of April 1996
 Authorised Officer: *[Signature]*

Memorandum of Easements

Shown	Purpose	Serv ten	Dum ten
20	Right to Easery Sewage	Lot 2	Lot 1

Lot 1 - 7976
 Lot 2 - 7975



Datum: Geodetic 1949
 Circuit: Linds Peak
 Coordinates are in terms of false origin
 700000mE 3000000mE

Total Area 1410m²

Comprised in CT 398/Mt Hall, CT 398/Mt Hall

I, Peter Lurgan, District Surveyor, do hereby certify that this plan has been made from surveys conducted by me or under my direction, that both plan and surveys are correct and have been made in accordance with the Survey Regulations 1952 or any regulations made in substitution thereof.

Dated at Cromwell this 21st day of April 1996
 of Peter Lurgan, District Surveyor

Field Book: *[Blank]*
 Reference Plans: DP 9047, DP 24741

Licensed: *[Blank]* Correct: *[Blank]*

Approved as to Survey: *[Signature]*
 28.1.1996 Deputy Chief Surveyor

Deposited this 27th day of July 2008
 for Registration: Council of Land

File: *[Blank]*
 Revised: 1.6.01
 Approved: *[Blank]*

DP 301986

LAND DISTRICT Otago
 SURVEY BLK. & DIST. BLK. LIX. Tn. of Cromwell
 NZMS 261 SHT G.41 RECORD MAP No. 04-32

LOTS 1 & 2 BEING A SUBDIVISION
 OF LOTS 2 & 3 DP 9047

TERRITORIAL AUTHORITY Central Otago Dist.
 Surveyed by Paterson Pitts Partners Ltd.
 Scale 1:200 Date November 1996

N.Z. SOLICITOR, SURVEYOR GENERAL, DEPARTMENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND

445100m

General Property Information: 2850578100

SAMPSON PAUL ROBERT & SAMPSON HEATHER PATRICIA

Property

Valuation No	2850578100 : GIS
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Owner	SAMPSON PAUL ROBERT : SAMPSON HEATHER PATRICIA
Owner Address	7 DONEGAL STREET CROMWELL 9310
Area (Hectares)	0.0566

Rates

Government Valuation

Land	134,000
Improvements	181,000
Capital Value	315,000

Current Rates Year 2014 to 2015

Annual Rates	1,842.15
Current Instalment	460.55
Outstanding Balance	-460.50
Arrears for Previous Years	0.00
Next Instalment Date	20/05/15

Planning/Resource Management

16/02/15	RESOURCE CONSENT 150002 : Land use consent to breach the side yard. : Decision Notified 23/01/15
7/02/96	RESOURCE CONSENT 950106 : BOUNDARY ADJUSTMENT BETWEEN TWO EXISTING TITLES : Decision Notified 21/12/95

Building

10/03/15	BUILDING CONSENT 150069 : Erect a new garage : Building Consent Issued 10/03/15
18/09/13	BUILDING CONSENT 130595 : Internal alterations to existing dwelling. : Code Compliance Certificate issued 24/02/14
6/03/12	BUILDING CONSENT 120154 : Install a new Masport fire : Code Compliance Certificate issued 14/03/12
25/09/96	BUILDING CONSENT 960568 : ALTERATIONS & ADDITIONS INCL FIRE APP : Code Compliance Certificate issued 17/09/01

Contributions	No information located
---------------	------------------------

Licences

No information located

Sewer and Drainage

Water	Connected
Sewer	Connected

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

Swimming Pools

No information located

Other

8/08/13	SERVICE REQUEST 132221 : Water Service Requests
12/06/13	LIM APPLICATION L130315 : Residential - Standard LIM
26/03/13	SERVICE REQUEST 130987 : Water Service Requests
31/01/08	SERVICE REQUEST 080454 : Water Service Requests
22/01/07	SERVICE REQUEST 070347 : Roading - Footpaths/Carparks
22/12/03	LIM APPLICATION L030614 : Residential - Urgent LIM : Cancelled 15/01/04
19/12/03	LIM APPLICATION L030610 : Residential - Standard LIM
29/10/03	LIM APPLICATION L030525 : Residential - Standard LIM
11/09/96	SERVICE REQUEST 961196 : Water Service Requests
30/08/2001	LIM Cromwell First National LOTS 2-3 DP 9047 Cromwell Town

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Created By: lmc
 Print Date: 11/03/2015
 Print Time: 4:50 PM



Scale: 1:495
 Original Sheet Size A4

Projection: NZGD2000 / New Zealand Transverse Mercator 2000
 Bounds: 1301548.36781493,5004725.4592393
 1301639.97788507,5004839.34903387

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The information shown on this plan may not be accurate and is indicative only.

The Central Otago District Council accepts no responsibility for incomplete or inaccurate information.

PROLAM SUMMARY

Customer/Project: Samson

Physical Address: 7 Donegal Street, Cromwell

Designer: Derek Craig, Mr

Company: DC Homes Ltd

Postal Address: 4 Molyneux Ave, Cromwell 9310, cromwell 9310

Email: dchomes99@gmail.com

Phone: 034453302

Fax:

Snow Region: Region N5. Altitude: 300 m. Roof Snow: 0.7875 kPa. Ground Snow: 1.1250 kPa

Beam over removed Wall



Prolam Lintels Supporting Roof and Ceiling

Deflection	6.8 mm	Capacity	1.3 mm
End Reaction (down)	5.6 kN	End Reaction (uplift)	2.5 kN
Load Comb. (down)	1.2G + Su	Load Comb. (uplift)	0.9G + W _{uplift}
Building Type	House	Timber	Pine, Machined
Treatment	H1.2	Visual	No
Exposed	No	Snow Load	See above
Wind Zone	High	Wind Speed	44.0 m/s
Roof Weight	Light (0.250 Kpa)	Eaves	400 mm
Roof Pitch	25.00 °	Lintel Span	3.60 m
Roof Span	3.60 m	Ceiling	Yes (0.15 Kpa)

Use Prolam PL8H1 200MC — 190 x 90mm — GL8



This Specification only applies to Prolam® Branded Products

PRODUCER STATEMENT

Tasman Consulting Engineers Ltd have been engaged by Prowood to prepare span tables and charts for the PROLAM® lintels, beams and posts as presented in the PROLAM® Post and Beam Manual.

The design has been carried out using sound and widely accepted engineering principles to the requirements of AS/NZS1170:2002, NZS3603:1993 and NZS3604:2011 using the timber properties for GL8, GL12 and GL16 glue laminated timber.

David King

David King

ME(Civil) MIPENZ (No.145511) CPEng IntPE

for Tasman Consulting Engineers Limited

PO Box 3631, Richmond, NELSON 7050

1 October 2014

283 Waiwhero Rd P O Box 413 Motueka New Zealand Phone 03 526 7436 Fax 03 526 7437

Email: info@prowoodnz.com • www.prolamnz.com

TIMBER PROPERTIES

DRY USE

Characteristic Strengths and Elastic Moduli for Glulam Grades

PL Grade	Characteristic Strengths (MPa)				Elastic Moduli (MPa)	
	Bending	Tension parallel to grain	Shear in Beam	Compression parallel to grain	Short modulus of elasticity parallel to the end grain	Short duration modulus of rigidity for beams
PL 17	42	21	3.7	35	16700	1100
PL 12	25	12.5	3.7	29	11500	770
PL 8	19	10	3.7	24	8000	530

Note:

1. Higher grades (i.e. PL12, PL17) will give greater span and load carrying capability than GLB for the same section size.

WET USE - (H3.2 treated)

Characteristic Strengths and Elastic Moduli for Glulam Grades

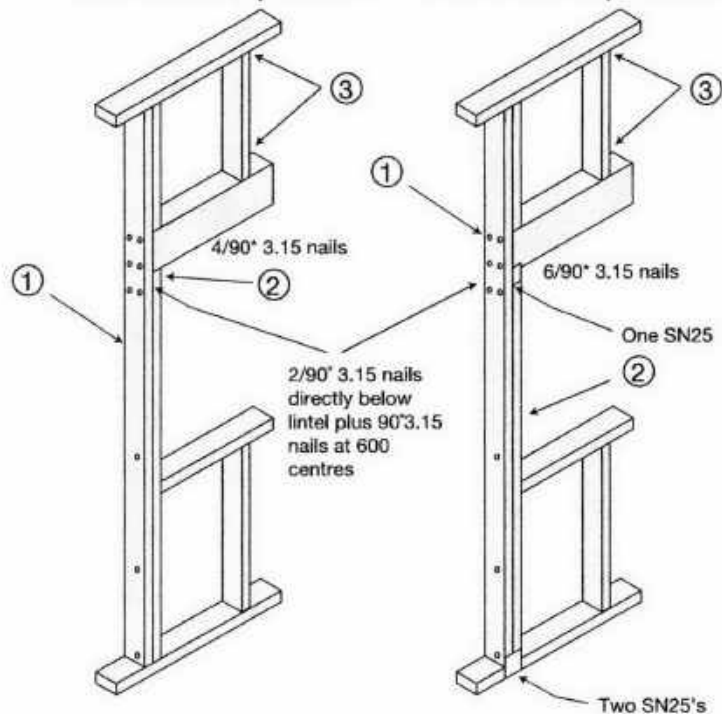
PL Grade	Characteristic Strengths (MPa)				Elastic Moduli (MPa)	
	Bending	Tension parallel to grain	Shear in Beam	Compression parallel to grain	Short modulus of elasticity parallel to the end grain	Short duration modulus of rigidity for beams
PL 17	33.6	16.8	2.5	28.0	13400	880
PL 12	20.0	10.0	2.5	23.2	9200	610
PL 8	15.2	8.0	2.5	19.2	6400	420

Note:

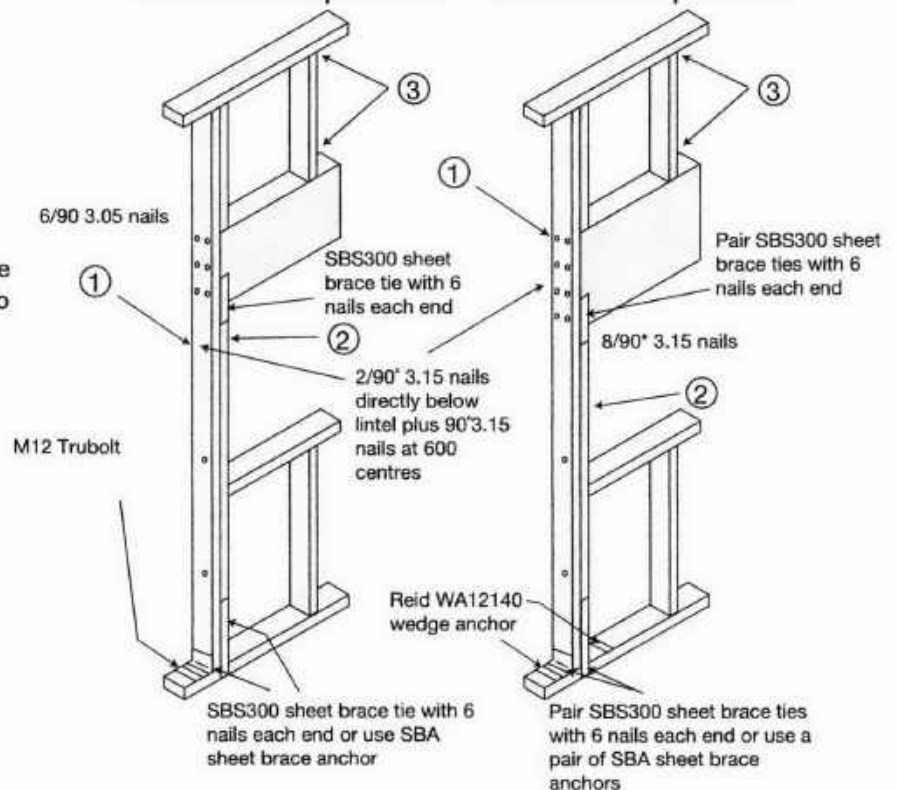
1. Higher grades (i.e. PL12, PL17) will give greater span and load carrying capability than GLB for the same section size.

FIXING & SUPPORT DETAILS

A 1.4 kN or equivalent **B** 2.8 kN or equivalent



C 8.0 kN or equivalent **D** 14 kN or equivalent



1. For trimming stud thickness refer to Table 8.5 NZS 3604:2011. Additional studs to that shown to have a minimum stud to stud fixing of 11/90° 3.15 diam. nails
2. Refer to Pryda Wallplate to Stud Joint Fixing Guide
3. Where a doubling stud which provides support for a lintel is shorter by 400mm or more than the full stud height, its thickness shall not be included as contributing to the thickness of trimming studs.
4. Bottom plate fixings as shown also applies to Pryda Lintel - the top plate fixing does not apply.

The span tables apply only to Prolam® products

ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:2011

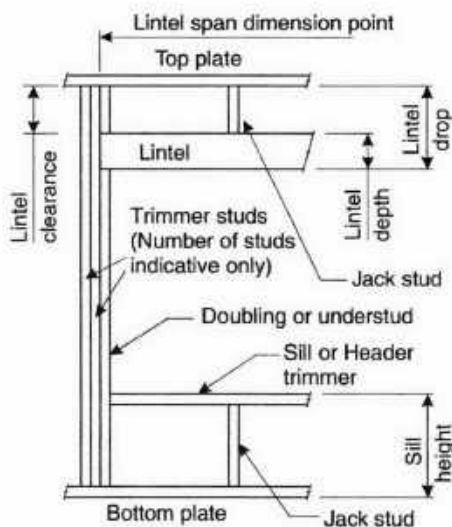
All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20 kPa.

Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.

These fixings assume the correct choice of rafter/truss to top plate connections have been made.

All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species. Wall framing arrangements under girder trusses are not covered in this schedule.

All timber selections are as per NZS 3604:2011.



Lintel Supporting Girder Trusses:

Roof Tributary Area	Light Roof Wind Zone				Heavy Roof Wind Zone			
	L	M	H	VH	L	M	H	VH
8.6 m ²	G	G	H		G	G	H	
11.6 m ²	G	H	H		G	G	H	
12.1 m ²	G	H	H		G	H	H	
15.3 m ²	H	H	-		G	H	H	
19.1 m ²	H	-	-		G	H	-	
20.9 m ²	H	-	-		H	H	-	
21.8 m ²	H	-	-		H	-	-	
34.3 m ²	-	-	-		H	-	-	

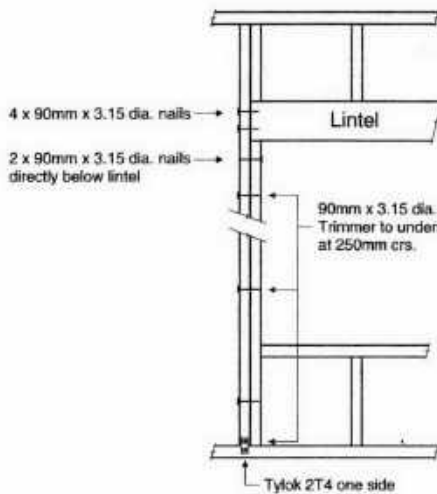
Notes:

- 1) Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
- 2) Assumed girder truss is at mid-span or middle third span of lintel
- 3) Use similar fixings for both ends of lintel
- 4) All other cases require specific engineering design

Lintel Span	Loaded Dimension (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone					Heavy Roof Wind Zone				
		L	M	H	VH	EH	L	M	H	VH	EH
0.7	2.0	E	E	E	E	F	E	E	E	E	E
	3.0	E	E	E	F	F	E	E	E	E	F
	4.0	E	E	F	F	F	E	E	E	F	F
	5.0	E	F	F	F	G	E	E	F	F	F
	6.0	E	F	F	G	G	E	E	F	F	G
0.9	2.0	E	E	E	F	F	E	E	E	E	F
	3.0	E	E	F	F	F	E	E	E	F	F
	4.0	E	E	F	F	F	E	E	F	F	F
	5.0	E	F	F	F	G	E	E	F	F	F
	6.0	E	F	F	G	G	E	E	F	F	G
1.0	2.0	E	E	E	F	F	E	E	E	E	F
	3.0	E	E	F	F	F	E	E	E	F	F
	4.0	E	F	F	F	G	E	E	F	F	F
	5.0	E	F	F	G	G	E	E	F	F	G
	6.0	E	F	F	G	G	E	E	F	F	G
1.2	2.0	E	E	F	F	F	E	E	E	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	G	G	E	E	F	F	G
	5.0	E	F	F	G	G	E	E	F	F	G
	6.0	F	F	G	G	H	E	E	F	G	G
1.5	2.0	E	E	F	F	F	E	E	E	F	F
	3.0	E	F	F	F	G	E	E	F	F	F
	4.0	E	F	F	G	G	E	E	F	F	G
	5.0	F	F	G	G	H	E	E	F	G	G
	6.0	F	F	G	H	H	E	E	F	G	H
2.0	2.0	E	F	F	F	G	E	E	F	F	F
	3.0	E	F	F	G	G	E	E	F	F	G
	4.0	F	F	G	G	H	E	E	F	G	G
	5.0	F	F	G	H	H	E	E	F	G	H
	6.0	F	G	G	H	H	E	F	G	H	H
2.4	2.0	E	F	F	G	G	E	E	F	F	G
	3.0	F	F	G	G	H	E	E	F	G	G
	4.0	F	F	G	H	H	E	E	F	G	H
	5.0	F	G	G	H	H	E	F	G	H	H
	6.0	F	G	H	H	-	E	F	G	H	H
3.0	2.0	E	F	F	G	-	E	E	F	G	H
	3.0	F	F	G	H	H	E	E	F	G	H
	4.0	F	G	G	H	H	E	F	G	H	H
	5.0	F	G	H	H	-	E	F	G	H	H
	6.0	F	G	H	-	-	E	F	G	H	-
3.6	2.0	F	F	G	G	H	E	E	F	G	G
	3.0	F	F	G	H	H	E	E	F	G	H
	4.0	F	G	H	H	-	E	F	G	H	H
	5.0	F	G	H	-	-	E	F	G	H	-
	6.0	G	H	H	-	-	E	F	H	-	-
4.2	2.0	F	F	G	G	H	E	E	F	G	G
	3.0	F	G	H	H	-	E	E	F	G	H
	4.0	F	G	H	-	-	E	F	G	H	-
	5.0	G	H	H	-	-	E	F	H	-	-
	6.0	G	H	-	-	-	E	F	H	-	-
4.5	2.0	F	F	G	H	H	E	E	F	G	H
	3.0	F	G	H	H	-	E	F	G	H	H
	3.4	F	G	H	H	-	E	F	G	H	-
	4.0	F	G	H	-	-	E	F	G	H	-
	5.0	G	H	-	-	-	E	F	H	-	-
4.8	2.0	F	F	G	H	H	E	E	F	G	H
	3.0	F	G	H	H	-	E	F	G	H	H
	3.2	F	G	H	H	-	F	F	G	H	-
	4.0	F	G	H	-	-	E	F	H	H	-
	5.0	G	H	-	-	-	E	F	H	-	-
	6.0	G	H	-	-	-	E	F	H	-	-

TYPE E

1.4 kN

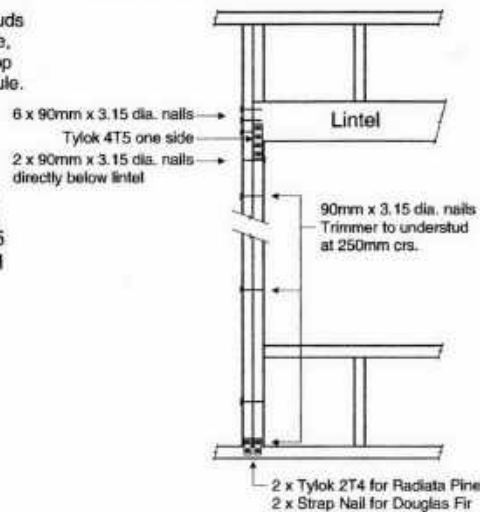


For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

TYPE F

4.0 kN

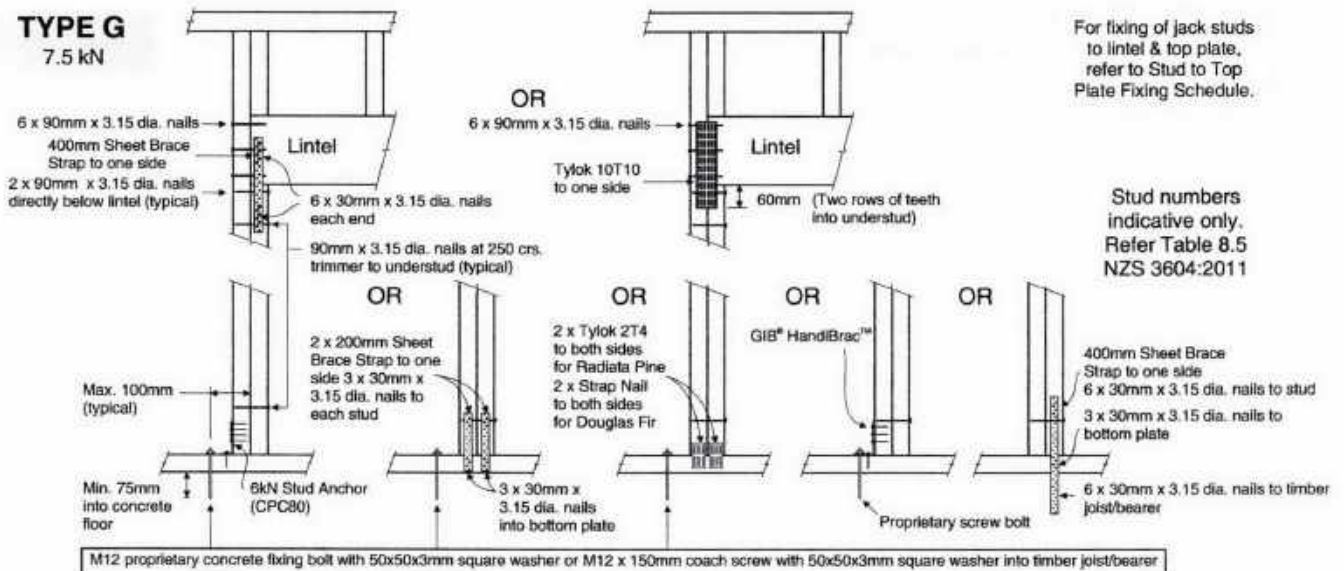


For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

TYPE G

7.5 kN

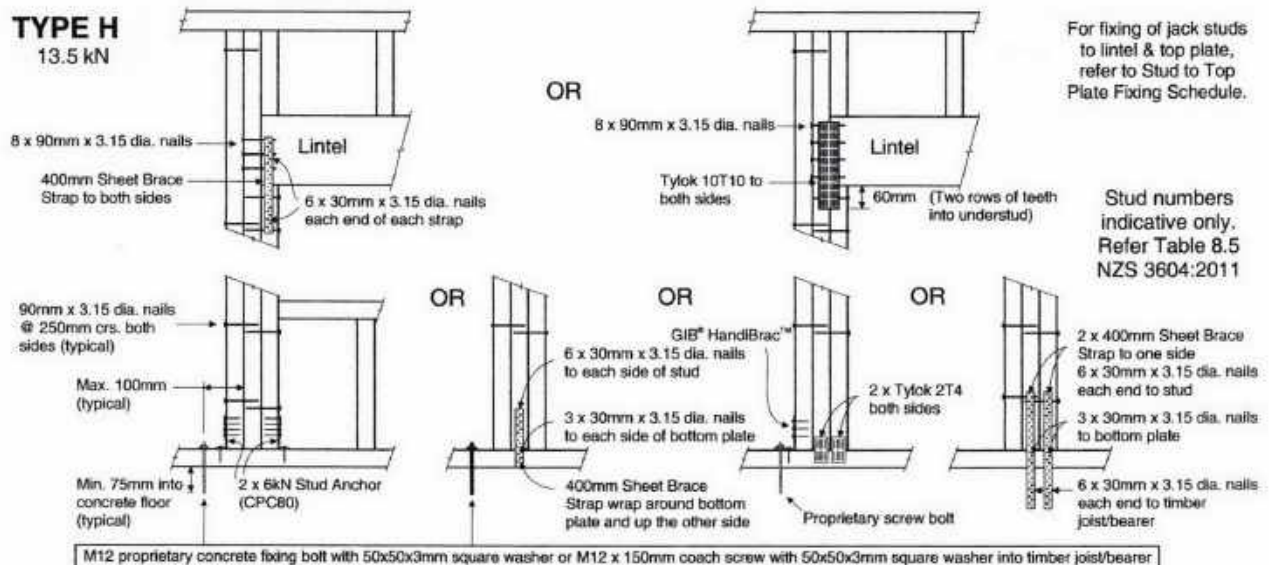


For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

TYPE H

13.5 kN



For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011



PROLAM® products are manufactured to the requirements of AS/NZS 1328.1:1998 Glue Laminated Structural Timber, and AS/NZS 1491:1996 Finger Jointed Structural Timber under an approved quality system based on the 150 9000 series of standards. As such if the product is used in accordance with **PROLAM®** product literature, it will meet the durability clauses of the New Zealand Building Code B2.

Subfloor Applications:

- ☒ **PROLAM®** may be used where approved practices for clearance and ventilation are used.

External Use:

- ☒ **PROLAM®** is recommended for weather exposed applications if sealed and maintained in accordance with **PROLAM®** literature.

Preservative Treatment:

- ☒ **PROLAM®** Beams are CCA H3.2 treated as defined by NZS 3640:2003, for weather exposed applications, such as verandah beams, deck bearers, and subfloor applications.
- ☒ **PROLAM®** Posts are CCA H5 treated as defined by NZS 3640:2003 for in-ground and weather exposed applications, such as deck piles, verandah posts and similar applications.

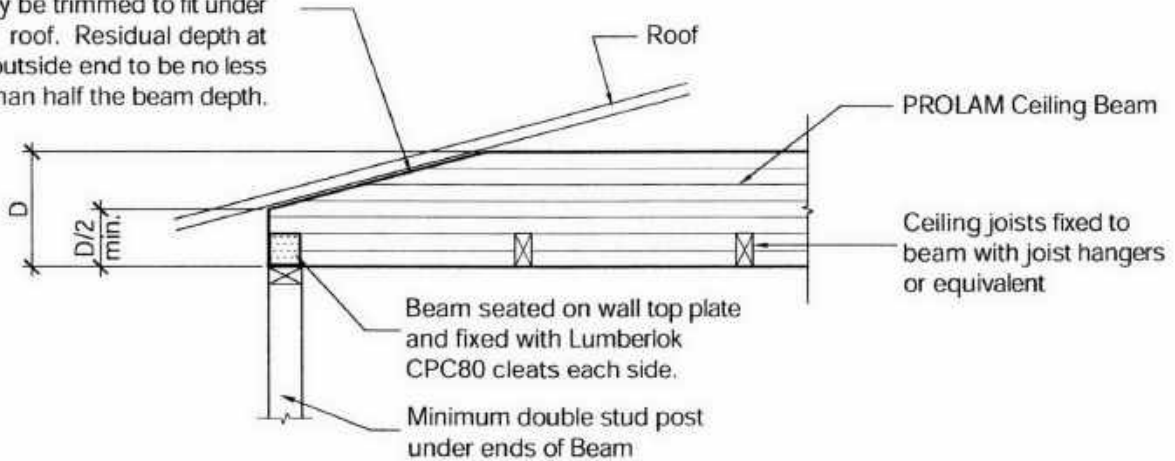
Storage of **PROLAM®**:

- ☒ To ensure **PROLAM®** remains straight and true at the time of installation, follow the below recommendations:
 1. Store under cover so that it remains dry until installation.
 2. Stack clear of the ground for good ventilation.
 3. Stack on bearers to keep flat and straight.

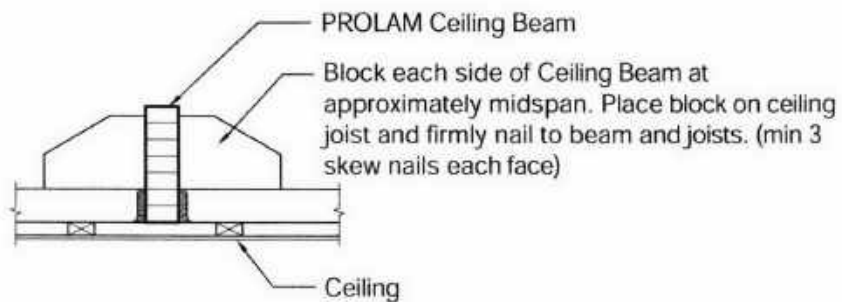
Branded **PROLAM®**:

- ☒ **PROLAM®** is branded for your protection. Look-alike materials may not perform to the standard of **PROLAM®**. For your protection do not accept unauthorized substitution

Top edge of Ceiling Beam may be trimmed to fit under roof. Residual depth at outside end to be no less than half the beam depth.



ELEVATION AT END OF CEILING BEAM



SECTION THROUGH CEILING BEAM

BUILDING CONSENT 150117

Section 51, Building Act 2004

William Fraser Building
1 Dunorling Street, Alexandra 9320
PO Box 122, Alexandra 9340
New Zealand

TEL +64 3 440 0056
FAX +64 3 448 9196
EML info@codc.govt.nz
WEB www.codc.govt.nz

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Close in verandah, add bay windows and french doors, add toilet to existing dwelling
Location of Building within site/block number:	
Level/Unit Number:	

OWNER

Owner's Name and Mailing Address:	P R & H P Samson 7 Donegal St Cromwell 9310
Street Address/Registered Office:	
Contact Person:	
Phone Number:	4454305
Mobile Phone:	0210322552
Fax Number:	
Email Address:	heather_samson@hotmail.com
Website:	
First Point of Contact:	As above

BUILDING WORK

The following building work is authorised by this building consent:

Close in verandah, add bay windows and french doors, add toilet to existing dwelling

If for any reason work is to be carried out other than that shown on the approved documents, then new documents are to be submitted and approved by Council before work can continue. (Building Act 2004 requirement)

All building work is to comply with the New Zealand Building Code.

All plumbing work is to be carried out by a craftsman plumber, drainage work by a registered drain layer and gas fitting by a craftsman gas fitter holding a current practising licence as required by the Plumbers, Gas Fitters and Drain Layers Act 1976.

It is the owners' responsibility to verify the legal boundaries of the property prior to the commencement of work.

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

The building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

The owner or his authorised agent are reminded of their responsibilities to ensure that any conditions detailed are conveyed to the appropriate parties engaged to carry out works associated with this consent.

This building consent is issued subject to the following conditions:

Each LBP who carries out or supervises RBW, must, on completion of that RBW, provide the owner and the Council with

a Record of building Work (ROW) stating what work they carried out or supervised.

KEY PERSONNEL

Prior to the commencement of work you are required to provide to the Council the names of contractors carrying out the work.

The personnel who will carry out the building work are as follows:

Design	Derek Craig : 027 561 0596	BP100531
Carpentry	Murray Cleave : 027 211 3757	BP107128
External Plastering	Kelvin Reid : 027 447 7055	BP114086

Drainlayer: Johnathan Milne : 021382586

Plumber: Johnathan Milne : 021382586

Gasfitter: Johnathan Milne : 021382586

Electrician: Stacey Bailey

COMPLIANCE SCHEDULE


A compliance schedule is not required for this building.

ATTACHMENTS

Copies of the following documents are attached to this building consent:

Application for Code Compliance Certificate
Site Inspection Sheet

Building Consent Officer: Darryl Shirley

Signature: 

Date: 25 March 2015

On behalf of:

Central Otago District Council

PO Box 122

Alexandra

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

COPY

THE BUILDING

Street Address:	7 DONEGAL STREET, CROMWELL
Legal Description:	LOT 1 DP 301986
Valuation Number:	2850578100
Project:	Close in verandah, add bay windows and french doors, add toilet to existing dwelling
Level/Unit Number:	
Current, lawfully established use:	Detached dwelling
Intended Use:	
Year of Construction (approx):	1920s

OWNER*

Owner's Name and Mailing Address:

P R & H P Samson
7 Donegal St
Cromwell 9310

Phone Number: 4454305
Fax Number:
Email Address: heather_samson@hotmail.com

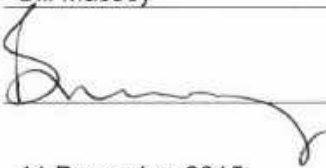
BUILDING WORK

Building Consent No: BC 150117
Issued by: Central Otago District Council

CODE COMPLIANCE CERTIFICATE

The Building Consent Authority named below is satisfied, on reasonable grounds, that:

- The building work complies with the building consent.
-

Building Consent Officer: Bill Massey
Signature: 
Date: 11 December 2015

On behalf of:

Central Otago District Council
PO Box 122
Alexandra

Code Compliance Certificate Checklist

Building Consent Number: 150117

Tick the "yes" box if the information has been provided and is complete and approved.

Tick the "no" box if the required information has not been provided, or is not complete, or is not approved.
Send CCC further information letter requesting the information.

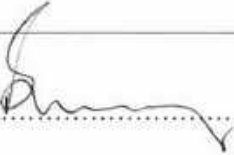
Tick "N/A" if the information identified below is not needed.

BUILDING INSPECTOR	Notes	Yes	No	N/A
<i>Have you changed the status to CCC application received?</i>				
Check:				
• New or amended Compliance schedule? <i>[If yes to COB when CCC issued]</i>				✓
• Owners address matches rates? <i>Use 'change' feature in NCS if required</i>		✓		
• If consent was linked to parent valuation, does it now have its' own?				✓
• EQPB upgrade occurred? <i>[If yes to COB to update status on register.]</i>				✓
Check:				
• Fees paid		✓		
• Development and/or reserves contributions paid <i>[Check with PAO]</i>				✓
• Outstanding notices to fix				
• Contractors are as nominated on consent <i>[If none are nominated enter them as per inspection details.]</i>		✓		
• Have there been any changes to the design				✓
• If yes, amended plan? <input type="checkbox"/> or new building consent? <input type="checkbox"/>				
• Was this application subject to Section 72 or 75? Yes <input type="checkbox"/> No <input type="checkbox"/>				
• If Yes has the Certificate of Title been updated? <i>(See COB/LIMO if unsure)</i>				✓
DOCUMENTATION ON THE BUILDING CONSENT FILE				
<i>Note: Remove duplicate and superseded plans/docs from file</i>				
• BC application and PIM (Form 2 issued)		✓		
• Job card and cover sheet		✓		
• User guide		✓		
• Certificate of Design [COW]		✓		
• Completed processing checklist		✓		
• Approved plans		✓		
• Approved specifications				
• As-built drainage plan received and scanned in to NCS				✓
• Approved amended documents/plans				✓
• Approved alternative solution form(s)				
• CCC application		✓		
• Other documents not identified				✓
DOCUMENTATION SAVED ON NCS				
• All inspections notes entered and inspections approved? <i>Unreasonably high number of unsatisfactory inspections? [Need to be invoiced prior to CCC – see COB.]</i>		✓		
• All letters saved		✓		
• Inspection checklists saved		✓		
• BC issued and conditions met		✓		
• PIM issued and conditions met		✓		

		Yes	No	N/A
ENERGY CERTIFICATES	Author			
Electrical		✓		
Gas				
PRODUCER STATEMENTS	Author [approved?]			
Fire Alarm PS3				
Fire Alarm PS4 (Certification)				
Structural				
Truss				
Waterproof membrane				
ROWS AND LBP MAINTENANCE				
ROWs provided for all RBW by LBPs with appropriate license(s). Use DBH Public Register search in LBP maintenance to confirm licencing (as required).	Check ROWs against COW. Use LBP maintenance in NCS to update ROW dates received section.	✓		
IS APPLICATION FOR CCC MORE THAN 5 YEARS AFTER BC WAS ISSUED?				
DURABILITY MODIFIED?	Has correct process been followed?			
Follow procedure 12.34 from QAS	Follow procedure 12.34 from QAS			

Further information is required - Letter sent ☐ Date

Notes: _____

I  am satisfied on reasonable grounds that:

1. The building work carried out complies with the building consent to the extent that the Code Compliance Certificate can be issued; and
2. All information relevant to the application for this building consent has been put on the application's file.
3. Specified Systems and standards are correctly described in compliance schedule attached to consent [if applicable]. Complete office use section of SBCG27. Whole building consent to go to COB with issued CCC.

Date 11/12/15

Building Consent No: BC 150117

Issued by: Central Otago District Council, PO Box 122, Alexandra

THE BUILDING

Valuation Number: 2850578100

Street Address: 7 DONEGAL STREET, CROMWELL

Description of Building Work: Close in verandah, add bay windows and french doors, add toilet to existing dwelling

AGENT

Owner's Name and Mailing Address:

P R & H P Samson
7 Donegal St
Cromwell 9310

Contact Details:

Phone Number: 4454305

Fax Number:

Email Address: heather_samson@hotmail.com

APPLICATION

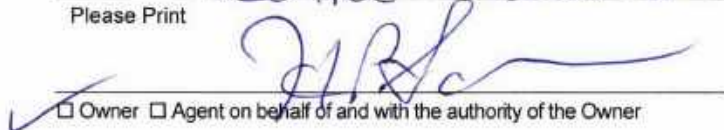
I request that a Code Compliance Certificate be issued for the building work described in this application, under section 95 of the Building Act 2004.

Name:

Please Print

Heather Samson

Signature:



Date: 11-12-15

☒ Owner ☐ Agent on behalf of and with the authority of the Owner

KEY PERSONNEL

The personnel who carried out the building work are as follows:

Design Derek Craig : 027 561 0596 BP100531

Carpentry Murray Cleave : 027 211 3757 BP107128

External Plastering Kelvin Reid : 027 447 7055 BP114086

Drainlayer: Johnathan Milne : 021382586

Plumber: Johnathan Milne : 021382586

Gasfitter: Johnathan Milne : 021382586

Electrician: Stacey Bailey

ATTACHMENTS

The following documents are attached to this application:

- ☐ Certificates that relate to energy work (if applicable)
- ☐ Records of Work from Licensed Building Practitioners (if applicable)
- ☐ As-built drainage plan from registered drain layer (if applicable)
- ☐ Producer Statement(s) (if applicable)

FOR OFFICE USE

Approved for Issue of Code Compliance Certificate [Subject to a full documentation check]

Building Control Officer: _____ **Date:** _____

BC 150117



THE BUILDING

Street address: 7 Donegal St.

Suburb:

Town/City: Cromwell

Postcode: 9310

THE PROJECT

Building consent number: 150117

THE OWNER(S)

Name(s): Paul + Heather Samson

Mailing address: 7 Donegal St.

Suburb:

PO Box/Private Bag:

Town/City: Cromwell

Postcode: 9310

Phone number: 03 445 4305

Email address: hotophouse@gmail.com

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work Tick	Description of restricted building work If necessary, describe the restricted building work	Carried out or supervised Tick <input checked="" type="checkbox"/> whether you carried out the RBW or supervised someone else.
Foundations and subfloor framing <input checked="" type="checkbox"/>	Foundations + reinforcing steel as per plans.	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Walls <input checked="" type="checkbox"/>	New wall framing constructed with H1.2 SG 8 timber	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof <input checked="" type="checkbox"/>	New roof only over Bay Window	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Columns and beams <input checked="" type="checkbox"/>	240 x 90 mm Beam in dining room to replace wall	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing <input checked="" type="checkbox"/>	Gib bracing fitted as per plan	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Damp proofing	<input checked="" type="checkbox"/>	Old concrete floor in studio sealed with Cemix Pav Seal before timber floor fitted.	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Roof cladding or roof cladding system	<input checked="" type="checkbox"/>	Handled	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity)	<input type="radio"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system	<input checked="" type="checkbox"/>	Handled Axon panel fixed over 20mm cavity, nailed on, sealed + glued with Siliflex II FC	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing	<input type="radio"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other	<input type="radio"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: Murray Cleave	LBP number: BP 107128
Class(es) licensed in: Carpentry	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office: 44 Mt Pisa Road	
Suburb: 3RD	Town/City: Cromwell
PO Box/Private Bag:	Postcode: 9383
Phone number: 03 4451282	Mobile: 0272 113 757
After hours:	Fax:
Email address: nickyandmuzz@xtra.co.nz	Website:

DECLARATION

I M. Cleave carried out or supervised the restricted building work recorded on this form.
 Signature: MR Cleave Date: 6/8/2015

Form 2A

**Memorandum from licensed building practitioner: Certificate of design work
Section 45 and Section 30C, Building Act 2004**

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 7 Donegal Street

Suburb:

Town/City Cromwell

Postcode:9310

THE OWNER

Name(s):Paul and Heather Samson

Mailing address:7 Donegal Street

Suburb:

PO Box/Private Bag:

Town/City: Cromwell

Postcode: 9310

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
(✓)	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
()	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
()	lead designer for all but specific elements of rBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
()	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I Derek Craig carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is	Description	Carried out/	Reference to
---------------------	-------------	--------------	--------------

restricted building work	supervised		plans and specifications
<i>Tick(✓) if included Cross (X) if excluded</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>

Primary structure

All RBW Design work relating to B1 (✓)		(✓) Carried out () Supervised	
Foundations and subfloor framing (✓)		(✓) Carried out () Supervised	
Walls (✓)		✓ Carried out () Supervised	
Roof (✓)		✓ Carried out () Supervised	
Columns and beams (✓)		✓ Carried out () Supervised	
Bracing (✓)		✓ Carried out () Supervised	
Other ()		() Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2 (✓)		(✓) Carried out () Supervised	
Damp proofing (✓)		(✓) Carried out () Supervised	
Roof cladding or roof cladding system (✓)		(✓) Carried out () Supervised	
Ventilation system (for example, subfloor or cavity) (x)		() Carried out () Supervised	
Wall cladding or wall cladding system (✓)	<i>In conjunction with Resene Specs</i>	(✓) Carried out () Supervised	
Waterproofing (x)		() Carried out () Supervised	
Other ()		() Carried out	

		() Supervised	
--	--	----------------	--

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	(√)	Smoke alarms	(√) Carried out () Supervised	
--	-------	--------------	-------------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes (√) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

Name:Derek Craig	LBP or Registration number:100531
The practitioner is a: (√) Design LBP () Registered architect () Chartered professional engineer	
Design Entity or Company (optional): DC Homes Ltd	
Mailing address (if different from below):	
Street address / Registered office: 4 Molyneux Ave	
Suburb:	Town/City:Cromwell
PO Box/Private Bag:	Postcode:9310
Phone number:0275610596	Mobile:0275610596
After Hours:	Fax:
Email address:	Website:

DECLARATION

I Derek Craig *[name of practitioner]*, LBP,
state that I have applied the skill and care reasonably required of a competent design professional

in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature: Derek Craig

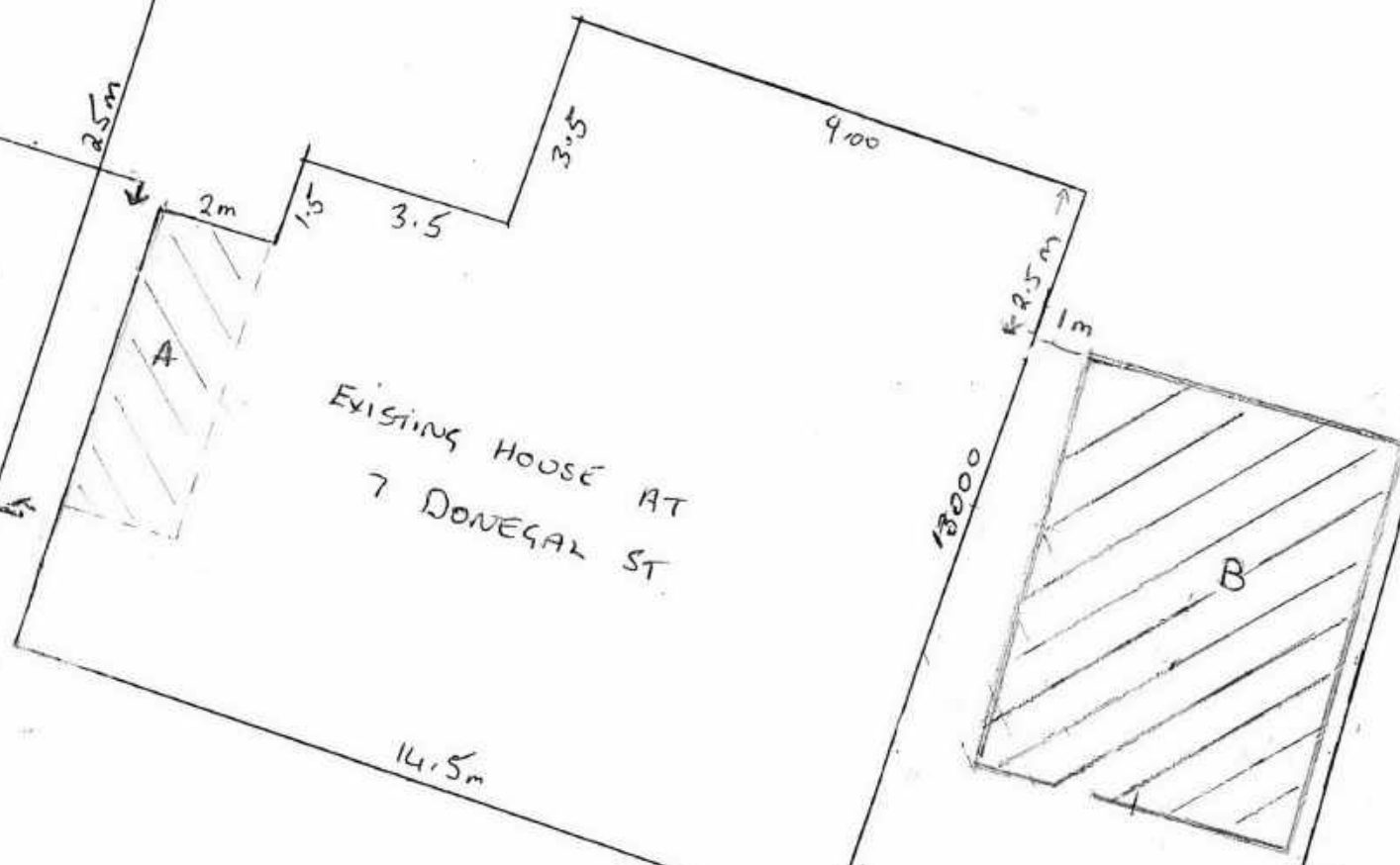
Date: 9/3/2015

↑
neighbours house

RECEIVED
24 MAR 2015
CENTRAL OTAGO DISTRICT COUNCIL
ALEXANDRIA

1200 mm
from face of fence to
external wall post
holding up existing
verandah roof.

1100 mm from
face of fence to external
wall post holding up
existing verandah roof



CENTRAL OTAGO DISTRICT COUNCIL
Plans and Specifications Approved in
accordance with The New Zealand Building
Code and Approved Documents. To be retained
on the building site and produced on request
Signed: *[Signature]* Date: 25/3/15

SCALE 1:125

— A PROPOSED HOBBY ROOM ENCLOSURE
— B - PROPOSED DOUBLE GARAGE
(RESOURCE CONSENT 150002)

Site Plan = 7 Donegal Street, Cromwell - PR + HP SAMSON

**Renovation
7 Donegal Street
Lot 1
DP 301986
Valuation 2850578100**

**DC
HOMIES**
**DESIGN | DRAUGHTING
& CONSENT SERVICES**

Derek Craig
4 Molyneux Ave, Cromwell
P: 0275 610 596
A/H: 03 445 3302
dchomes99@gmail.com

Sheet A-1 title
Sheet A-2 Existing Floor Plan
Sheet A-3 Proposed Floor Plan
Sheet A-4 Elevations
Sheet A-5 Window Flashings Plaster
Sheet A-6 Window Flashings Hardie Groove
Sheet A-7 Veranda Cross Section
Sheet A-8 Bay Window Cross Section
Sheet A-9 Foundation Plan
Sheet A-10 Drainage Plan
Sheet A- 11 New Joinery Schedule

CENTRAL OTAGO DISTRICT COUNCIL
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Signed:  Date: 25/3/15

Sheet A

1

Drawn By:

DC Homes Ltd

Date:

9/03/2015

Scale:

**Paul and Heather Samson
7 Donegal Street**

Issue:

Consent



Wind Zone : A, High
EQquake Zone : 3
Snow Zone : N5
Exposure Zone : B

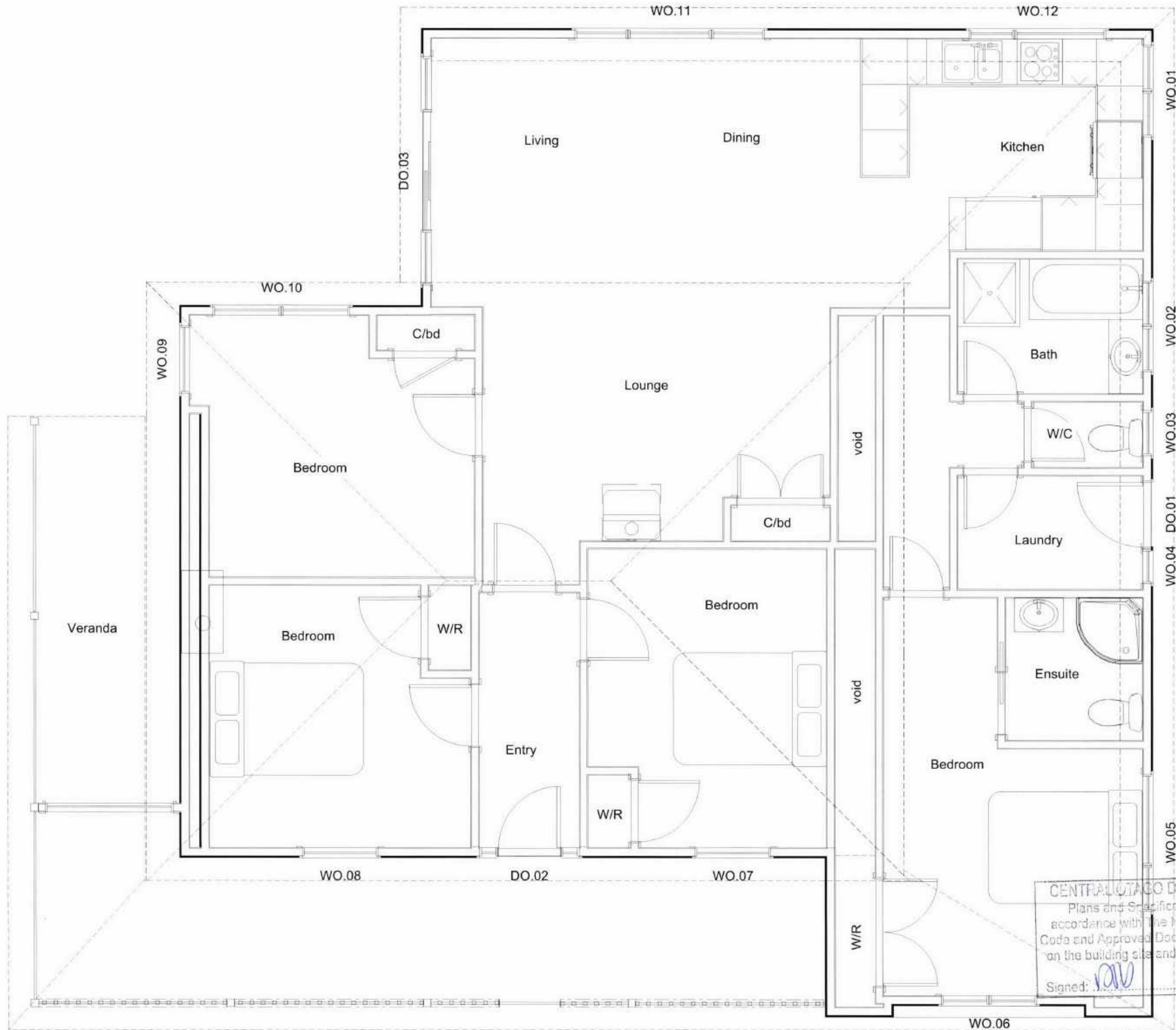
Paul and Heather Samson
7 Donegal Street

Issue:

Consent

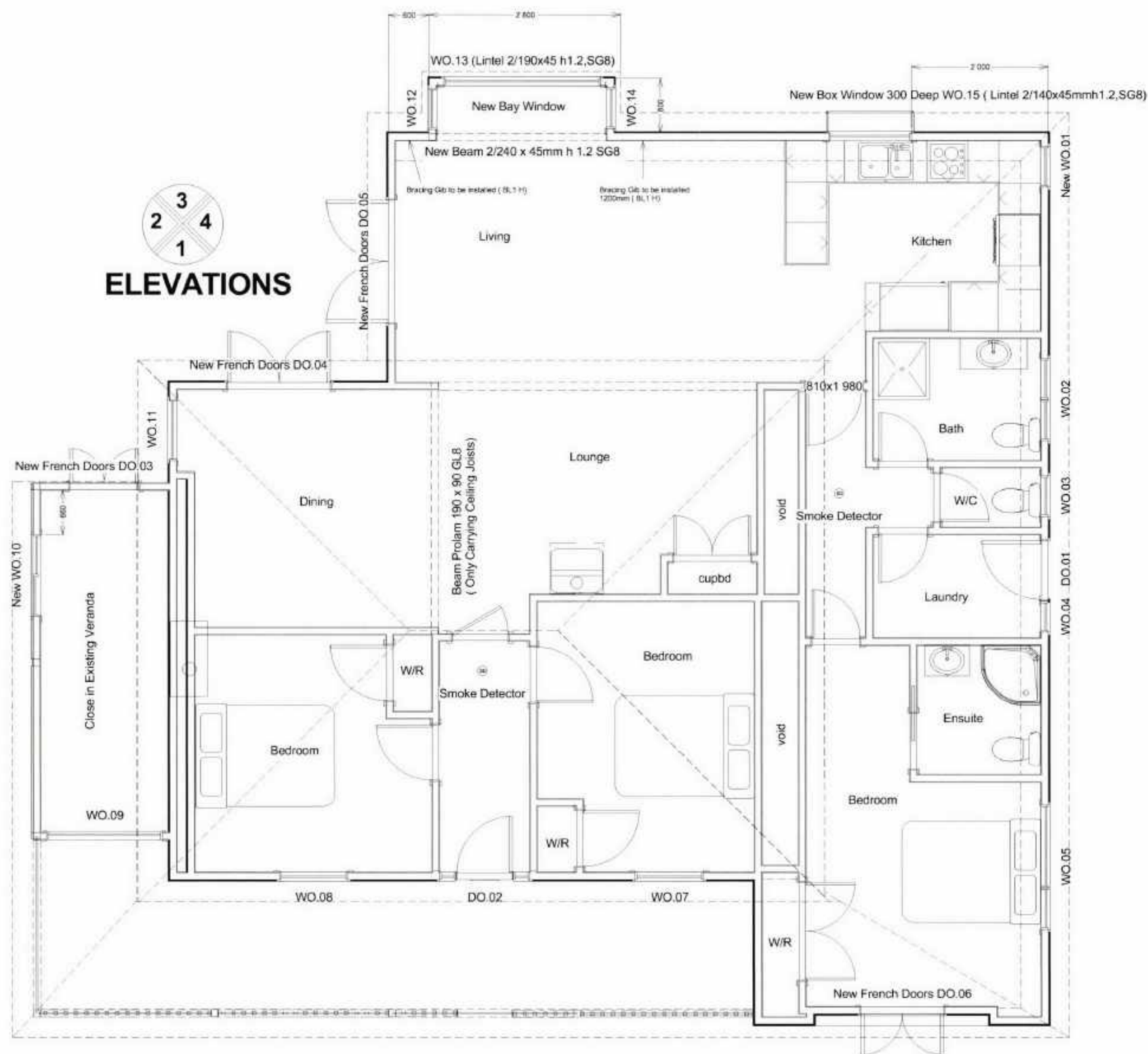


Wind Zone : A, High
Earthquake Zone : 3
Snow Zone : N5
Exposure Zone : B



CENTRAL OTAGO DISTRICT COUNCIL
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Signed: *[Signature]* Date: 25/3/15

Existing Floor Plan



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Signed: *[Signature]* Date: 25/3/15

Proposed Floor Plan



Elevation 1

Notes;
 Roof Pitch Varying Degrees
 Wall Cladding - Plaster , Weatherboard
 Joinery - Double glazed powder coated aluminium joinery to all exterior joinery TBA
 Floor - 20mpa reinforced concrete slab
 Roof cladding - Longrun Corrugated Iron

Sheet A

4

Drawn By:

DC Homes Ltd

Date:

9/03/2015

Scale:

1:100@ A3



Elevation 3



Elevation 2



Elevation 4

CENTRAL OTAGO DISTRICT COUNCIL
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 on the building site and produced on request.
 Signed: *[Signature]* Date: 25/3/15

Paul and Heather Samson
 7 Donegal Street

Issue:

Consent



Wind Zone : A, High
 EQuake Zone : 3
 Snow Zone : N5
 Exposure Zone : B

Elevations

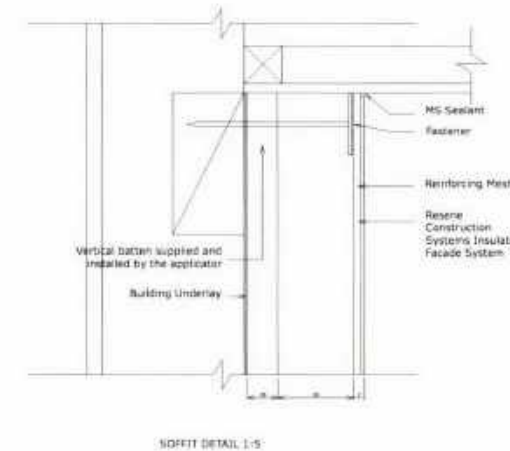
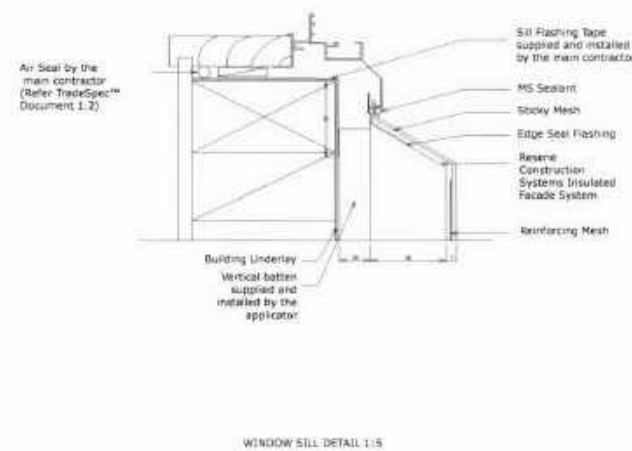
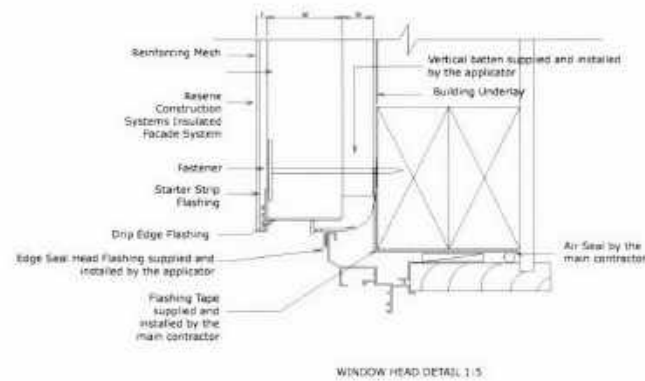
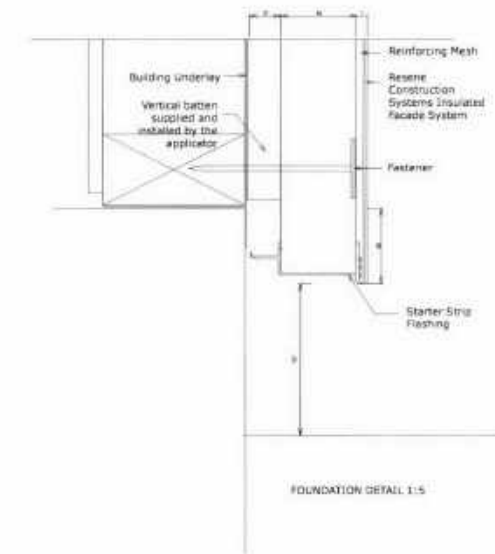
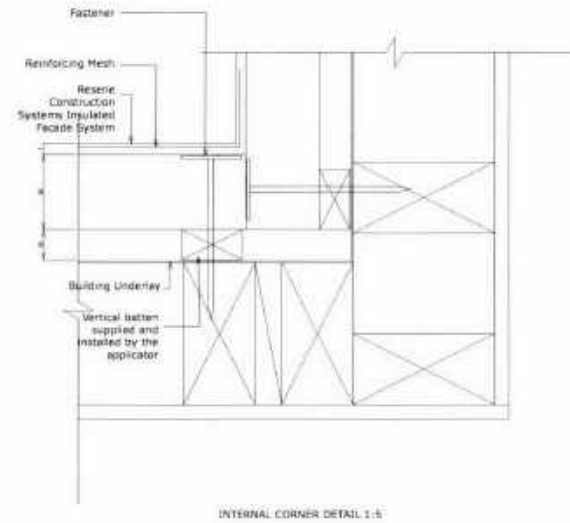
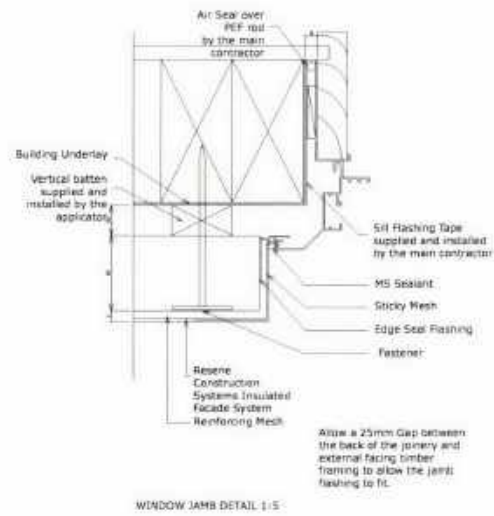
Paul and Heather Samson
7 Donegal Street

Issue:

Consent

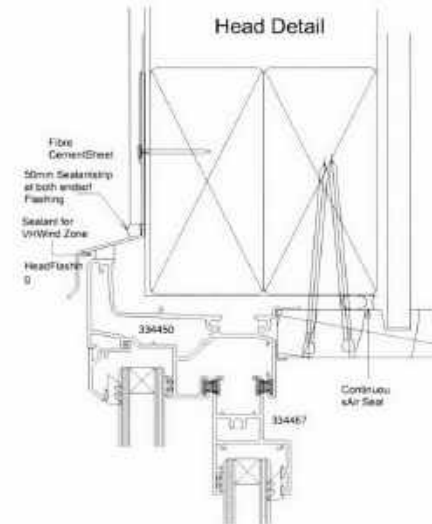
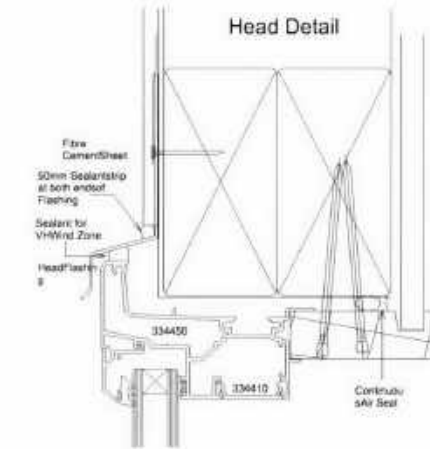
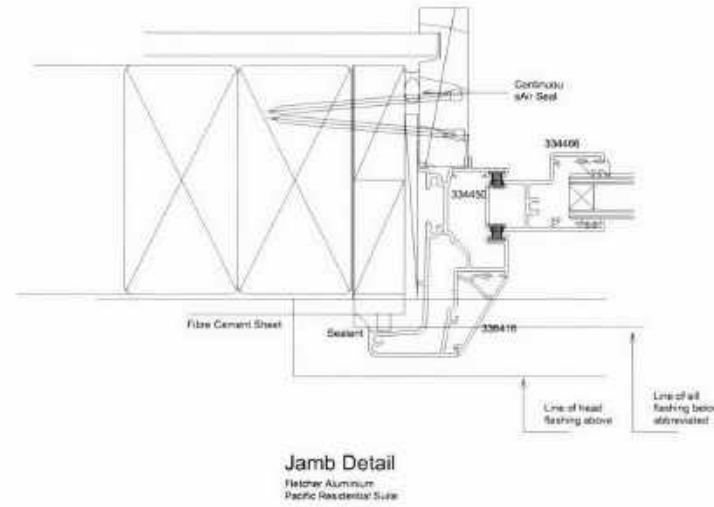
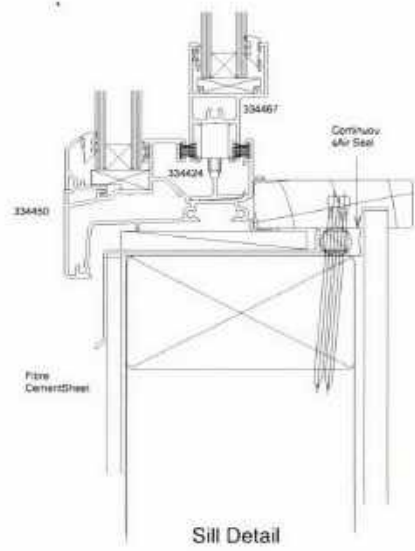


Wind Zone : A, High
EQquake Zone : 3
Snow Zone : N5
Exposure Zone : B



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Signed: *[Signature]* Date: 25/3/15

Window Flashing Details Plaster



CENTRAL OTAGO DISTRICT COUNCIL
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Signed: *[Signature]* Date: *25/3/15*

Window Flashing Details Hardie Groove

Sheet A

6

Drawn By:

DC Homes Ltd

Date:

9/03/2015

Scale:

NTS

Paul and Heather Samson
7 Donegal Street

Issue:

Consent



Wind Zone : A, High
EQuake Zone : 3
Snow Zone : N5
Exposure Zone : B

Contractor to check all measurements on site (Some may vary due to nature of the particular job)

Sheet A

7

Drawn By:

DC Homes Ltd

Date:

9/03/2015

Scale:

1:20 @ A3

Paul and Heather Samson
7 Donegal Street

Issue:

Consent



Wind Zone : A, High
EQquake Zone : 3
Snow Zone : N5
Exposure Zone : B

Frame up inbetween existing veranda poles with 90 x 45mm H1.2 framing.
Building Wrap Thermakraft 213
R 2.8 Ultra Batts
Cladding Direct fixed Hardie Groove Line to 50mm below floor level
Replicate Mill work on exterior using 17.5mm H3 plywood sanded

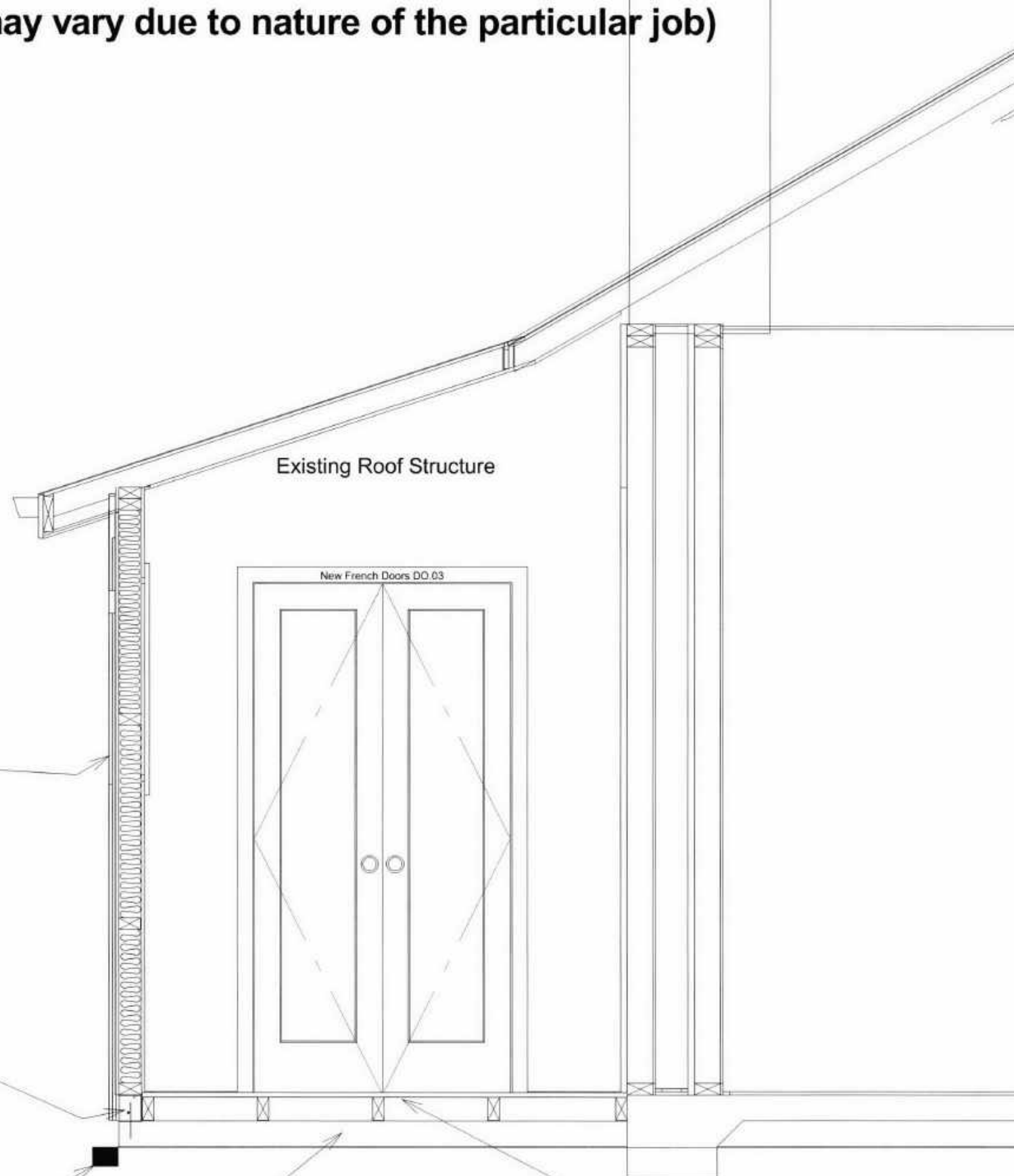
Framing to sit on 100mm concrete upstand
with 12mm reinforcing rods "Chemsetted"
into existing slab 2 @ 400mm centres

Install Strip drain "Allproof 75mm domestic channel" to keep moisture
from entering Building
Out flow to approved stormwater egress

Existing Slab to be sealed with "Sika" Damp Stop to prevent rising moisture

CENTRAL OTAGO DISTRICT COUNCIL
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Signed:  Date: 25/3/15

Veranda Cross Section





New corrugated roof on 75 x 50mm purlins on building underlay over Bay window to lap under existing roof by at least 300mm

Existing Insulation

Rafter overhang and gutter to match existing

R3.6 Batts

New 240 x 90mm Lintel

Owner supplied Stained Glass window to be installed

800

Ceiling height to suit new 240mm lintel

Bracing Gib to be installed either side of new opening.

10mm Gib to all other areas

2 360

Existing Ceiling Height

2 000

Cladding as per Flashing details

1 000

As per Foundation detail

CENTRAL OTAGO DISTRICT COUNCIL
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Signed:  Date: 25/3/15

Bay Window Cross Section

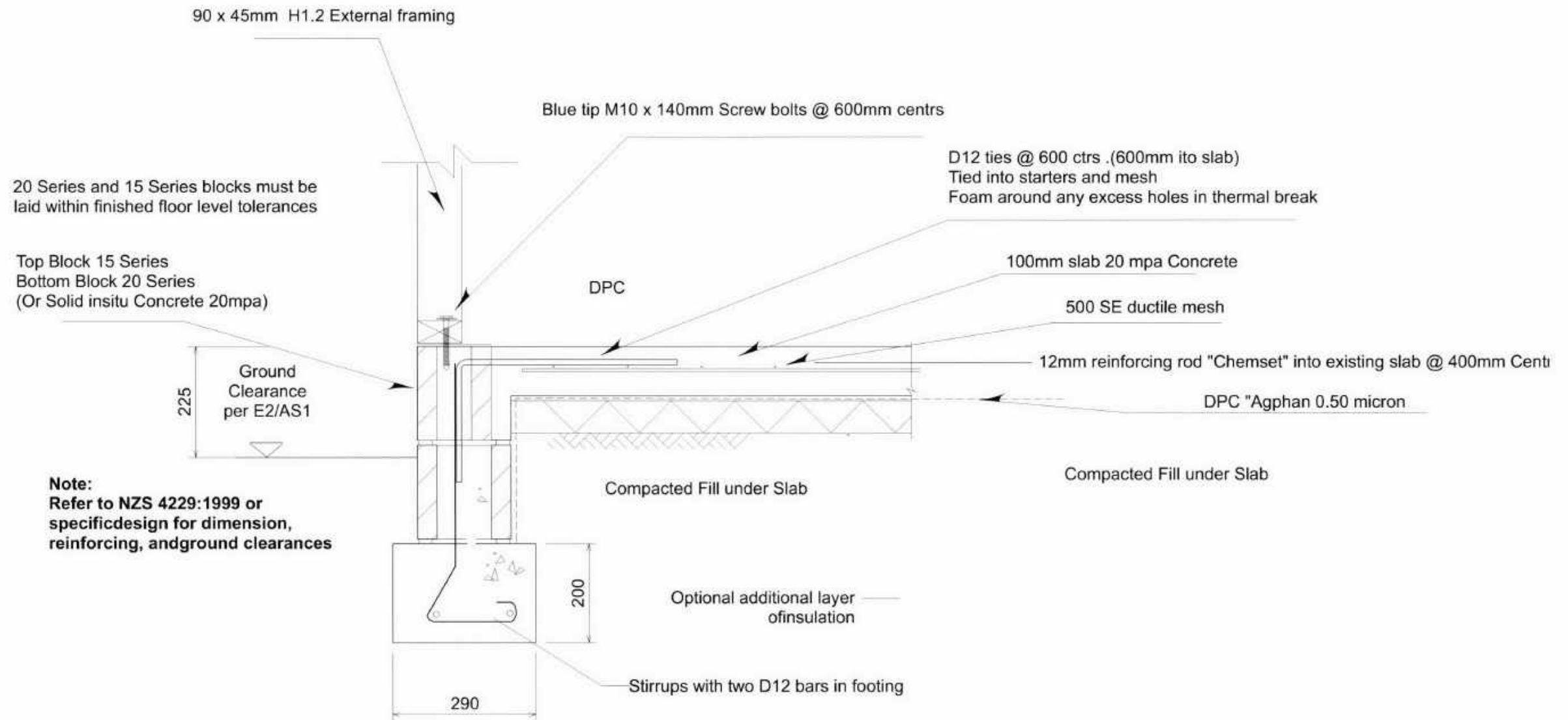
Paul and Heather Samson
7 Donegal Street

Issue:

Consent



Wind Zone : A, High
EQquake Zone : 3
Snow Zone : N5
Exposure Zone : B

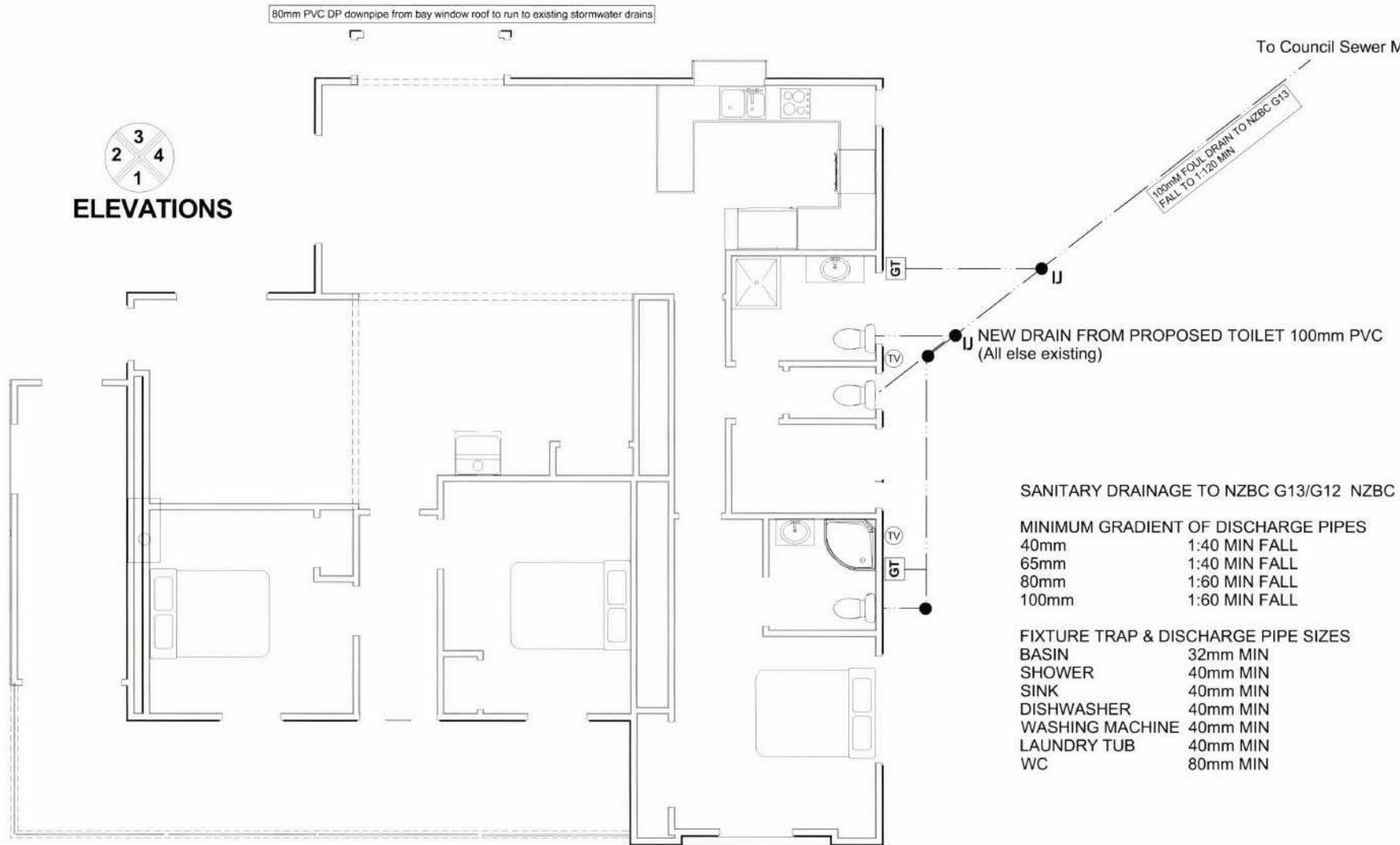


CENTRAL OTAGO DISTRICT COUNCIL
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on the building site and produced on request.
Signed: *[Signature]* Date: 25/3/15

Foundation Detail



ELEVATIONS



SANITARY DRAINAGE TO NZBC G13/G12 NZBC

MINIMUM GRADIENT OF DISCHARGE PIPES

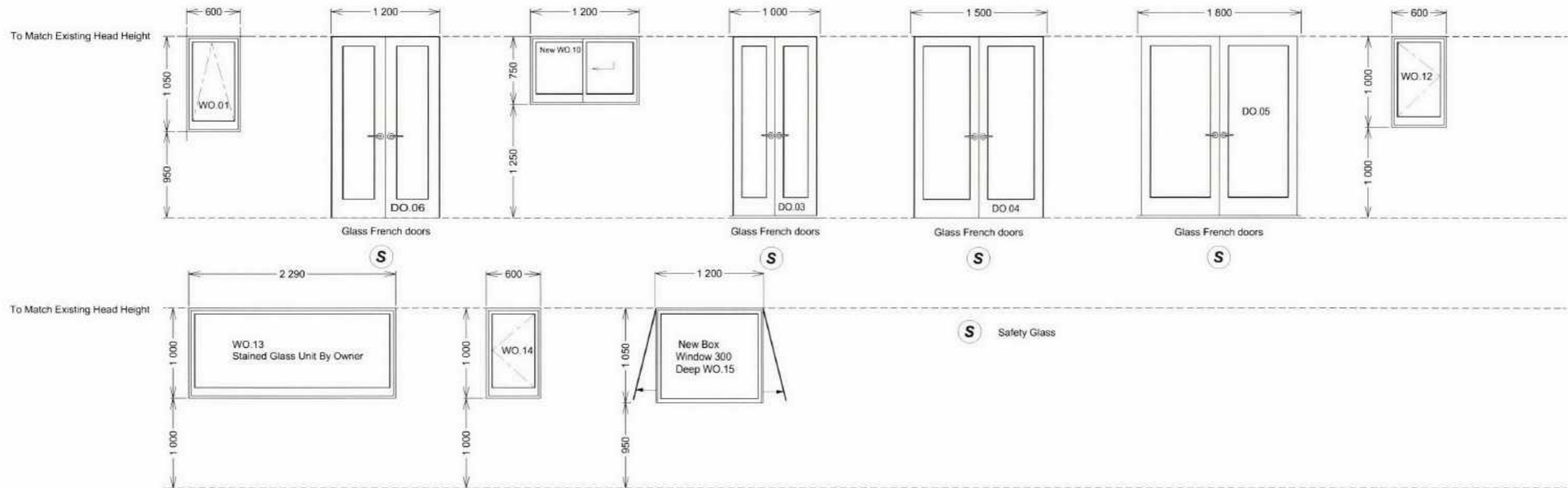
40mm	1:40 MIN FALL
65mm	1:40 MIN FALL
80mm	1:60 MIN FALL
100mm	1:60 MIN FALL

FIXTURE TRAP & DISCHARGE PIPE SIZES

BASIN	32mm MIN
SHOWER	40mm MIN
SINK	40mm MIN
DISHWASHER	40mm MIN
WASHING MACHINE	40mm MIN
LAUNDRY TUB	40mm MIN
WC	80mm MIN

CENTRAL OTAGO DISTRICT COUNCIL
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on the building site and produced on request.
Signed: *[Signature]* Date: *25/3/15*

Drainage Plan



All Joinery to be advised by Owner

NOTE:

- 1) DOUBLE GLAZED POWDER COATED ALUMINIUM DOOR AND WINDOW JOINERY OR PVC
- 2) CONTRACTOR TO CONFIRM WINDOW OPENINGS, COLOURS ETC WITH OWNERS.
- 3) ALL GLAZING TO COMPLY WITH NZS 4223
- 4) ALL COLOURS AND STYLES TO BE CONFIRMED WITH OWNER
- 5) ALL LINERS TO BE CLEARPINE 30mm

CENTRAL OTAGO DISTRICT COUNCIL
Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on the building site and produced on request.
Signed: *[Signature]* Date: 25/3/15

New Exterior Joinery Schedule

2850578100
BC 150117

16 March 2015

P R & H P Samson
7 Donegal St
Cromwell 9310

Received 24/3/15

Dear Sir/Madam

**TO CLOSE IN VERANDAH, ADD BAY WINDOWS AND FRENCH DOORS, ADD TOILET
TO EXISTING DWELLING, 7 DONEGAL STREET, CROMWELL**

Your application for Building Consent, as detailed above is acknowledged.

Under Section 48(2) of the Building Act 2004, there will be a delay in processing your application until the following matters are resolved:

- Please provide a scaled site plan that shows the proposed exterior alterations in relation to the neighbouring boundaries.

When these matters have been attended to and the project is in full compliance with the District Plan and the New Zealand Building Code, approval of your application will again be considered.

Should you require any further information or assistance, please do not hesitate to contact the undersigned in Council's Planning and Environment Department.

Yours faithfully



Sarah Davidson
Planning Officer

NEW DWELLING PROCESSING CHECKLIST

Building Consent Number 150117

Building Category	Residential	
BCO Overseer	D. Dwyer	
Approved to Process	✓	
NA	Approved	Failed
-	✓	X

Mark in each small tick box NA, Approved or Failed. When each section is complete and correct initial large box at right-hand side.			Initial if OK	Peer Review
Has the Building Consent been checked by planning?			Yes by Sarah D	
RM Certificated				
- required	<input type="checkbox"/>	None		
- attached	<input type="checkbox"/>			
Existing file checked	<input type="checkbox"/>			
Sub-division file checked	<input type="checkbox"/>			
Ground conditions subject to				
- slippage	<input type="checkbox"/>			
- erosion	<input type="checkbox"/>	None		
- flooding	<input type="checkbox"/>			
- section 72 required	<input type="checkbox"/>			
- other	<input type="checkbox"/>			
Legal Owner				
Certificate of Title	<input checked="" type="checkbox"/>	Supplied		
Or Section 224C issued with LINZ printout showing new legal description and letter from lawyer giving applicant permission to occupy land prior to certificate of title	<input type="checkbox"/>			
Contract – purchase agreement	<input type="checkbox"/>			
Easements, sewers, existing drain, watercourses, creeks	<input type="checkbox"/>			
Any of the above passing through the property	<input type="checkbox"/>			
Do they affect the building project	<input type="checkbox"/>			
Building over 2 or more allotments	<input type="checkbox"/>	No		
Section 75	<input type="checkbox"/>			
Producer Statements				
- type	<input type="checkbox"/>	None		
- site location	<input type="checkbox"/>			
- author assessed (CO17)	<input type="checkbox"/>			
- work correctly identified	<input type="checkbox"/>			
- code clauses covered	<input type="checkbox"/>			
- work within author's approved scope	<input type="checkbox"/>			
- limitations restricting producer statement	<input type="checkbox"/>			

<ul style="list-style-type: none"> - signed and dated by author (PS1) - inspection schedule - have plans-specs been signed and dated by author or referenced - supporting info provided/does the design interface with the non spec design - PS4 required and proposed PS1 - is peer review required 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>nda</p>	<p>10</p>	
Potable Water Supply <ul style="list-style-type: none"> - town - bore tested - spring tested - verification of access to community water scheme - other 	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>to existing</p>	<p>10</p>	
Foul Drain to Foul Sewer <ul style="list-style-type: none"> - system being used AS 3500 G13 ASI - plans showing drainage layout, pipe sizes etc - lateral connection in correct place - foul sewer invert to slab level - venting 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>A10</p> <p>existing</p>	<p>10</p>	
Foul Drain to Septic Tank (AS/NZ 1547) <ul style="list-style-type: none"> - ORC discharge permit required - system being used AS 3500 G13 ASI - plans showing drainage layout - septic tank size - pipe sizes etc - disposal field details to AS/NZ 1547 - disposal field 50m clear of water bore - area for reserve disposal field - proximity to water course 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>nda</p>	<p>10</p>	
Storm water (E.1) Storm water drains to <ul style="list-style-type: none"> - kerb and channel - soak holes - council sewers - other Storm water pipe sizes	<input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>To existing soak hole</p>	<p>10</p>	

Storm water catchment area				
- sealed areas	<input checked="" type="checkbox"/>			
- roofs	<input checked="" type="checkbox"/>			
- sumps	<input type="checkbox"/>			
Foundations				
Concrete				
- NZS3604	<input checked="" type="checkbox"/>			
- engineer designed	<input type="checkbox"/>			
Block				
- NZS3604	<input checked="" type="checkbox"/>	steel ci		
- 4229 engineer designed	<input type="checkbox"/>			
Piles				
- timber	<input type="checkbox"/>			
- driven timber	<input type="checkbox"/>			
- concrete	<input type="checkbox"/>			
Pile system				
- anchor	<input type="checkbox"/>			
- braced	<input type="checkbox"/>			
- cantilevered	<input type="checkbox"/>			
- other	<input type="checkbox"/>			
- ground levels	<input checked="" type="checkbox"/>			
- under floor ventilation	<input type="checkbox"/>			
Floor				
Concrete				
- NZS3604	<input checked="" type="checkbox"/>	with 500E mesh & D8		
- engineer designed	<input type="checkbox"/>			
- proprietary	<input type="checkbox"/>			
- other	<input type="checkbox"/>			
Timber Treatment (B2)				
- piles fly flooring H3	<input checked="" type="checkbox"/>			
- bearers	<input type="checkbox"/>			
- joists	<input checked="" type="checkbox"/>	H3		
- walls	<input checked="" type="checkbox"/>	H1.2		
- cavity battens	<input type="checkbox"/>			
- balcony	<input type="checkbox"/>			
- balustrade	<input type="checkbox"/>			
- roof framing	<input checked="" type="checkbox"/>			
- verandah posts	<input type="checkbox"/>			
- decking	<input type="checkbox"/>			
- ceiling framing	<input checked="" type="checkbox"/>			

- cladding	<input checked="" type="checkbox"/>	H3 plywood	<input checked="" type="checkbox"/>	
Weather Tightness Details				
- cladding system walls	<input checked="" type="checkbox"/>	Solid plaster + Plywood		
- flashings around windows and doors	<input checked="" type="checkbox"/>	sheet A5 as per E2		
- ground clearances	<input checked="" type="checkbox"/>			
- height difference between floors, balconies and outside ground levels	<input type="checkbox"/>			
- balustrades, parapets and handrails ok	<input type="checkbox"/>			
- deck barrier and wall junctions	<input checked="" type="checkbox"/>	sheet A5		
- complex roofs	<input type="checkbox"/>			
- building matrix completed	<input checked="" type="checkbox"/>			
- alternative solutions	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Bracing				
- wind zone correct	<input checked="" type="checkbox"/>			
- schedule and calculation sheet correct	<input checked="" type="checkbox"/>			
- bracing plan showing location number and type of bracing elements to show compliance with NZS3604	<input checked="" type="checkbox"/>	sheet A3		
- engineer producer statement showing calculations of engineer designed	<input type="checkbox"/>			
- roof plane / space bracing	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Insulation Walls, Ceilings and Floors (H1)				
- type	<input checked="" type="checkbox"/>	Pink batts		
- R value correct	<input checked="" type="checkbox"/>	walls 2.8 Ceiling 3.6		
- floors	<input type="checkbox"/>			
- calculations required	<input type="checkbox"/>			
- building wrap type	<input checked="" type="checkbox"/>	Thermatracraft		
- compatible with other materials	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Timber Spans Correct for Timber Size				
- lintels (if NZS3604 section 15)	<input checked="" type="checkbox"/>	240x90		
- joists	<input checked="" type="checkbox"/>	Proform spec supplied		
- bearers	<input type="checkbox"/>	4x2		
- cantilever lengths	<input type="checkbox"/>			
- rafters	<input type="checkbox"/>			
- under purlin or ridge beam	<input type="checkbox"/>			
- strutting beams	<input type="checkbox"/>			
- verandah beams	<input type="checkbox"/>			
- purlins	<input type="checkbox"/>			
- ceiling battens	<input checked="" type="checkbox"/>			
- stud heights	<input checked="" type="checkbox"/>			
- engineer produced statement required	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

Truss Roof - buildable truss layout provided - truss treatment if under 10°	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<div style="text-align: center;">No</div>	<input checked="" type="checkbox"/>	
Structural Fixings (Load Path) - purlin to rafter or truss - rafter to plates and ridges and or beams - truss to pates or beams - plate to stud and or beam to post - lintel tie down details - bracing tie down details - bottom plate fixing details - post to foundation fixings - any point loads - have thickenings for trusses been shown - has bottom cord restraint been specified - chimney structures within non specific design	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<div style="text-align: center;">anchors @ 600^s</div>	<input checked="" type="checkbox"/>	
Floor Loads (NZS3604) - correct loading - room above floor, use shown	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<div style="text-align: center;">2 types</div>	<input checked="" type="checkbox"/>	
Stairs Domestic Stairs summary of requirements - cross section demonstrates head clearance (2m from pitch line) - risers open max gap 100mm closed - stair type main private max rise 190mm min tread 280mm secondary max rise 200mm min tread 250mm minor max rise 220mm min tread 220mm - graspable hand rail to one side min if more than 3 risers - hand rail barriers 900 min high stair and landings - ramp slip resistant Max ramp slop 1-10	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<div style="text-align: center;">To comply with D1 access</div>	<input checked="" type="checkbox"/>	
Masonry Veneers - type - foundation - height of veneer construction	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<div style="text-align: center;">None</div>	<input checked="" type="checkbox"/>	

<ul style="list-style-type: none"> - veneer cavity closures - veneer lintels - thickness of veneer - engineer 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	 	 	
Roof Claddings (E2) <ul style="list-style-type: none"> - type - roof underlay compatible - minimum pitch correct 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<u>corrugate cobr steel</u> 	 	
Specification (type, make, grade and dimensions of all materials and systems) <ul style="list-style-type: none"> - relate to job - comply with code 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	 	 	
Heating Appliance (AS/NZS2918:201) <ul style="list-style-type: none"> - appliance make - appliance model - clean air approved - clearances chart - cross section of flue details - if diesel <ul style="list-style-type: none"> tank size tank seismic restraint safety cut out valve 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	 	 	
Ventilation Natural ventilation provided to habitable space (5% of floor area min) Ventilation compliant to: <ul style="list-style-type: none"> - kitchen - bathrooms - laundry - internal island rooms - heating appliance 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	 	 	
Plumbing Waste and Soil Layouts (AS/NZS3500 or G13) <ul style="list-style-type: none"> - ground floor - 1st floor - system used name - pipe sizes and grades - venting 	<input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	 <u>G13</u> <u>32, 40 & 80 mm</u> 	 	
Plumbing Water Pipes (G12) <ul style="list-style-type: none"> - material - sizes 	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	 	 	

- insulation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Hot Water Source and Location				
- mains pressure HWC	<input type="checkbox"/>	Existing		
- medium pressure HWC	<input type="checkbox"/>			
- low pressure HWC	<input type="checkbox"/>			
- gas califont	<input type="checkbox"/>			
- other	<input type="checkbox"/>			
Safety Glass Impact Requirements NZS4223:1999	<input checked="" type="checkbox"/>	shown sheet A 11	<input checked="" type="checkbox"/>	
Swimming Pool (if yes go to separate checklist)	<input checked="" type="checkbox"/>	None	<input checked="" type="checkbox"/>	
Fire Safety				
- purpose group SH only (no greater than 3 stories, detached dwelling where people live as a single household or family (table 2.1))	<input checked="" type="checkbox"/>			
- purpose group SH consider STC and fire separation (walls floor ceiling etc)	<input type="checkbox"/>			
- means of escape (24m for single escape and 60m for 2 escape routes (table 3.3))	<input checked="" type="checkbox"/>			
- fire ratings (if less than 1m from boundary 30/30/30 rating required, if roof eaves within 650mm of boundary walls still require 30/30/30 (table 7.10.1 and 7.8.5))	<input type="checkbox"/>			
- carports/open sided buildings (fire ratings requires figure 7.10)	<input type="checkbox"/>			
- small buildings (fire ratings figure 7.10.6)	<input type="checkbox"/>			
- farm-stay, B7B (ok for SH if less than 6 beds for guests (appendix A)	<input type="checkbox"/>			
- domestic smoke alarms (F7ASI 3.1)	<input checked="" type="checkbox"/>	shown sheet A 3		
- fire walls (design and specification of wall from manufacturer etc) detail for construction included in plan	<input type="checkbox"/>			
- structural fire endurance, bottom plate/structural fixing, details provided	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Restricted Building Work [RBW]				
- COW covers all RBW included in this application	<input checked="" type="checkbox"/>			
- Designer is appropriately licensed	<input checked="" type="checkbox"/>	Derek Craig	<input checked="" type="checkbox"/>	

	Yes	No
Further information is required	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Applicant notified	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Further information received	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I, Derek Craig am satisfied on reasonable grounds that the provisions of the building code will be met if the building work were properly completed in accordance with the plans and specification that accompanied the application.

Granted

Date 24/3/15

Signed 

Peer Review

Date

Signed

Job Card

Site address 7 Donegal Street Valuation # 2850578100
File 11 # _____

Use of bldg _____
Bldg Category _____

Description of bldg work _____ Overseer A Clark
Approved to process ☒ YES ☐ NO

Intended start date _____

Owner name PROHP Sampson Agent name _____


Phone _____ Phone _____

Email _____ Email _____

[illegible]

CONSENT FORMALLY ACCEPTED FOR PROCESSING

DATE: 12/3/15

SIGNED: 

THE APPLICATION

☒ User guide filled out correctly?

BC number:

BC150117

APPLICATION TO BE CHECKED BY:

Y or N/A

			Officer Signature	Date	Time to nearest 5 mins
Y	Planning and Historic Places Trust	Boundaries / site coverage / district plan rules / historic buildings / ALL CONSENTS TO PLANNING OFFICER [EXCEPT INTERNAL ALTERATIONS – non historic]	SD	16/3/15	20m
N/A	Roads and Access	Commercial properties and corner properties please refer to Roading Services Officer			
Y	Utility Services	If connection to lateral required , commercial or more than one tenancy please refer to Water Services Officer			
Y	Trade Waste	Non-domestic waste to sewer requires application prior to issuing consent. Refer to Water Services Officer			
Y	Environmental Health	Refer applications for liquor/food/hairdressers to Environmental Health Officer			
Y	Fire Design SPECIALIST	Fire design summary required for all commercial – to be reviewed by specialist BCO			
Y	P & D SPECIALIST	Commercial to be reviewed by specialist BCO			
Y	Structural SPECIALIST	Earthquake prone buildings / technical engineered projects to be reviewed by specialist BCO	DN	16/3/15	2 hrs
Y	Development Contributions	ALL new non- residential buildings and alterations which change use or demand also multi-unit Refer to Planning Officer			
Y	Compliance Schedule	If building will need a new or amended Compliance Schedule refer to QAS procedure			
Y	ORC	Aquifer zones [Roxburgh and Ettrick] please refer Water/discharge rights in Rural areas?			
Y	Building ADMIN				

PROCESSING NOTES					
Site is located within the Residential Resource Area on Planning Map 16.			SD	16/3/15	20m
Scaled site plan has not been submitted with application. Further information request sent.					
Proposed verandah ^{attention} may have existing use right pursuant to S.10 of RMA.					

Thermakraft

CI/SIB

JUNE 2010

THERMAKRAFT 215

BITUMINOUS SELF SUPPORTING ROOFING UNDERLAY

TECHNICAL SPECIFICATIONS

Technical Data

THERMAKRAFT 215 BITUMINOUS SELF SUPPORTING ROOFING UNDERLAY complies with the requirements of NZBC E2/AS1 Table 23.

Nominal Grammage 400g/m²

NZBC E2/AS1 TABLE 23 AS A WALL UNDERLAY REQUIREMENTS

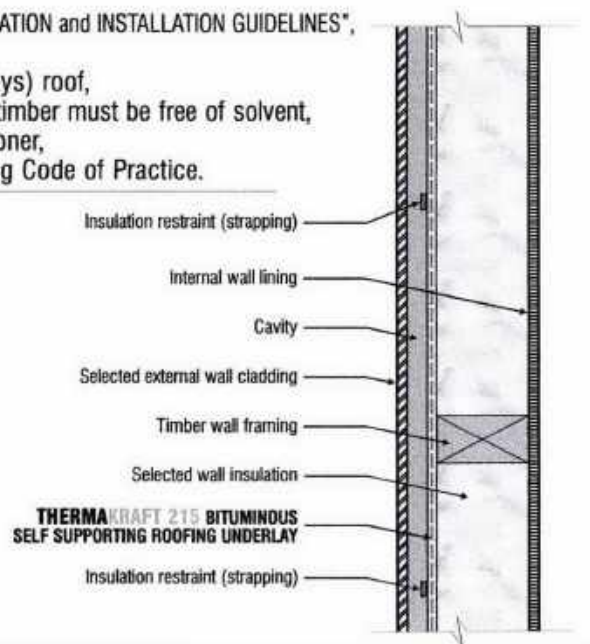
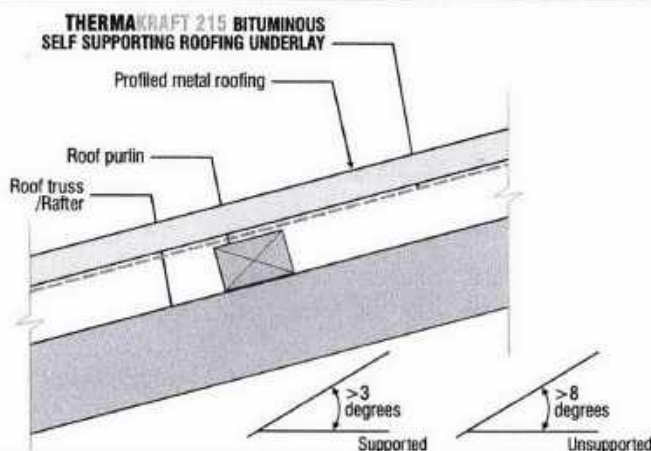
NZBC E2/AS1 TABLE 23 WALL UNDERLAY PROPERTIES	PROPERTY PERFORMANCE REQUIREMENTS	PROPERTY PERFORMANCE
Absorbency	≥ 100 gsm	Pass
Vapour Resistance	≤ 7 MN.s/g	Pass
pH of Extract	≥ 6 and ≤ 9	Pass
Shrinkage	≤ 0.5%	Pass
Water Resistance	≥ 100mm	Pass
Air Barrier	≥ 0.1 MN.s/m ³	Pass
Duty		Heavy

NZS2295:2006 Classification

Flammability Index		Non Fire Retardant
Wind Zone	R2	Up to Very High
NZS2295:2006 Classification	R2	Self Supporting

Durability/Limitations For **THERMAKRAFT 215** to meet the Performance Requirements of NZBC Clause B2, Durability B2.3.1(a) 50 years and B2.3.1(b) 15 years, E2 External Moisture, **THERMAKRAFT 215**:

- must be installed in accordance to the "APPLICATION and INSTALLATION GUIDELINES",
- run length no greater than 10 metres,
- is not left exposed for more than (7 days) roof,
- when used on LOSP treated timber, the timber must be free of solvent,
- installed by a licensed building practitioner,
- installed in accordance with the Roofing Code of Practice.



The recommendations contained in Thermakraft's literature are based on good building practice, but are not an exhaustive statement of all relevant information and are subject to any conditions contained in the Warranty. All product dimensions and performance claims are subject to any variation caused by normal manufacturing process and tolerances. Furthermore, as the successful performance of the relevant system depends on numerous factors outside the control of Thermakraft (for example quality of workmanship and design), Thermakraft shall not be liable for the recommendations in that literature and the performance of the Product, including its suitability for any purpose or ability to satisfy the relevant provisions of the Building Code, regulations and standards.

Thermakraft

C/SIB			
JUNE 2010			

THERMAKRAFT 215

BITUMINOUS SELF SUPPORTING ROOFING UNDERLAY

APPLICATION AND INSTALLATION

Product Description

THERMAKRAFT 215 BITUMINOUS SELF SUPPORTING ROOFING UNDERLAY is specifically designed for use in Domestic and Commercial type buildings.

THERMAKRAFT 215 is a breathable, absorbent bituminous wall and roofing underlay.

THERMAKRAFT 215 will provide the following functions:

- Reduce wind entry into the cavity, thereby assisting the performance of thermal insulation.
- Highly water vapour permeable, thereby allowing excess water vapour which might otherwise condense in the structure, to escape.
- Provides a temporary protection against wind, dust, rain and other weathering elements until the external cladding is applied.

Applications

THERMAKRAFT 215 is suitable as a wall and roofing underlay where Fire Retardancy is **NOT** required, and with all cladding types.

THERMAKRAFT 215 is self supporting to 1200mm rafter/purlin spacing.

THERMAKRAFT 215 can be used as an Air Barrier.

THERMAKRAFT 215 must not be left exposed to the elements for more than 7 days.

Cladding on the same day is recommended. If Fire Retardancy (FI <5) is required, use

Thermakraft **COVERTEK 207**.

Installation Roofing

THERMAKRAFT 215 may be run vertically over purlins with a 150mm lap if roof pitch >8 degrees. Fix securely to purlins with 8mm staples or 20mm clouts. The membrane should be firmly laid to avoid excessive dishing between purlins.

THERMAKRAFT 215 may be run horizontally across rafter/trusses with a 150mm lap for roof pitches above 3 degrees. Fix securely with 8mm staples or 20mm clouts.

Control of Condensation

In climatic regions where condensation risks are high, such as cold or high humidity areas, care needs to be taken in specifying the correct design and installation to prevent moisture build-up in the roof cavities. Factors which adversely affect the condensation risk in roofing systems include:

- Humid, and/or cold climatic regions
- Warm/Skillion roof construction
- Low roof cavity air volume and restricted air movement
- Omitting Vapour Control Layers
- Ceiling penetrations and entry of warm air into roof cavities
- Occupancy activities which have high moisture loading on conditioned spaces
- Low pitched roof
- Bulk insulation
- Building structures ability to naturally dry Construction Moisture

Skillion and Warm Roof Construction are particularly sensitive to moisture accumulation and the design and installation of roof construction needs to take into account the higher condensation risks. Refer MRM Code of Practice for details.

Storage

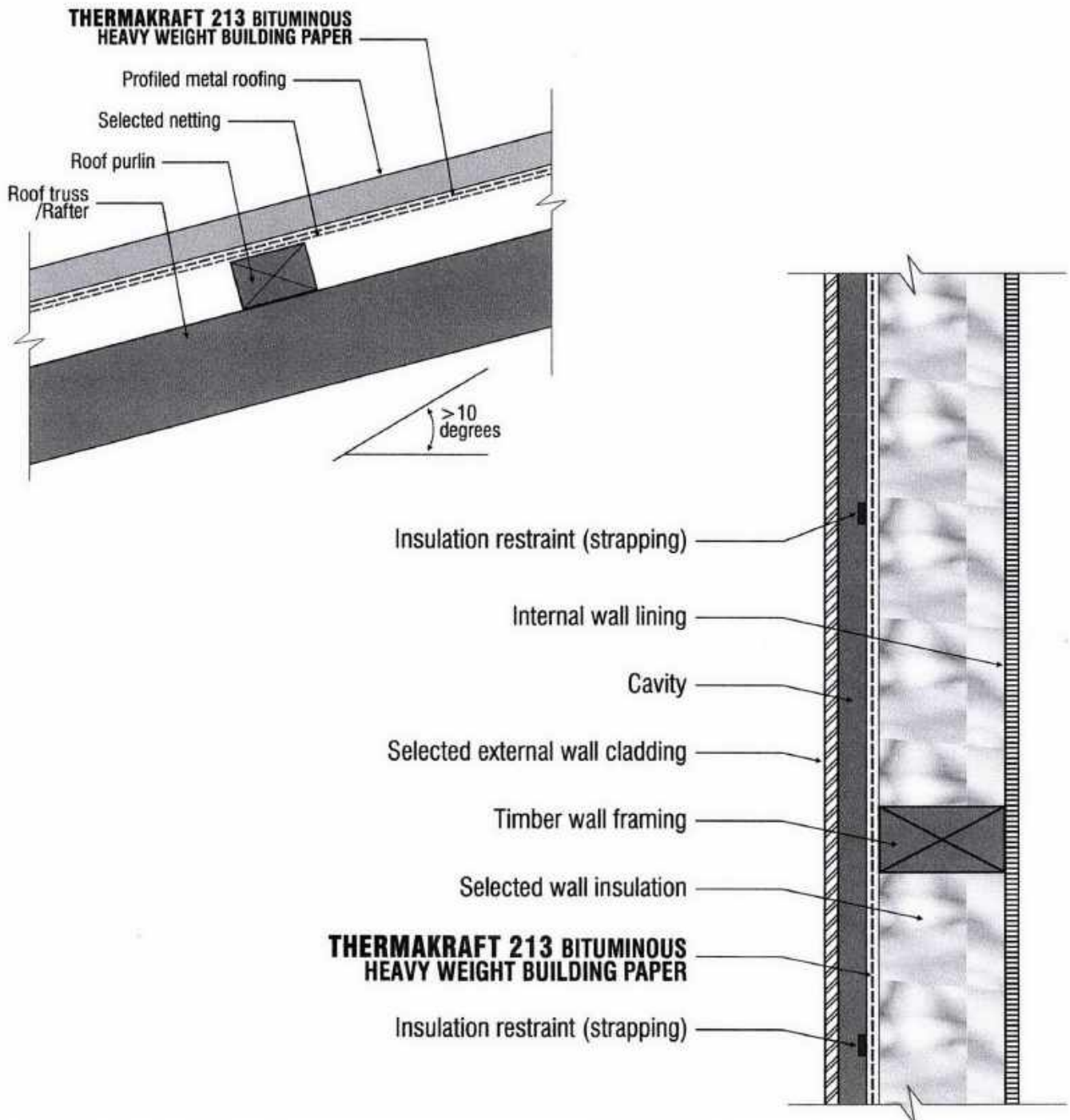
THERMAKRAFT 215 should be stored on end in dry conditions. Protect from the weather and direct sunlight.

Roll Dimensions

1250mm x 40.0m = 50m ²	20kg
1250mm x 20.0m = 25m ²	10kg (2 per pack)
1450mm x 34.5m = 50m ²	20kg

THERMAKRAFT 213 BITUMINOUS HEAVY WEIGHT BUILDING PAPER

TECHNICAL SPECIFICATIONS



The recommendations contained in **Thermakraft's** literature are based on good building practice, but are not an exhaustive statement of all relevant information and are subject to any conditions contained in the Warranty. All product dimensions and performance claims are subject to any variation caused by normal manufacturing process and tolerances. Furthermore, as the successful performance of the relevant system depends on numerous factors outside the control of **Thermakraft** (for example quality of workmanship and design), **Thermakraft** shall not be liable for the recommendations in that literature and the performance of the **Product**, including its suitability for any purpose or ability to satisfy the relevant provisions of the Building Code, regulations and standards.

THERMAKRAFT 213 BITUMINOUS HEAVY WEIGHT BUILDING PAPER

TECHNICAL SPECIFICATIONS

Technical Data

THERMAKRAFT 213 BITUMINOUS HEAVY WEIGHT BUILDING PAPER complies with the requirements of NZBC E2/AS1 Table 23.

Nominal Grammage 230g/m²

NZBC E2/AS1 TABLE 23 AS A WALL UNDERLAY REQUIREMENTS

NZBC E2/AS1 TABLE 23 WALL UNDERLAY PROPERTIES	PROPERTY PERFORMANCE REQUIREMENTS	PROPERTY PERFORMANCE
Absorbency	≥150 gsm	Pass
Vapour Resistance	≤7 MN.s/g	Pass
pH of Extract	≥6 and ≤9	Pass
Shrinkage	≤0.5%	Pass
Water Resistance	≥100mm	Pass

NZS2295:2006 Classification

Flammability Index		Non Fire Retardant
Wind Zone	R1 and W2	Up to Very High
NZS2295:2006 Classification	R1 and W2	Heavy Weight

Durability/Limitations

For **THERMAKRAFT 213** to meet the Performance Requirements of NZBC Clause B2, Durability B2.3.1(a) 50 years and B2.3.1(b) 15 years, E2 External Moisture providing;

- installed in accordance to the Application and Installation Guidelines,
- run length no greater than 10 metres,
- is not left exposed for more than (7 days) roof,
- is not left exposed for more than (28 days) wall,
- installed in medium wind zones or below,
- when used on LOSP treated timber, the timber must be free of solvent,
- installed by a licensed building practitioner,
- installed in accordance with the Roofing Code of Practice.

THERMAKRAFT 213 BITUMINOUS HEAVY WEIGHT BUILDING PAPER

APPLICATION AND INSTALLATION

Installations Wall

THERMAKRAFT 213 should be fixed to the exterior face of the framing, running horizontally. Start at the lower edge 20mm past the perimeter joists and run to the top of the framing. A minimum of 75mm overlapping is recommended. Fix with **Thermakraft Arctic White Thermastrap 203** or **Thermastrap 201** to the outside face of the studs with 8-12mm staples at 300mm centres.

NOTE: For wall cavity systems, NZBC Acceptable Solution E2/AS1 Paragraph 9.1.5.5 requires where stud spacings are greater than 450mm centres, an intermediate means of restraining the building underlay and insulation from bulging into the drained cavity shall be installed. An acceptable means of achieving this is by fixing **Thermakraft Arctic White Thermastrap 203** or **Thermakraft Stud Strap** horizontally at 300mm centres.

Storage

THERMAKRAFT 213 should be stood on end in dry conditions. Protect from the weather and direct sunlight.

Roll Dimensions

1370mm x 73.0m = 100m ²	23kg	
1370mm x 36.5m = 50m ²	11.5kg	(2 per pack)
1340mm x 19.0m = 25m ²	5.7kg	(3 per pack)

For more information regarding Thermakraft **COVERIEK407** FIRE RETARDANT SELF SUPPORTING ABSORBENT BREATHABLE SYNTHETIC NON WOVEN ROOFING UNDERLAY refer to the "DESIGNER and USER GUIDELINES" - Direct and Cavity Fix, or contact Thermakraft Customer Services on **0800 806 595**.

THERMAKRAFT 213 BITUMINOUS HEAVY WEIGHT BUILDING PAPER

APPLICATION AND INSTALLATION

Product Description **THERMAKRAFT 213 BITUMINOUS HEAVY WEIGHT BUILDING PAPER** is specifically designed for use in Domestic and Commercial type buildings.
THERMAKRAFT 213 is a black breathable, absorbent bituminous wall and roofing underlay.
THERMAKRAFT 213 will provide the following functions:

- Reduce wind entry into the cavity, thereby assisting the performance of thermal insulation.
- Highly water vapour permeable, thereby allowing excess water vapour which might otherwise condense in the structure, to escape.
- Provides a temporary protection against wind, dust, rain and other weathering elements until the external cladding is applied.

THERMAKRAFT 213 is not designed for use in extreme weather conditions.

Applications **THERMAKRAFT 213** is suitable as a wall and roofing underlay with all cladding types, and it can be used as a wall and roofing underlay where Fire Retardancy is **NOT** required.
THERMAKRAFT 213 is suitable as a roofing underlay when installed to the Roofing Code of Practice, supported on **Thermakraft Safety Mesh** 300mm x 150m or hexagonal netting 50mm or 75mm, or **Thermakraft Arctic White Thermastrap 203**, or **Thermakraft Thermastrap 201**.
THERMAKRAFT 213 must not be left exposed to the elements for more than 7 days as a roofing underlay, or 28 days as a wall underlay. Cladding on the same day is recommended.
THERMAKRAFT 213 cannot be used as an Air Barrier. Use **Thermakraft Synthetic Wall Underlays** (refer **Thermakraft Customer Services** on **0800 806 595**) or use **Thermakraft 215 Bituminous Self Supporting Roofing Underlay**.
NOTE: THERMAKRAFT 213 must not be used with a roof pitch below 10 degrees. For applications with a Roof pitch <10 degrees, **Thermakraft** recommends **Thermakraft COVERTEK407** or **Thermakraft 215 Self Supporting Roofing Underlay**. If Fire Retardancy (F1 <5) is required, use **Thermakraft COVERTEK407**.

Installations
Roofing **THERMAKRAFT 213** can only be used at pitches of 10 degrees or above, and may run horizontally on netting starting at the gutter and working up the roof slope with a minimum 150mm lap. **THERMAKRAFT 213** may be run vertically on netting starting at the gutter to the ridge with a minimum 150mm lap. Secure to rafters/trusses using appropriate fixing clouts or clips. Wire netting must be stretched and tight.

Control of Condensation In climatic regions where condensation risks are high, such as cold or high humidity areas, care needs to be taken in specifying the correct design and installation to prevent moisture build-up in the roof cavities.
 Factors which adversely affect the condensation risk in roofing systems include;

- Humid, and/or cold climatic regions
- Warm/Skillion roof construction
- Low roof cavity air volume and restricted air movement
- Omitting Vapour Control Layers
- Ceiling penetrations and entry of warm air into roof cavities
- Occupancy activities which have high moisture loading on conditioned spaces
- Low pitched roof
- Bulk insulation
- Building structures ability to naturally dry Construction Moisture



Sika® Damp Stop

TWO PART WATER BASED EPOXY COATING FOR WATERPROOFING CONCRETE AND MASONRY WALLS AND FLOORS

PRODUCT DESCRIPTION

Sika Damp Stop provides a moisture barrier for interior and exterior concrete or masonry surfaces. This prevents ingress of water vapour and will protect linings and furnishings.

USES

Sika Damp Stop is designed for sealing concrete and masonry walls and floors from moisture or rising damp. It can be used for waterproofing basements, concrete tanks and reservoirs, liftwells, tunnels, and subways. Sika Damp Stop is not suitable for resisting negative high water pressure and will not stop flowing water. Sika Damp Stop is not designed to be crack bridging.

CHARACTERISTICS / ADVANTAGES

- Water based - easy to apply
- Dries in 4 hours
- Non-toxic and odourless
- Can be applied to damp or fresh concrete

PRODUCT DATA

FORM

Part A: Base (Opaque Liquid)

Part B: Catalyst (Clear Liquid)

COLOUR

White

PACKAGING

Sika® Damp Stop is supplied in 4 litre units

STORAGE

STORAGE CONDITIONS / SHELF-LIFE

12 months when stored in unopened original containers in cool dry conditions.

TECHNICAL DATA

POT LIFE:

2 hours @ 20°C

DENSITY:

Mixed 1.10 kg/litre

TOUCH DRY TIME:

4 hours @ 20°C

8 hours @ 10°C

OVERCOATING TIME:

8 hours @ 20°C (maximum 48 hours)

12 hours @ 10°C (maximum 48 hours)

MIX RATIO:

Part B: Part A

1: 3 by weight or volume

COVERAGE:First coat: 6-8 m²/litreSecond coat: 8-10 m²/litre

A 4 litre unit will cover 10-15 m² for a total 2-coat application depending on surface absorbency and profile.

System Information

APPLICATION CONDITIONS

SURFACE PREPARATION

- Ensure all surfaces are dry, sound and free from dirt, grease and laitance.
- Make good all surfaces; fill all pore holes and 'bag' the surface of porous masonry with appropriate Sika MonoTop repair mortar prior to application of Sika Damp Stop. Ideally honed masonry should be used.
- If surfaces are wet, dry off with a hot flame then apply Sika Damp Stop before moisture returns.
- Sika Damp Stop will tolerate a damp surface but will not tolerate any free standing water or excessively saturated surfaces as this will prevent the product curing.

APPLICATION INSTRUCTIONS

MIXING

It is best practice to mix full units. Where smaller areas are to be coated it may be necessary to mix part units. In this case, a strict mix ratio of 1:3 by weight or volume must be adhered to. All mixed product should be used immediately as pot life is approximately 2 hours @ 20°C.

TO MIX A FULL UNIT:

- Add ALL of Part B (Catalyst) to Part A (Base) and mix thoroughly with a mixing paddle for 2 minutes.
- Use a slow speed drill at 200-300 rpm.
- Do not entrain air while mixing.
- Scrape sides of tin and mix for another 2 minutes.

APPLICATION

- Apply with a brush or short nap synthetic paint roller to a wet film thickness of 50 µm.
- Allow to dry for a minimum of 8 hours then apply a second coat to a wet film thickness of 50 µm.
- If the first coat is allowed to dry for longer than 48 hours, sand thoroughly with a 100 grit sandpaper (and remove all dust), otherwise delamination between the coats may occur.

Product Data Sheet

Sika® Damp Stop

19/09/2013, Version 09/13 (replaces 08/12)

Sika Damp Stop - PDS - 0913 repl 0812

Asia Pacific | NZ

Waterproofing

OVERPAINTING

- Sika Damp Stop is available in White and does not need to be overpainted.
- However, if painting is required, Sika Damp Stop may be overcoated with a variety of paints.
- A paint trial is recommended to test compatibility.
- Apply paint after 8 hours and before 48 hours after application of the first coat of Sika Damp Stop.
- Do not apply outside these time periods.

IMPORTANT NOTES / LIMITATIONS

- Do not apply to surface where there is free water or flowing water.
- Do not dilute.
- Do not apply if temperature is less than 10°C or likely to fall below 10°C during the drying period.

VALUE BASE

All technical data stated in this Product Data Sheet are based on laboratory tests. Actual measured data may vary due to circumstances beyond our control.

LOCAL RESTRICTIONS

Please note that as a result of specific local regulations the performance of this product may vary from country to country. Please consult the local Product Data Sheet for the exact description of the application fields.

HEALTH AND SAFETY INFORMATION

For information and advice on the safe handling, storage and disposal of chemical products, users shall refer to the most recent Material Safety Data Sheet containing physical, ecological, toxicological and other safety-related data.

LEGAL NOTES

The information, and, in particular, the recommendations relating to the application and end-use of Sika products, are given in good faith based on Sika's current knowledge and experience of the products when properly stored, handled and applied under normal conditions in accordance with Sika's recommendations. In practice, the differences in materials, substrates and actual site conditions are such that no warranty in respect of merchantability or of fitness for a particular purpose, nor any liability arising out of any legal relationship whatsoever, can be inferred either from this information, or from any written recommendations, or from any other advice offered. The user of the product must test the product's suitability for the intended application and purpose. Sika reserves the right to change the properties of its products. The proprietary rights of third parties must be observed. All orders are accepted subject to our current terms of sale and delivery. Users must always refer to the most recent issue of the local Product Data Sheet for the product concerned, copies of which will be supplied on request. It may be necessary to adapt the above disclaimer to specific local laws and regulations.

FOR MORE SIKA® DAMP STOP INFORMATION:







Sika (NZ) Limited
Waterproofing
PO Box 19192, Avondale
Auckland 1746
New Zealand
www.sika.co.nz

Phone: 0800 745 269
Fax: 0800 745 232
Mail: info@nz.sika.com

Product Data Sheet
Sika® Damp Stop
19/09/2013, Version 09/13 (replaces 08/12)
Sika Damp Stop - PDS - 0913 repl 0812

Asia Pacific | NZ
Waterproofing

LEGEND FOR PROPOSED PLUMBING & DRAINAGE LAYOUT -

	= Council sewer main
	= 100mm Sewer pipe
	= 90mm Storm water pipe
	<div style="text-align: center;">S</div> = Storm water cobble pit
O	= Drain inspection point
WC	= Water closet
G/T	= Gully trap
I/Y	= Inspection wye
R/P	= Rodding point
ORG	= Overflow Relief Gully
FWG	= Floor waste gully
T/V	= Terminal drain vent
D/P	= 80mm Down pipe
AAV	= Air Admittance valve

All drainage laid to : AS/NZS 3500 (100mm drains - falls 16.5mm per Metre minimum can be achieved)
: NZBC G13 (100mm drains - falls 8mm per Metre minimum can be achieved)

All internal water reticulation to be proprietary polybutylene system , lagged with proprietary closed cell foam product where pipe conveys hot water and where exposed to freezing temperatures.

Internal waste discharge pipes to be as per size indicated on drawings or generally 40mm PVC and discharging to external gully trap , of if indicated discharging to floor waste gully (FWG).

PROJECT INFORMATION MEMORANDUM

Section 34, Building Act 2004

APPLICATION

P R & H P Samson	No.	150117
7 Donegal St	Issue date	25/03/15
Cromwell 9310	Application date	12/03/15
	Overseer	Darryl Shirley

PROJECT

Description	Residential - Dwelling additions and alterations Being Stage 1 of an intended 1 Stages Close in verandah, add bay windows and french doors, add toilet to existing dwelling
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$39,500
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Valuation No.	2850578100

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

- this document is not approval to build
- the building consent authority will follow up on building work not completed within two years of building consent issue
- a building consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

This project information memorandum includes:

☐ Important information

Notes

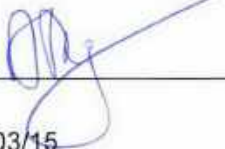
Upon completion of this project, you are required to provide council with copies of any energy certificates issued [i.e. electrical and gas.]

The site is within the Residential Resource Area of the Central Otago District Plan.

Construction noise is permitted between 7am and 6pm within urban areas in accordance with NZS 6803P:1984 The Measurement and Assessment of Noise from Construction, Maintenance, and Demolition Work. A breach to these standards requires a land use consent as a discretionary (restricted) activity in terms of Rule 12.7.4(ii) of the Central Otago District Plan.

Building Consent Officer: Darryl Shirley

Signature:



Date:

25/03/15

On behalf of:

Central Otago District Council

PO Box 122

Alexandra

Description of Project Work

Samson 7 Donegal Street, Cromwell

1. Change existing joinery to double glazing on the north side of the house (plus one window on the eastern wall and a new placement as in 5 below)
2. Re-render the walls affected by the window changes
3. Remove the electric hot water cylinder and install a gas caliphont system.
4. Remove the bath and add a new vanity and extra toilet to the main bathroom
5. Enclose the existing verandha (western side only) by adding two side walls to become an externally accessed hobby room.
6. Add a small box bay extension in the lounge.
7. Remove the wall between the lounge and the current north facing bed room to increase the living space.

Attachments to the Application for Building Consent

Samson : 7 Donegal Street Cromwell

Application Form

Description of Project Work

Plans 11 pages

Specifications 29 pages

215 Data 2 pages

213 Data 4 pages

LBP Memo 4 pages

Sika Data 3 pages

Legend for proposed plumbing/drainage 1 page

Prolam Summary 7 pages

27 26 2015 507

DC Homes Ltd

SPECIFICATION of work to be done and materials to be used in carrying out the works shown on the accompanying drawings

Renovation

Project Specification

7 Donegal Street, Cromwell, New Zealand

Project Ref:

Printed: 09 March 2015

Specification built using masterspec software

Masterspec ID: 109192; Version ID: 23967

masterspec

CENTRAL OTAGO DISTRICT COUNCIL	
Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on the building site and produced on request.	
Signed: 	Date: 24/3/15

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1270 CONSTRUCTION

1. GENERAL

This GENERAL section relates to common requirements for construction issues including: -

- Quality assurance
- Noise and nuisance
- Set out
- Common execution requirements
- Common materials requirements
- Supply of spare materials
- Common requirements for samples and tests
- Final presentation and cleaning
- Commissioning

Quality control and assurance

1.1 QUALITY ASSURANCE

Carry out and record regular checks of material quality and accuracy, including:

- Concrete quality and finish.
- Dimensional accuracy of structural column locations (following completion of foundations).
- All perimeter columns and frames for plumb.
- Levels of all floors relative to the site datum.
- Framing timber moisture content.

Where any material, quality or dimension falls outside specified or required tolerances, obtain written direction from the contract administrator. Where building consent approval is affected, confirm remedial action with the Building Consent Authority.

Provide all materials, plant, attendances, supervision, inspections and programming to ensure the required quality standards are met by all project personnel.

Noise and nuisance

1.2 DIRT AND DROPPINGS

Remove dirt and droppings deposited on public or private thoroughfares from vehicles servicing the site to the satisfaction of the appropriate authorities and the contract administrator.

1.3 DAMAGE AND NUISANCE

Take all precautions to prevent damage and nuisance from water, fire, smoke, dust, rubbish and all other causes resulting from the construction works.

Set-out and tolerances

1.4 SURVEY INFORMATION

Locate and verify survey marks and datum points required to set out the works. Record and maintain their position. Re-establish and replace disturbed or obliterated marks.

1.5 SET-OUT AND DATUM

Set out the work to conform with the drawings. Establish a permanent site datum to confirm the proposed building ground floor level and its relationship to all other existing and new building levels.

1.6 SET-OUT BY LICENSED CADASTRAL SURVEYOR

Before commencing construction provide the contract administrator with a certificate prepared by a licensed cadastral surveyor that the set-out is complete and that the building is accurately placed on the site.

During construction provide the contract administrator with a certificate, prepared by the same licensed cadastral surveyor confirming the set-out of the foundations and grid lines.

Necessary adjustments are to be determined and agreed to by the contract administrator before proceeding further.

1.7 CONFIRM HEIGHT IN RELATION TO BOUNDARY

Provide a certificate prepared by a licensed cadastral surveyor that the building has been constructed within the allowed height in relation to boundary. Provide the certificate to the local authority. Provide a copy of the certificate to the contract administrator

1.8 USE OF SET-OUT INSTRUMENTS

Permit without charge, the use of instruments already on site for checking, setting out and levels.

1.9 CHECK DIMENSIONS

Check all dimensions both on drawings and site, particularly the correlation between components and work in place. Take all dimensions on drawings to be between structural elements before linings or finishes, unless clearly stated otherwise.

1.10 TOLERANCES

All work to be level, plumb, and true to line and face. Unless otherwise specified in specific work sections of this specification, tolerances for structural work shall comply with the following:

Concrete construction:	To <u>NZS 3109</u> Concrete construction Clause 3.9 Tolerances for reinforcement Table 5.1 Tolerance for precast components Table 5.2 Tolerance for in situ construction To <u>NZS 3114</u> Concrete surface finishes
Masonry construction:	To <u>NZS 4210</u> Masonry construction: Materials and workmanship Clause 2.6.5 Tolerances Table 2.2 Maximum tolerances
Structural steelwork:	To <u>NZS 3404:1997</u> Steel structures standard Section 14.4 Tolerances (after fabrication) Section 15.3 Tolerances (erection)
Timber framing:	To <u>NZS 3604</u> Timber-framed buildings Clause 2.2 Tolerances Table 2.1 Timber framing tolerances

Refer to work sections for tolerance requirements for finishes.

Execution

1.11 EXAMINE PREVIOUS WORK

Before commencing any part of the work carefully examine the previous work on which it may depend. Report in writing to the contract administrator defects that may affect the quality of the proposed work and obtain instructions. Commencing work on any part means that previous work is accepted as being satisfactory for work of the required standard.

1.12 WORKER QUALIFICATIONS

All work to be level, plumb, and true to line and face. Employ only experienced workers familiar with the materials and techniques specified.

1.13 MINIMISE DELAYS DUE TO WEATHER

Use appropriate techniques and methods to prevent damage and minimise delays due to weather.

Materials

1.14 NEW PRODUCTS AND MATERIALS

Materials and products to be new unless stated otherwise, of the specified, and complying with all cited documents.

- 1.15 COMPATIBILITY OF MATERIALS AND FINISHES**
Ensure all parts of a construction or finish are compatible and their individual use approved by the manufacturers and suppliers of other parts of the system. Source all parts of a system from a single manufacturer or supplier.
- 1.16 STORING PRODUCTS AND MATERIALS**
Take delivery of and store products, materials and components in accordance with codes of practice and the product manufacturer's or supplier's stated requirements. Maintain the proper condition of any protective packaging, wrappings or supports during delivery, unloading and storage.
- 1.17 HANDLING PRODUCTS AND MATERIALS**
Handle products, materials and components in accordance with codes of practice and the manufacturer's or supplier's stated guidelines. Avoid distortion and any contact with potentially damaging surfaces or conditions.
- 1.18 SUBSTRATE CONDITIONS**
Ensure substrate conditions are within the manufacturer's or supplier's stated guidelines both before and during the installation of any material, product or system. Obtain written instructions on the necessary action to rectify unsatisfactory conditions.
- 1.19 INSTALLING PRODUCTS AND MATERIALS**
Install in accordance with the manufacturer's or supplier's technical literature. Ensure that all installers are familiar with the required substrate conditions and the manufacturer's or supplier's specified preparation, fixing and finishing techniques.
- 1.20 COMPLY WITH STANDARDS**
Comply with the relevant and/or cited Standard for any material or component. Obtain certificates of compliance when requested by the contract administrator.
- 1.21 CONDITION OF MATERIALS AND COMPONENTS**
To be in perfect condition when incorporated into the work.
- 1.22 INCOMPATIBLE MATERIALS AND METALS**
Separate incompatible materials and metals with separation layers, sleeves or gaskets of plastic film, bituminous felt or mastic or paint coatings, installed so that none are visible on exposed surfaces.

Samples and tests

- 1.23 SAMPLES AND PROTOTYPES**
Where specified in the work sections, submit samples, prepare sample panels, and construct prototypes for review as to appearance, form and conformance with the drawings and specifications. Submit all information required to assist the review process, including technical data, manufacturer's literature, independent appraisals and producer statements.
- Timing for the provision and review of samples, sample panels and prototypes to be included in the contract programme. Allow a minimum of 10 working days for each review. Proceed only after instructions to proceed have been issued in writing by the contract administrator.
- In situ work may be incorporated in the finished work if so confirmed, otherwise allow to remove completely and replace.
- 1.24 CONTROL STANDARD**
Obtain the contract administrator's confirmation of material, component and work samples which then become the quality control standard. Remove from the site any rejected samples. Retain confirmed samples with care on site for comparison throughout the contract. Remove from the site when no longer required.

Spares

- 1.25 **SPARES**
Collect, protect and store safely all spare materials required under the contract. Give the contract administrator an inventory of all spares.

Final presentation and cleaning

- 1.26 **REMOVE TEMPORARY PROTECTION**
Remove all temporary markings, coverings, labels and protective wrappings unless instructed otherwise.
- 1.27 **REPLACE DAMAGED MATERIALS**
Replace all materials or component damaged during the works to the standard of and integral with the original.
- 1.28 **COMPLETE ALL SERVICES**
Ensure all services are complete and operational, with all temporary labelling removed, required labelling fixed and service instructions provided.
- 1.29 **CLEANING BY CONTRACTOR**
Clear the contract works of all construction materials, waste, dirt and debris. Clean the contract works including:
- Wipe all surfaces to remove construction dust
 - Clean out service ducts and accessible concealed spaces
 - Clean out all gutters and rainwater heads
 - Wipe dust from both sides of glass. Take particular care when removing paint or cementitious materials to not damage the glass.
 - Remove adhesive residue left by labels and other temporary protection/markings
 - Clean out the interior of all cabinetry
 - Wash down external concrete including driveways and concrete masonry. Take care when waterblasting to not cause damage to the surface or allow water to enter the building.
 - Remove rubbish and building material from the area immediately adjacent to the contract works

Commissioning

- 1.30 **MOVING PARTS**
Adjust, ease and lubricate all doors, windows, drawers, hardware, appliances, controls and all moving parts to give easy and efficient operation.
- 1.31 **SECURITY AT COMPLETION**
Remove any temporary lock cylinders and complete final keying prior to handing over keys to the principal on completion of the works. Leave the works secure with all accesses locked. Account for all keys/cards/codes and hand to the principal along with an itemised schedule, retaining a duplicate schedule signed by the principal as a receipt.

3101 CONCRETE WORK - BASIC

1. GENERAL

This section relates to formwork, reinforcement, concrete mixes and the placing of concrete.

Documents

1.1 DOCUMENTS

Refer to the general section 1233 REFERENCED DOCUMENTS. The following documents are specifically referred to in this section:

<u>NZBC B1/AS1</u>	Structure
<u>NZBC E2/AS3</u>	External moisture
AS 1366.3	Rigid cellular plastics for thermal insulation - Rigid cellular polystyrene - Moulded (RC/PS - M)
<u>NZS 3101.1</u>	Concrete structures standard
<u>NZS 3104</u>	Specification for concrete production
<u>NZS 3109</u>	Concrete construction
<u>NZS 3114</u>	Specification for concrete surface finishes
<u>NZS 3604</u>	Timber-framed buildings
<u>AS/NZS 4671</u>	Steel reinforcing materials
<u>AS/NZS 4858</u>	Wet area membranes
CCANZ CP 01	Code of practice for weathertight concrete and concrete masonry construction

2. PRODUCTS

2.1 NORMAL CONCRETE

Normal concrete 17.5, 20 or 25 MPa grade, (refer to SELECTIONS), maximum aggregate size 19mm ready-mixed to NZS 3104. Provide delivery dockets listing mix and despatch details.

2.2 SITE CONCRETE

Special concrete 10 MPa with minimum water for workability, all materials and batching to NZS 3104, table 3.1, Prescribed mixes (P).

2.3 REINFORCEMENT

Bars to AS/NZS 4671. Grade 300E deformed, other than for ties, stirrups and spirals, unless shown otherwise on the drawings. Welded reinforcing mesh to AS/NZS 4671. All reinforcing and mesh for residential slabs on ground shall be to AS/NZS 4671 Class E.

2.4 TYING WIRE

Mild drawn steel wire not less than 1.2mm diameter.

2.5 SPACERS AND CHAIRS

Precast concrete or purpose made moulded PVC to approval. Where concrete spacer blocks are used in exposed concrete work use blocks matching surrounding concrete.

2.6 DAMP-PROOF MEMBRANE

0.25mm minimum polyethylene to NZS 3604, 7.5.4, Damp-proof membrane.

3. EXECUTION

3.1 HANDLE AND STORE

Handle and store reinforcing steel and accessories without damage or contamination. Store on timber fillets on hard ground in a secure area clear of any building operation. Lay steel fabric flat.

Ensure reinforcement is clean and remains clean so that at the time of placing concrete it is free of all loose mill scale, loose rust and any other contamination that may reduce bonding capacity.

3.2 FALSEWORK AND FORMWORK

Use falsework and formwork of sufficient strength to retain and support the wet concrete to the required profiles and tolerances. Select formwork finish to produce the specified finished quality. Ensure timber or plywood used for formwork is non-staining to the set concrete.

Securely fix and brace formwork sufficiently to support loads and with joints and linings tight enough to prevent water loss. Do not use tie wires or rods unless approved in writing by the Contract Administrator. Unless detailed otherwise, provide a 19mm chamfer or fillet strip at all interior and exterior angles of beam and column forms. Mitre at intersections.

Water blast to clean formwork. Keep formwork wet before concrete is placed.

Unless detailed otherwise, set up soffit boxing for beams and slabs to provide a camber when forms are stripped, of 3mm rise for every 3 metres of total clear span.

3.3 INSTALL DAMP-PROOF MEMBRANE

Apply polythene membrane to prepared basecourse with 150mm laps between sheets. Tape seal laps and penetrations with 50mm wide pressure sensitive plastic tape. Refer to drawings for perimeter details.

3.4 CUT AND BEND REINFORCEMENT

Cut and bend bars using proper bending tools to avoid notching and to the requirements of NZS 3109: 3.3 Hooks and bends. Minimum radii of reinforcement bends to NZS 3109, table 3.1, Minimum radii of reinforcement bends. Do not rebend bars. Where rebending is approved, use a purpose built tool, proper preparation and preheating.

3.5 ADJUSTMENTS

Use a purpose built tool for on site bending and to deal with minor adjustments to steel reinforcement.

3.6 TOLERANCES, BENDING

To NZS 3109, 3.9, Tolerances for reinforcement.

3.7 SECURE REINFORCEMENT

Secure reinforcement adequately with tying wire and place, support and secure against displacement when concreting. Bend tying wire back well clear of the formwork. Spacing as dimensioned, or if not shown, to the clear distance minimums in NZS 3109, 3.6, Spacing of reinforcement.

3.8 LAPPED SPLICES

Length of laps where not dimensioned on the drawings in accordance with the SELECTIONS. Increase laps of plain round steel by 100%. Provide laps only where indicated on the drawings. Tie all lapping bars to each other. Welded wire mesh laps to NZS 3101, lap one mesh square plus 50mm minimum (do not count bar extension beyond the outermost wire).

3.9 REINFORCEMENT COVER

Minimum cover to all reinforcing bars, stirrups, ties and spirals, as shown on drawings. Where cover is not shown on drawings provide minimum cover to NZS 3101.1, table 3.6, Minimum required cover for a specified intended life of 50 years. Fix chairs for top reinforcement in slabs at 1.0 metre centres or to ensure adequate support. Cover tolerances to NZS 3109, 3.9, Tolerances for reinforcement.

3.10 CASTING IN

Build in all grounds, bolts and fixings for wall plates and bracing elements, holding down bolts, pipes, sleeves and fixings as required by all trades and as shown on the drawings, prior to pouring the concrete.

Do not use grounds exceeding 100mm in length. Location and form of conduits to be approved in writing by the Contract Administrator. Minimum cover 40mm. Do not encase

aluminium items in concrete. Do not paint steel embedded items more than 25mm into the concrete encasement. Cut back form ties to specified cover and fill the cavities with mortar.

Form all pockets, chases and flashing grooves as required by all trades and as shown on the drawings.

Wrap all pipes embedded in concrete with tape to break the bond and to accommodate expansion. Do not embed pipes for conveying liquids exceeding a temperature of 50°C in concrete.

3.11 PRE-PLACEMENT INSPECTION

Do not place concrete until all excavations, boxing and reinforcing have been inspected and passed by the Building Consent Authority.

3.12 SURFACE FINISHES

To NZS 3114, 105, Specification of finishes, as scheduled or as denoted on the drawings.

3.13 CONCRETE SURFACE TOLERANCES

To NZS 3114, 104, Surface tolerances and NZS 3114, 105, Specification of finishes, with the suggested tolerances becoming the required tolerances.

3.14 COMPACTION

Use power operated vibrators on foundations, vertical constructions and beams.

3.15 RESIDENTIAL FLOOR SLABS

Generally to NZS 3604 as modified by NZBC B1/AS1 and NZBC E2/AS3

Construct to NZS 3604, 4.5 **Concrete and concrete masonry** and NZS 3604, 7.5,

Concrete slab-on-ground floors in timber buildings as modified by NZBC B1/AS1, 3.0 **Timber**. Lay to true and straight surfaces, screeded, floated and steel (manual or power) trowelled finish. Tolerance on flatness: maximum 3mm gradual deviation over a 3 metre straight-edge, to NZS 3109, 104, Surface tolerances.

Allow for free Joints to NZBC B1/AS1, 3.1.13 NZS 3604 **New clause**

3.16 SAW CUTS

Cut slabs where indicated on the drawings and as required to control shrinkage cracking. Carry out cutting as soon as possible, without causing tear-out of aggregate and before shrinkage cracking has occurred, generally within 24 hours of pouring. Where saw cuts are made, cut out 100mm of every second wire of the mesh for a length of 50mm each side of the saw cut position. Saw cuts: 1/3 slab depth or 30mm minimum.

Spacing of sawcuts

Floor situation	Maximum spacing of sawcuts both ways
Industrial floor	5m
Architectural, exposed floor, thin finishes, rigid finishes	4m
Carpet on underlay flooring	6m

3.17 SURFACE DEFECTS

Make good surface defects immediately after forms are stripped. Make good hollows or bony areas with 1:2 mortar or plaster, finished to the same tolerances as the parent concrete. Fill any tie rod holes with 1:2 mortar.

3.18 CURING OF CONCRETE

Keep damp for not less than seven days. Ensure curing of slabs commences as soon as possible after final finishing, by the use of continuous water sprays, or ponding. Alternately, apply a curing membrane. Ensure any membrane used will not affect subsequent applied finishes.

3.19 STRIKE FORMWORK

Strike formwork without damaging or overloading structure. Do not remove formwork before the following minimum periods:

12 hours:	Sides of beams, walls and columns
4 days:	Slabs in beam and slab construction (leave props under slab spans over 2 metres)
10 days:	Props from under slab spans over 2 metres
18 days:	Beams, soffits and slab spans over 5 metres

3.20 CLEAN OUT

Clean out saw cuts. Fill with cement grout where the floor will be covered with carpet or vinyl.

3.21 REMOVE

Remove all unused materials and all concrete and reinforcing debris from the site.

4. SELECTIONS**4.1 DAMP-PROOF MEMBRANE**

Brand/type: ~"Agphan" underfloor DPC

4.2 REINFORCEMENT LAPS

Where reinforcement laps are not shown on the drawings, lap as follows:

Bar diameter	Grade 300E deformed
10mm	400mm
12mm	500mm
16mm	650mm

4.3 CONCRETE

Normal concrete:

20.0 MPa: for ~ All Concrete

Prescribed concrete:

10 MPa: Site concrete, bedding concrete and for setting posts

17.5 MPa: As required by NZS 3604

25 MPa: As required by NZS 3604 and for exposed concrete in sea spray zone

3820 CARPENTRY

1. GENERAL

This section relates to the supply and erection of light timber framing, floors, flooring underlays and decking.

1.1 DOCUMENTS

Refer to the general section 1233 REFERENCED DOCUMENTS. The following documents are specifically referred to in this section:

<u>NZBC B2/AS1</u>	Durability
<u>AS/NZS 1328.1</u>	Glued laminated structural timber - Performance requirements and minimum production requirements
<u>AS/NZS 1860.1</u>	Particleboard flooring - Specifications
<u>AS/NZS 2269.0</u>	Plywood - Structural - Specification
<u>AS/NZS 2904</u>	Damp-proof courses and flashings
<u>AS/NZS 2918</u>	Domestic solid fuel burning appliances - Installation
<u>NZS 3602</u>	Timber and wood-based products for use in building
<u>NZS 3603</u>	Timber structures standard
<u>NZS 3604</u>	Timber-framed buildings
<u>NZS 3622</u>	Verification of timber properties
<u>NZS 3640</u>	Chemical preservation of round and sawn timber
<u>FTMA CoP</u>	Frame and Truss Manufacturers Association Code of Practice

***A copy of NZS 3604 Timber-framed buildings, must be held on site.**

1.2 SAMPLES

Provide samples of the following for review prior to ordering:

- Boarding for exterior decks
- Timber strip flooring.

1.3 DIMENSIONS

All timber sizes except for battens are actual minimum dried sizes.

2. PRODUCTS

2.1 TIMBER FRAMING, TREATED

Species, grade and in service moisture content to NZS 3602, NZBC B2/AS1 and treatment to NZS 3640, NZBC B2/AS1. Structural grade (SG) to NZS 3604, NZS 3622 with properties to NZS 3603.

2.2 NAILS

Type to NZS 3604, section 4, **Durability**, and of the size and number for each particular types of joint as laid down in the nailing schedules of NZS 3604, sections 6-10.

2.3 BOLTS AND SCREWS

Bolts and screws of engineering and/or coach type complete with washers, to the requirements of NZS 3604, section 4, **Durability**, and of the number and form required for each particular junction to NZS 3604, sections 6-10.

2.4 NAIL PLATES

Comply with the requirements of NZS 3604, section 4, **Durability**, and of the number and form required for each particular junction to NZS 3604, sections 6-10. Plates to the plate manufacturer's design for the particular locations as shown on the drawings.

2.5 CONNECTORS

Comply with the requirements of NZS 3604, section 4, **Durability**, and of the number and form required for each particular junction to NZS 3604, sections 6-10. Connectors and structural brackets to the connector manufacturer's design for particular locations shown on drawings.

2.6 CORROSION RISKS

For exterior timber, timber in damp areas and timber subject to occasional wetting, use only stainless steel (or equivalent) fixings and connectors, when the timber is treated with; Copper Azole (CuAz, Preservative code 58), Alkaline Copper Quaternary (ACQ, Preservative code 90), Micronise Copper Azole (code 88) or Micronised Copper Quaternary (code 89).

2.7 DPC

Refer to 4161 UNDERLAYS, FOIL AND DPC section

3. EXECUTION

3.1 EXECUTION GENERALLY

To NZS 3603 and NZS 3604 except as varied in this specification. Execution to include those methods, practices and processes contained in the unit standards for the National Certificate in Carpentry and the National Certificate in Joinery (cabinetry, exterior joinery, stairs).

3.2 SEPARATION

Separate all timber framing timbers from concrete, masonry and brick by: -
 - a full length bituminous damp-proof membrane overlapping timber by at least 6mm; or
 - a 12mm minimum free draining air space

3.3 ATTENDANCE

Provide and fix blocks, nogs, openings and other items as required by other trades.

3.4 MOISTURE CONTENT

Maximum allowable equilibrium moisture content (EMC) for non air-conditioned or centrally heated buildings for framing to which linings are attached.

Framing at erection:	24% maximum
Framing at enclosure:	20% maximum
Framing at lining:	16% maximum
Timber strip flooring:	10% at time of laying

3.5 SET-OUT

Set out framing in accordance with the requirements of NZS 3604 and as required to support sheet linings and claddings.

3.6 FRAMING WALLS

Frame to required loading and bracing complete with lintels, sills and nogs, all fabricated and fastened to NZS 3604, section 8, **Walls**.

3.7 FRAMING ROOFS

Frame to required loading and bracing complete with valley boards, ridge boards and purlins. Design and fit roof trusses complete with anchorage. All fabricated and fastened to NZS 3604, section 9, **Posts** and 10, **Roof framing**.

3.8 FRAMING CEILINGS

Frame to required loading and bracing complete with runners and battens set out to support ceiling lining. All fabricated and fastened to NZS 3604, section 13, **Ceilings**. Trim for openings in ceilings and hatches to NZS 3604 section 13.3, **Openings in ceilings**. Provide blocking for water tanks located in the ceiling space to NZS 3604, section 13.4, **Water tanks in roof space**.

3.9 INSTALLING WALL UNDERLAYS

Refer to 4161 UNDERLAYS, FOIL AND DPC section

3.10 FIT JAMB BATTENS

For walls with direct fix cladding, fit 20mm (nominal) jamb battens over the wall underlay, to the jambs of window and door rough openings, to NZBC E2/AS1, fig 72A. Cut around sill flashings. Fix with 60 x 2.8 flat head galvanized nails at 300mm centres.

- 3.11 DPC TO LOSP TREATED TIMBER
Refer to 4161 UNDERLAYS, FOIL AND DPC section.

- 3.12 DPC TO TIMBER
Refer to 4161 UNDERLAYS, FOIL AND DPC section.

4. SELECTIONS

4.1 EXTERIOR WALL FRAMING

Member	Species	Grade	Treatment
Exterior walls:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Parapets:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Enclosed decks and balconies:	Radiata pine	SG8	H1.2
Cantilevered joists enclosed decks and balconies:	Radiata pine	SG8	H3.2
Wall battens:	Radiata pine	Merch	H3.1
Jamb battens:	Radiata Pine	Merch	H3.1

4.2 ROOF FRAMING

Member	Species	Grade	Treatment
Rafters:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Trusses:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Purlins:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Ceiling joists and battens:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Valley boards:	Radiata pine	Merchantable	H1.2
Sarking:	Radiata pine	Merchantable	H1.2
Skillion roof framing:	Radiata pine	SG8	H1.2
Enclosed flat roof framing:	Radiata pine	SG8	H1.2

4.3 EXTERIOR EXPOSED TIMBERS

Member	Species	Grade	Treatment
Posts:	Radiata pine	SG8	H3.2 CCA
Joists:	Radiata pine	SG8	H3.2 CCA
Softwood decking:	Radiata pine	Premium	H3.2 CCA
Hardwood decking:	~n/a		
Exterior stairs and steps:	Radiata pine	SG8	H3.2 CCA
Pergola:	Radiata pine	SG8	H3.2 CCA
Ground contact members	Radiata pine	SG8	H5 CCA

Note all CCA to be preservative code 01 or 02

4.4 EXTERIOR FINISHING TIMBERS

Member	Species	Grade	Treatment
Weatherboards:	Radiata pine	Dressing	H3.1
Fascia/barge/cover boards:	Radiata pine	Dressing	H3.1
Exterior trim:	Radiata pine	Dressing	H3.1

4.5 INTERIOR FRAMING

Member	Species	Grade	Treatment
Non structural walls:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2
Structural and braced walls:	Radiata pine	SG8	H1.2
	Douglas fir	SG8	H1.2

4.6 INTERIOR FINISHING TIMBERS

Member	Species	Grade
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Architraves:	Radiata pine	Dressing
Skirtings:	Radiata pine	Dressing
Cornices:	Radiata pine	Dressing

4282RR RESENE CLADDING AND RESIDENTIAL RENDER SYSTEMS

1. GENERAL

This section relates to **Resene Construction Systems** exterior plasters of a polymer-modified cement-based plaster rendering systems, applied by hand, or spray over:

- Concrete
- Masonry
- Brick
- AAC (autoclaved aerated concrete) panels and blocks
- Enduron AAC panels
- Graphex insulation over solid substrate
- EPS polystyrene blocks
- Fibre cement jointing and texturing system.

1.1 ABBREVIATIONS AND DEFINITIONS

The following abbreviations are used throughout this part of the specification:

EPS	Expanded Polystyrene
ICF	Insulating Concrete Formwork
MPNZ	Master Painters New Zealand Association

Documents

1.2 DOCUMENTS

Refer to the general section 1233 REFERENCED DOCUMENTS. The following documents are specifically referred to in this section:

<u>NZBC E2/AS1</u>	External moisture
<u>NZS 4210</u>	Masonry construction: Materials and workmanship
<u>EIMA</u>	EIMA 101.9 test N0. 6.3 and ASTM E2098
<u>WorkSafe NZ</u>	Guidelines for the provision of facilities and general safety in the construction industry
<u>Health and Safety in Employment Act 1992</u>	

1.3 MANUFACTURER/SUPPLIER DOCUMENTS

Resene Construction Systems documents relating to work in this section are:

Resene Construction Systems Product Manual.

BRANZ Appraisal 530 - Multiplast Jointing and Coating System

BRANZ Appraisal 553 - Graphex Cavity Based Solid Plaster System

BRANZ Appraisal 633 - Graphex Cavity System

BRANZ Appraisal 706 - Graphex Masonry Overlay System

BRANZ Appraisal 720 - Enduron AAC Panel Cavity System

Materials and execution to **Resene Construction Systems** specification except where varied by this specification and supported by architectural detailing.

Copies of the above literature are available from:

Web: www.plastersystems.co.nz

Telephone: 0800 114400

Warranties

1.4 WARRANTY - MANUFACTURER/SUPPLIER

Provide a material manufacturer/supplier warranty:

15 years: For materials

- Provide this warranty on the **Resene Construction Systems** standard form.
- Commence the warranty from the date of practical completion of the contract works.

Refer to the general section 1237 WARRANTIES for additional requirements.

1.5 WARRANTY - INSTALLER/APPLICATOR

Provide this warranty under normal environmental and use conditions against failure of execution.

- cover for defective workmanship
- cover for non-completion of relevant building work
- Commence the warranty from the start date of the contract works.

Refer to the general section 1237 WARRANTIES for additional requirements.

Requirements**1.6 QUALIFICATIONS**

Use only applicators approved to apply the **Resene Construction Systems** render systems.

1.7 NO SUBSTITUTIONS

Substitutions are not permitted to any specified **Resene Construction Systems** render system.

Documentation**1.8 MAINTENANCE INSTRUCTIONS**

Provide **Resene Construction Systems** plaster maintenance instructions before practical completion of the contract for issuing to the building owner.

1.9 HEALTH AND SAFETY

Refer to the requirements of the Health and Safety in Employment Act and WorkSafe NZ: Guidelines for the provision of facilities and general safety in the construction industry. If the elimination or isolation of potential hazards is not possible then minimise hazards in this work on site by using the proper equipment and techniques as required in the MPNZA Painters hazard handbook. Supply protective clothing and equipment. Inform employees and others on site of the hazards and put into place procedures for dealing with emergencies. Obtain from **Resene Construction Systems** the material safety data sheets for each product. Keep sheets on site and comply with the required safety procedures.

1.10 PRODUCER STATEMENT

Provide the producer statement compiled by the approved applicator in the form as required by the Building Consent Authority.

Performance**1.11 PERFORMANCE**

Accept responsibility for the structural and weather-tight performance of the exterior render application.

1.12 PROTECTION OF NEW PLASTER/RENDER

Confirm the protection systems to be applied to fresh plaster coats. Plastering/Rendering not to begin until systems are confirmed.

2. PRODUCTS**Materials****2.1 SOLVENT SEALER**

Resene Construction Systems solvent sealer used in a diluted form to assist with controlling suction during plaster/render applications.

2.2 CLASSIC DETAILING RENDER

A specially blended polymer modified cement based plaster compound

- 2.3 **EZYTEX FINISHING PLASTER**
Factory-mixed polymer modified cement based finishing plaster. Refer to SELECTIONS for texture.
- 2.4 **ERM COARSE RENDER**
ERM (exterior reinforced masonry) pre-mixed cement based plaster containing lightweight aggregates, adhesion and workability aids, together with polypropylene fibre reinforcement.
- 2.5 **RESENE LIMELOCK**
Waterborne acrylic polymer dispersion.
- 2.6 **RESENE X-200**
Resene X-200 waterproof membrane, colour selection from Resene Total Colour System.

Accessories

- 2.7 **FLASHINGS**
To NZBC E2/AS1, 4.0 Flashings. Head jamb sill and any other required flashings made from powder coated aluminium or uPVC supplied by main contractor for both recessed and faced fixed timber, aluminium and uPVC joinery to NZBC and masonry construction requirements.
- 2.8 **CORNER BEADS**
Pre-meshed uPVC corner and edge beads
- 2.9 **QUICK MESH**
150 gsm alkali-resistant fibreglass woven mesh to comply with EIMA 101.9 test NO. 6.3 and ASTM E2098, suitable for residential and light commercial projects.
- 2.10 **SEALANT**
BRANZ appraised modified MS sealant.

3. EXECUTION

Conditions

- 3.1 **DELIVERY**
Keep plaster products dry in transit. Take delivery of plaster products dry and undamaged. Reject all damaged materials.
- 3.2 **STORAGE**
Deliver all materials in original unopened packaging with labels intact. Provide dry storage on site, stack carefully, protect from mechanical damage. Keep bagged render off concrete surfaces.
- 3.3 **PLASTERING CONDITIONS**
Carry out plastering to **Resene Construction Systems** specification under conditions which will not adversely affect the finished work.
- 3.4 **PROTECT**
Before application of plaster, apply masking film and tape to all joinery, pipes, roofs and all areas likely to be marked by the plaster. Use drop cloths and ground covers to keep the working areas clean. Clean off droppings onto finished work immediately.
- 3.5 **SUBSTRATE**
Do not commence work until openings and apertures have been cut, pipes, fixtures, fixing pads and plugs have been fixed and flashings and other preparations are complete. All defects in substrate must be rectified by the trades applicable prior to application of plaster coatings. Ensure that backgrounds and adjoining surfaces are, after the preparation called for in this section, is of the standard required by the approved applicator. All mortar joints to be flush finished with all nibs and protrusions ground off by the brick / blocklayer.

3.6 FLASHING AND DETAILING

Comply with **Resene Construction Systems** penetration flashing guidelines. Carry out to the required standard of execution to NZBC E2/AS1 to ensure water does not penetrate.

3.7 STANDARDS AND TOLERANCES

Comply with the tolerances laid down in NZS 4210 Table 2.2. To have no deviation more than 3mm from a straight edge 1200mm long.

3.8 CONFIRM LAYOUT

Before commencing work confirm the layout with the owner the position of expansion joints and other visual detailing of the finished work.

Application

3.9 PREPARE SURFACE

Before plastering is commenced, eliminate surface contaminants, remove dust, debris, oils, greases, retarders, paint from already painted surfaces and loose material. Leave the surface dust free and clean. Make good any defects in the background which may adversely affect the quality of the plaster coating.

3.10 INSTALL UPVC CORNER AND EDGE BEADS.

Install all uPVC corner and edge beads necessary and to **Resene Construction Systems** requirements prior to plaster application commencing.

3.11 PENETRATIONS

All penetrations such as waste pipes, electrical wiring in uPVC conduits and metal plumbing piping install with a minimum 5° downward slope, through the plaster system, to be sealed using a double application of MS Silaflex.

3.12 EXPOSED CONTROL JOINTS

Provide control joints in the plaster to coincide with control joints in the substrate and / or junctions between dissimilar substrates in the same plane and or where shown on the drawings and to **Resene Construction Systems** requirements. Terminate reinforcing mesh each side of control joints. Exposed control joints to be reflected through final coatings from substrate.

3.13 PRE-PLASTER PREPARATION

Control suction by dampening with water if necessary but without over-wetting. Allow the surface to dry back to a surface-dry condition before plastering.

3.14 FINISHING

Refer to SELECTIONS for type and colour.

Enduron Autoclaved Aerated Concrete Texturing System

3.15 BASE COAT

Apply one coat of **ERM Coarse Render** to the whole surface to obtain a smooth level finish of approximately 5mm thick.

3.16 LEVELLING COAT

Apply one thin levelling coat of plaster if required.

3.17 TEXTURE COAT

Apply selected texture plaster coat of **Ezytex Finishing**.

3.18 SEAL COAT TEXTURE FINISH

For texture finish seal the base coats with one coat of Resene Limelock within 14 days of applying the second base coat.

- 3.19 **PROTECTIVE FINISH COAT**
Apply two coats of Resene X-200 reinforced waterproof membrane to achieve a protective acrylic based finish.

Completion

- 3.20 **CLEANING**
Remove debris, unused materials and elements from the site relating to plaster system application. Replace damaged, cracked or marked elements. Leave the whole of this work to the required standard.

4. SELECTIONS

- 4.1 **RESENE - AUTOCLAVED AERATED CONCRETE TEXTURING SYSTEM**
 Location: Bay window, Around French doors from Dining
 Substrate: Timber
 Base coat: **ERM Coarse Render**
 Meshing (optional): 150gsm coated Quick mesh with pre-meshed corner beads
 Texture coat: To Match Existing
 Sealer coat: **Resene Limelock**
 Paint system: **Resene X200**
 Coats: Two
 Colour: To match Existing

4311 PROFILED METAL ROOFING

1. GENERAL

This section relates to the supply and fixing of proprietary overlap rigid sheet metal profiled roofing complete with accessories.

1.1 RELATED WORK

Refer to 4312 PROFILED PLASTIC ROOFING for plastic sheeting

Refer to 7411 RAINWATER SPOUTING SYSTEMS for rainwater disposal

1.2 ABBREVIATIONS

Refer to the general section 1232 INTERPRETATION & DEFINITIONS for abbreviations and definitions used throughout the specification.

The following abbreviations apply specifically to this section:

BMT	Base metal thickness
NZMRM	New Zealand Metal Roofing Manufacturers Inc
MS	Modified silyl

Documents

1.3 DOCUMENTS

Refer to the general section 1233 REFERENCED DOCUMENTS. The following documents are specifically referred to in this section:

<u>NZBC E2/AS1</u>	External Moisture
<u>AS/NZS 1170.2</u>	Structural design actions - Wind actions
<u>AS 1397</u>	Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium
<u>NZS 2295</u>	Pliable, permeable building underlays
<u>AS 3566</u>	Self-drilling screws for the building and construction industries
<u>NZS 3604</u>	Timber-framed buildings
<u>AS/NZS 4200.1</u>	Pliable building membranes and underlays - Materials
<u>AS/NZS 4534</u>	Zinc and zinc/aluminium-alloy coatings on steel wire
<u>AS/NZS 4389</u>	Safety Mesh
<u>NZMRM CoP</u>	NZ metal roof and wall cladding Code of Practice

Warranties

1.4 WARRANTY - INSTALLER/APPLICATOR

Warrant this work under normal environmental and use conditions against weatherproofing failure.

5 years:	from the date of completion of the roof
Form:	Roofing installers standard form

Include a copy of the roofing manufacturers' maintenance requirements with the warranty. Refer to the general section 1237 WARRANTIES - INSTALLER/APPLICATOR for additional requirements.

1.5 WARRANTY - MANUFACTURER/SUPPLIER

Warrant this work under normal environmental and use conditions against materials failure.

15 years	For failure of coating adhesion
15 years	For weatherproofing by material penetration
Form:	Roofing manufacturers standard form

Requirements

1.6 QUALIFICATIONS

Carry out work with experienced, competent installers familiar with the products being used and with appropriate qualifications such as the National Certificate in Metal Roofing and Cladding.

Performance**1.7 CO-ORDINATE**

Co-ordinate to ensure substrate and preparatory work is complete and other work programmed in the order required for access and completion of the roof. Ensure that all necessary members are positioned so that flashings can be fastened at both edges through the roof profile or cladding to the primary structure.

1.8 PERFORMANCE

Accept responsibility for the weather-tight performance of the completed roofing system, including penetrations through the roof and junctions with walls and parapets.

1.9 FIXINGS, WIND

Design and use the fixings appropriate for the design loads of this site; refer to general section 1220 PROJECT for details of wind zone. Allow for specific loadings at corners and the periphery of the roof, where localised pressure factors apply.

Performance - Wind (design by contractor)**1.10 DESIGN PARAMETERS - SPECIFIC DESIGN**

Design the installation to the wind pressure parameters of AS/NZS 1170.2. Refer to general section 1220 PROJECT for details.

2. PRODUCTS**Materials****2.1 UNDERLAY**

Breather type kraft paper laminates to NZS 2295.

2.2 PRE-FINISHED HOT-DIPPED ALUMINIUM/ZINC COATED STEEL

Formability G550 steel sheet coated to AS 1397.

2.3 FLASHINGS GENERALLY

To E2/AS1, 4.0 **Flashings**. Formable grade 0.55mm BMT for galvanized, aluminium/zinc-coated and pre-painted steel, and 0.9mm for aluminium (or 0.7mm for small aluminium flashings) to the same standards as the profiled sheets, notched where across profile or provided with a soft edge.

Components**2.4 FASTENERS GENERALLY**

Minimum Class 4 and durability not less than the roofing material being fixed. Screw fasteners to be head stamped identifying the manufacturer and class.

2.5 FIXING CLIPS

Galvanized steel (powder coated for aluminium) to suit the material and profile of the rigid sheet and location as required by the roofing manufacturer. Fix to steel with 16mm x 10 gauge galvanized wafer head self-drilling screws and to timber with 30mm x 10 gauge galvanized wafer head screws to NZBC E2/AS1, 8.4.9.

2.6 FIXING SCREWS

To AS 3566. Screws appropriate to the roofing material and the supporting structure, as required by the roofing manufacturer and with a minimum Class 4 durability and not less than the material being fixed. Screws into timber to penetrate by minimum 30mm.

- 2.7 **RIVETS**
Sealed aluminium, minimum diameter 4mm, for use with zinc coated, zinc/aluminium coated or aluminium roofing.

Accessories

- 2.8 **SEALANT**
Neutral Curing silicone or MS polymer sealant as required by the roofing manufacturer and used as directed.

- 2.9 **CLOSURE STRIPS**
Compressible, closed cell profiled foam strips to fit the sheet profile.

- 2.10 **LAP SEALING TAPE**
Closed cell self adhesive nitrile tape.

3. EXECUTION

Conditions

- 3.1 **INSPECTION**
Inspect the roof framing and supporting structure to ensure that it is complete and fully braced ready for roofing and free from any misalignments or protrusions that could adversely affect the roofing.
- 3.2 **FRAMING TIMBER MOISTURE**
When continuous metal cladding etc. Runs along a long continuous timber member and is directly fixed to it, the timbers equilibrium moisture content (EMC) to be 18% or less. For flashings in this situation (sometimes called transverse flashings) the framing EMC to be maximum 16%, and preferably as low as 12%. Transverse flashings can be temporarily tacked in place and final fixing done when moisture content is acceptable.
- 3.3 **STORAGE**
Take delivery of and accept packs of roofing undamaged on delivery. Reject all damaged material. Store on a level firm base with packs well ventilated and completely protected from weather and damage. Do not allow moisture to build up between sheets. If sheet packs become wet, fillet or cross stack to allow air movement between sheets.
- 3.4 **HANDLING**
Avoid distortion and contact with damaging substances, including cement. Do not drag sheets across each other and other materials. Protect edges and surface finishes from damage. Use soft, flat soled shoes when fixing and for all other work on the roof.
- 3.5 **SEPARATION**
Place isolators between dissimilar metals, also separate roofing from treated timber and cement based materials. Do not use unpainted lead sheet or copper in contact with or allow water run-off onto galvanized or Zinalume® materials.

Application

- 3.6 **LAY ROOF UNDERLAY**
Fit and lap roofing underlay over the netting/mesh. Lay underlay horizontally or vertically with a 150mm side lap, oversailing the spouting and/or gutters by 10mm.
- 3.7 **SET-OUT**
Carefully set out with consideration of the position of side laps to take account of the line of sight. Ensure all sheets are square and oversailing the gutter true to line. Check during fixing to eliminate creep or spread and string lines along purlin centres to keep fastenings in line.
- 3.8 **END LAPS**
End laps are not permitted, except where specifically detailed.

- 3.9 MOVEMENT JOINTS**
Fixing and jointing to conform with the roofing manufacturer's requirements for thermal movement.
Over timber framing, transverse flashings (those running long continuous framing members) to have expansion joints at maximum 12 centres.
- 3.10 FIXING GENERALLY**
Install and fix in accordance with the NZMRM CoP requirements, and to roofing manufacturer's recommendations. Paint colour matched fixings and accessories before installation.
- 3.11 MARKING AND CUTTING**
Cut only by shearing tools. Do not use black lead pencils for marking aluminium/zinc coated products.
- 3.12 FIX SHEETS**
Fix sheets in place using the fastening system required by the roofing manufacturer for specified profiles, making due allowance for dynamic local wind pressures on the building and thermal movement in the sheet.
- 3.13 STOP ENDS AND DOWNTURNS**
Form stop-ends at the upper end of sheets. Form downturns at the gutter line where the roof pitch is less than 8 degrees. Form using purpose made tools.
- 3.14 FLASHINGS**
Flash roof to parapets, walls and penetrations to detail. Where no detail is provided flash to NZMRM CoP recommendations and the roofing manufacturer's requirements. Cut accurately and fix using sealant and rivets to detail and to the roofing manufacturer's requirements to form a weatherproof cover. For highly visible flashings, plan joints/junction to take account of the aesthetic requirements.
- 3.15 USE OF SEALANTS**
Select and use sealants only as recommended by the roofing manufacturer. Apply sealant in two narrow beads transversely across flashing intersections, close to the two edges. Avoid exposing sealant on outside surfaces.
- 3.16 FLASHING PENETRATIONS**
Flash all penetrations through the roof. Fit pipe flashings with a proprietary collar flashing to manufacturer's requirements, with other penetrations flashed as detailed and to provide a weathertight installation. Ensure that flashings are set to avoid any ponding of water.
- 3.17 INSTALL RIDGING**
Install ridging by fastening to the purlins through the leading edge of the roofing to manufacturer's requirements.
- Completion**
- 3.18 REPLACE**
Replace damaged or marked elements.
- 3.19 LEAVE**
Leave this work complete with all necessary flashings, undercloaks, valleys, ridges and hips all properly installed as the work proceeds so the finished roof is completely weathertight.
- 3.20 REMOVE**
Remove trade rubbish and unused materials from the roof and surrounds daily during the work. Sweep down at the end of each day, and clean out spoutings, gutters and rainwater pipes on completion of the roof. Remove debris, unused materials and elements from the site.

4. SELECTIONS

4.1 ROOFING UNDERLAYS

Brand/type: thermakraft heavy Duty Roofing Underlay 215

Roofing

4.2 PRE-FINISHED HOT-DIPPED ALUMINIUM/ZINC COATED STEEL

Brand/profile: Corrugated Coloursteel

BMT: 0.4~mm

Coating grade: Prepainted finish

Colour: New Denim Blue

Accessories

4.3 FLASHINGS - GENERALLY

Material/thickness: Zinc coated steel 0.55mm

4.4 FLASHINGS - INACCESSIBLE

Material/thickness: 0.55mm

5113G GIB® PLASTERBOARD LININGS

1. GENERAL

This section relates to the supply, fixing and jointing of GIB® plasterboard linings and accessories to timber and steel framed walls and ceilings to form:

- standard systems
- superior finish quality systems
- bracing systems
- fire rated garage boundary wall systems
- wet area systems

1.1 ABBREVIATIONS

The following abbreviations are used throughout this part of the specification:

AWCINZ Association of Wall and Ceiling Industries New Zealand

Documents

1.2 DOCUMENTS REFERRED TO

Documents referred to in this section are:

<u>NZBC E2/AS1</u>	External moisture
<u>AS 1397</u>	Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium
<u>AS/NZS 2588</u>	Gypsum plasterboard
<u>AS/NZS 2589</u>	Gypsum linings - Application and finishing
<u>NZS 3604</u>	Timber-framed buildings
<u>AS/NZS 4600</u>	Cold-formed steel structures

BRANZ Technical Paper P21 BRANZ Technical Paper P21: A wall bracing test and evaluation procedure (2010)

NASH Residential and Low-Rise Steel Framing Part 1 2010 Design Criteria

Documents listed above and cited in the clauses that follow are part of this specification. However, this specification takes precedence in the event of it being at variance with the cited document.

1.3 MANUFACTURER'S DOCUMENTS

Manufacturer's and supplier's documents which refer to work in this section are:

- GIB® Site Guide (Jan 2010)
- GIB Ultraliner® Plus lining system (February 2006)
- GIB® Noise Control Systems (March 2006)
- GIB Aqualiner® Wet Area Systems (March 2007)
- GIB® Ezybrace® Systems (June 2011)
- GIB® Ezybrace® Software (2011)
- GIB® Ezybrace® for Steel Frame Housing (NASH) Software (2011)
- GIB® Residential Garage Boundary Walls (March 2009)
- GIB® Rondo® Metal Ceiling Batten Systems
- GIB-Cove®
- GIB® Goldline® Platinum Tape-on Trims
- GIB® UltraFlex high impact corner mould
- BRANZ Appraisal 294 (2011) - GIB® Ezybrace® Systems
- BRANZ Appraisal 427 - GIB Aqualiner® Wet Area Systems

Copies of the above literature are available at

Web: www.gib.co.nz

Telephone: 0800 100 442

Requirements

1.4 NO SUBSTITUTIONS

Substitutions are not permitted to any specified GIB® systems, GIB® system components, GIB® plasterboard, associated GIB® products or GIB® accessories.

- 1.5 **INSTALLER WORK SKILLS AND QUALIFICATIONS**
 GIB® plasterboard fixers and plasterers to be experienced competent workers, familiar with GIB® plasterboard lining systems installation and finishing techniques. Submit evidence of experience on request. For example:
 - National Certificate of Interior Systems; or
 - Certified Business member of AWCINZ.

Performance

- 1.6 **INSPECTIONS AND ACCEPTANCE**
 Allow for inspection of the finished plasterboard surface:
 - before applying sealer and
 - before applying finish coatings or decorative papers,
 so that after assessment of the type and/or angle of illumination and its effect on the completed decorative treatment, group approval and acceptance of the surface can be given.

- 1.7 **FIRE RATING REQUIREMENTS**
 Provide the GIB® fire resistant rated garage boundary wall systems. Refer to SELECTIONS for system/FRR.

- 1.8 **SOUND INSULATION REQUIREMENTS**
 Provide the GIB® Noise Control Systems. Refer to SELECTIONS for system/STC. Include for forming and treating of perimeters of openings and penetrations in the elements to ensure the specified performance. Ensure absence of adjoining flanking paths.

- 1.9 **BRACING REQUIREMENTS**
 Provide braced wall systems using GIB® Ezybrace® Systems (June 2011) or GIB® Ezybrace® Software (2011) to meet the requirements of NZS 3604 when tested to BRANZ Technical Paper P21. Alternatively use GIB® Ezybrace® for Steel Frame Housing (NASH) Software 2011 to meet the requirements of NASH Residential and Low-Rise Steel Framing Part 1 2010 Design Criteria. Refer to drawings for location and type.

2. PRODUCTS

Materials

- 2.1 **GIB® PLASTERBOARD**
 Gypsum plaster core encased in a face and backing paper formed for standard and water resistance use to AS/NZS 2588. Refer to SELECTIONS for location, type, thickness and finish.
 GIB® Standard plasterboard
 GIB Wideline® plasterboard
 GIB Ultraline® and/or GIB® Ultraline PLUS high quality surface plasterboard
 GIB Fyrelime® fire resistant plasterboard
 GIB Braceline® & GIB® Noiseline dual purpose wall bracing & noise control plasterboard
 GIB Aqualine® wet area plasterboard
 GIB Fibrerock® Impact Resistant Gypsum lining

- 2.2 **CORNICE**
 GIB-Cove® plasterboard cornice. Refer to SELECTIONS for profile and size.

Components

- 2.3 **CEILING BATTENS**
 GIB® Rondo® metal ceiling battens, batten joiners and perimeter channel.
- 2.4 **SCREWS**
 GIB® Grabber® drywall screws.

- 2.5 **NAILS**
GIB® Nails (gold passivated).
Size: 30mm, 40mm
- 2.6 **TAPE ON TRIMS AND EDGES**
GIB® Goldline® tape-on trims
GIB® UltraFlex high impact corner mould
- 2.7 **METAL ANGLE TRIMS**
GIB® galvanized steel slim angle trims.
- 2.8 **CONTROL JOINTS**
GIB® Rondo® P35 control joints.
GIB® Goldline® tape-on trims

Accessories

- 2.9 **ADHESIVE**
Timber frame and/or steel frame:
GIBFix® One ultra low VOC water based wallboard adhesive
GIBFix® All-Bond solvent based wallboard adhesive
- 2.10 **JOINTING COMPOUND**
- | | |
|---------------------|---|
| Bedding compound: | GIB Tradeset®, GIB Lite Blue®, GIB MaxSet®, GIB ProMix® All Purpose, GIB Plus 4® |
| Finishing compound: | GIB ProMix® All Purpose, GIB® Trade Finish®, GIB® Trade Finish® Lite, GIB ProMix® Lite, GIB® U-Mix, GIB Plus 4® |
| Cove: | GIB-Cove® Bond |
- 2.11 **JOINTING TAPE**
GIB® paper jointing tape.
- 2.12 **ACOUSTIC SEALANT**
GIB Soundseal® ultra low VOC water based highly flexible acoustic sealant.
- 2.13 **GAP FILLER**
GIB® Gap Filler ultra low VOC multi-purpose acrylic flexible filler

3. EXECUTION

Conditions

- 3.1 **STORAGE**
Store GIB® plasterboard sheets and accessories in dry conditions stored indoors out of direct sunlight in neat flat stacks on either an impervious plastic sheet or clear of the floor with no sagging and avoiding damage to ends, edges and surfaces. Reject damaged material. Refer to GIB® Site Guide (Jan 2010).
- 3.2 **LEVELS OF PLASTERBOARD FINISH**
Provide the selected plasterboard surfaces to the pre decorative levels of finish specified in AS/NZS 2589.
- 3.3 **CONFIRM LEVELS OF PLASTERBOARD FINISH ACCEPTANCE**
Before commencing work, agree in writing upon the surface finish assessment procedure towards ensuring that the quality of finish expectations are reasonable and are subsequently obtained and acceptable.

Do not apply decorative treatment until it is agreed in writing by the contractor, subcontractors and decorator that the specified plasterboard Level of Finish has been achieved.

"Levels of plasterboard finish" is a tool for specifying the required quality of finish when installing and flush stopping GIB® plasterboard **prior** to the application of a range of decorative finishes under various lighting conditions. Refer to **AS/NZS 2589**.

3.4 SUBSTRATE

Do not commence work until the substrate is plumb, level and to the standard required by the sheet manufacturer's requirements. Refer to GIB® Site Guide (Jan 2010).

3.5 TIMBER FRAME MOISTURE CONTENT

Maximum allowable moisture content to AS/NZS 2589 for timber framing at lining: 18% or less for plasterboard linings. Refer to NZBC E2/AS1 and GIB® Site Guide (Jan 2010).

3.6 METAL FRAMING

Metal framing, to which gypsum lining is fixed, shall comply with AS 1397, AS/NZS 4600, or NASH Residential and Low-Rise Steel Framing Part 1 2010 Design Criteria, as applicable. Where adhesion of gypsum linings is required, surfaces shall be free of oil, grease, dust and other foreign materials. Refer to the metal framing manufacturers specifications where high density gypsum linings (>800 kg/m³) such as GIB Braceline® and GIB Noiseline® are specified for fixing to light gauge steel framing.

3.7 PROTECTION

Protect surfaces; cabinetwork, fittings, equipment and finishes already in place from the possibility of water staining and stopping damage. Refer to GIB® Site Guide.

Application

3.8 INSTALL CEILING BATTENS

Install to GIB® Rondo® Ceiling Batten Systems.

3.9 LINING WALLS AND CEILINGS GENERALLY

Form to GIB® Site Guide (Jan 2010). Ensure bulk insulation thickness shall not exceed that of the wall framing.

3.10 BOARD ORIENTATION

Minimise joints by careful sheet layout using the largest sheet sizes possible, and generally fixing horizontally. Where part sheets are required for various stud heights they should be positioned so the cut sheet is as low as possible to keep joints below eye level.

3.11 FORM WET AREA SYSTEMS

Form to GIB Aqualine® Wet Area Systems.

3.12 FORM CONTROL JOINTS

Form control joints to GIB® Site Guide.

3.13 INSTALL COVES

Install to GIB-Cove® literature using GIB-Cove® Bond.

3.14 INSTALL TAPE-ON TRIMS

Install to GIB® Goldline® Tape-on trims literature and/or GIB® Ultraflex high impact corner mould literature.

Finishing

3.15 FINISHING GENERALLY

To GIB® Site Guide (Jan 2010) and AS/NZS 2589.

Completion

3.16 REPLACE

Replace damaged sheets or elements.

- 3.17 **CLEAN DOWN**
Clean down completed surfaces to remove irregularities and finally sand down with fine paper to the sheet manufacturer's requirements, to leave completely smooth and clean.
- 3.18 **REMOVE**
Remove debris, unused materials and elements from the site.
- 3.19 **LEAVE**
Leave work to the standard required by following procedures.

4. SELECTIONS

Plasterboard

4.1 GIB® STANDARD SYSTEMS WALLS

Location	Plasterboard type / Lining requirements	Thickness	Finish Level
Lounge/Living/Kitchen	GIB® Standard plasterboard	10mm	4
	GIB® Standard plasterboard	13mm	
	GIB Ultralite® plasterboard	10mm	
	GIB Ultralite® PLUS plasterboard	13mm	

4.2 GIB® WATER RESISTANT SYSTEMS WALLS

Location	Plasterboard type / Lining requirements	Thickness	Finish Level
Bathroom/Laundry	GIB Aqualite® plasterboard	10mm	4

4.3 GIB® STANDARD SYSTEMS CEILINGS

Location	Plasterboard type / Lining requirements	Thickness	Finish Level
Lounge/Living/Kitchen	GIB® Standard plasterboard	13mm	4

4.4 GIB® WATER RESISTANT SYSTEMS CEILINGS

Location	Plasterboard type / Lining requirements	Thickness	Finish Level
Bathroom /Laundry	GIB Aqualite® plasterboard	13mm	4

Accessories

4.5 GIB® CEILING BATTENS

Brand/type: GIB® Rondo® Ceiling battens

APPLICATION FOR A BUILDING CONSENT

Section 33, Building Act 1991
(Attach all relevant documents in duplicate)

CONSENT NUMBER BCC60568

PART A : GENERAL

(Complete Part A in all cases)

1. OWNER

2. CONTACT (if not owner)

Name: <u>D R BAIRD</u>	Contact Name: <u>OWNER</u>
Postal Address: <u>3 MOLYNBUX RD</u>	Postal Address:
<u>CROMWELL</u>
Phone Number: <u>03 4450446</u>	Phone Number:
Fax Number:	Fax Number:

3. PROJECT LOCATION

Address: 7 DONNEGAL ST CROMWELL

4. LEGAL DESCRIPTION

Valuation Number: <u>28505-781 00</u>		
Lot: <u>2 + 3</u>	D.P. <u>9047</u>	S.D.
PP Section <u>455</u>	Block <u>L1X</u>	Town <u>CROMWELL</u>
Lot Area: <u>1410 sq</u>		square metres hectares

5. PROJECT

<p>5.1</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p> <p>Relocation <input type="checkbox"/></p> <p>Demolition <input checked="" type="checkbox"/></p> <p>Fire Appliance <input checked="" type="checkbox"/></p> <p>Farm Building <input type="checkbox"/></p> <p>Domestic Outbuildings <input type="checkbox"/> (Garages/Carports etc)</p> <p>Others <input type="checkbox"/> (Swimming Pools etc)</p>	<p>5.2</p> <p>Intended life is not less than 50 yrs</p> <p><input checked="" type="checkbox"/> or</p> <p>Specified as <u>5</u> yrs.</p>	<p>5.3 Description of Work: <u>Demolish part of existing dwelling - add additions</u></p> <p>5.4 Being stage <u>1</u> of <u>1</u> stages.</p> <p>5.5 Intended Use(s) <u>Domestic</u></p> <p>5.6 Estimated Value: Building \$ <u>20,000</u></p> <p>Plumbing and Drainage \$ <u>2,000</u></p> <p>GST \$ <u>3,375</u></p> <p>Total \$ <u>30,375</u></p>
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- ☒ Application for building consent only, in accordance with Project Information Memorandum No. 2524
- ☐ Application for Building Consent and Project Information Memorandum.

Signed by or for and on behalf of the owner:

Signature: DR BAIRD

Name: DR BAIRD Date: 25/9/96
(PLEASE PRINT)

OFFICE USE ONLY
TARGET DATE

1 1

COUNCIL FEES AND CHARGES (Inclusive of GST)

	\$	c	Code
Project Information Mem.	112	50	
* Building	337	50	
* P & D	112	50	
BRANZ Levy	31	00	
B.I.A. Levy	20	15	
Water Connections x <input type="checkbox"/>	Existing		
Sewer Connections x <input type="checkbox"/>	56	25	
Vehicle Crossing	598	95	
Consent Fee	—		
† FEE PAYABLE UPON APPLICATION \$	1268	85	

(* includes consent and compliance certificate.)

(† Additional charges may be incurred over and above this amount in accordance with council's current schedule of building control charges.)

RECEIPT DETAILS

Debtor No.: BC960568

Receipt No.: 79560

Date: 25-9-96

16. BUILDING COMPONENTS

Please answer the following questions as they apply.

What materials will be used for the following aspects of construction (tick boxes) and which form of energy is being installed OR is already installed?

Floor

- 1 ☐ Timber
 2 ☒ Concrete
 3 ☐ Wood products
 4 ☐ Other

Roof

- 1 ☒ Steel
 2 ☐ Concrete tiles
 3 ☐ Steel tiles
 4 ☐ Shingles
 5 ☐ Aluminium
 6 ☐ Other

Outer Walls

- 1 ☐ Brick
 2 ☐ Concrete
 3 ☐ Concrete block
 4 ☒ Cement board
 5 ☐ Plaster
 6 ☐ Timber
 7 ☐ Steel
 8 ☐ Aluminium
 9 ☐ Other

Energy

- 1 ☒ Electric
 2 ☐ Gas
 3 ☒ Solid Fuel
 4 ☐ Floor electrical
 5 ☐ Ceiling electrical
 6 ☐ Storage electrical

Cooking

- 7 ☒ Electric
 8 ☐ Gas
 9 ☐ Solid fuel

Framing

- 1 ☒ Timber
 2 ☐ Concrete
 3 ☐ Steel
 4 ☐ Aluminium
 5 ☐ Other

Internal Linings

- 1 ☒ Plaster board
 2 ☐ Fibrous plaster
 3 ☐ Wood products
 4 ☐ Other

Insulation

- 1 ☒ Fibreglass
 2 ☐ Paper
 3 ☐ Wool
 4 ☐ Foil
 5 ☐ Other

17. FLOOR AREAS OF PROPOSED WORK

Buildings Other Than Detached Accessory Buildings:	
Basement	sq. m
Ground Floor	sq. m
First Floor	sq. m
Second Floor	sq. m
Additional Floors (Total)	sq. m
Mezzanine	sq. m
Decks	sq. m
Total	sq. m
Detached Accessory Buildings:	
Garage	sq. m
Carport	sq. m
Other Buildings	sq. m
Total	sq. m

PART B : PROJECT DETAILS

6. (Complete Part B only if you have NOT applied separately for a project information memorandum).

The project involves the following matters, tick each applicable box, if any, and attach relevant information in duplicate.

- 6.1 ☒ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings. (Site Plan with elevations, Topography, drawn to scale.)
- 6.2 ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.
- 6.3 ☐ Provisions to be made for vehicular access, including parking.
(To be shown on site plan.)
- 6.4 ☐ Provisions to be made in building over or adjacent to any road or public place.
- 6.5 ☐ Provisions to be made for disposing of stormwater and wastewater.
(To be shown on site plan.)
- 6.6 ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains.
- 6.7 ☐ New connections to public utilities i.e. water supply, stormwater system, wastewater system.
- 6.8 ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- 6.9 ☐ Details of any cultural or heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.
- 6.10 ☐ Copy or reference to, of any resource consent or planning approval for this project.
- 6.11 ☐ Details of volume of Proposed Excavations: Include volumes for Site Preparation, Basement, and Driveway.

PART C : BUILDING DETAILS

Complete Part C in all cases

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate).

- 7. ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including:
- 8. ☐ Building certificates
- 9. ☐ Producer statements
- 10. ☐ References to accreditation certificates issued by the Building Industry Authority
- 11. ☐ References to determinations issued by the Building Industry Authority
- 12. ☐ Proposed procedures, if any, for inspection during construction.

Complete as far as possible in all cases

(Give names, addresses, telephone numbers. Give relevant registration numbers if known).

DESIGNER(S)

Name:

DESIGN+DRAWING SERVICES

Address:

3 SHALE CRT CROMWELL

Phone Number:

4450896

Fax Number:

BUILDER

Name:

D BAIRD

Address:

3 MOLYNBEEK AVE CROMWELL

Phone Number:

03 445446

Fax Number:

DRAINLAYER

Name:

RA ANDERSON

Reg. No.

Address:

51 MOLYNBEEK AVE CROMWELL

Phone Number:

Fax Number:

PLUMBER

Name:

AS ABOVE

Reg. No.

Address:

Phone Number:

Fax Number:

GASFITTER

Name:

Reg. No.

Address:

Phone Number:

Fax Number:

ELECTRICIAN

Name:

SANDSTER

Reg. No.

Address:

Phone Number:

Fax Number:

CERTIFIERS

Name:

Reg. No.

Address:

Phone Number:

Fax Number:

Certifying

Name:

Reg. No.

Address:

Phone Number:

Fax Number:

Certifying

If more than number allowed for please provide details on a separate sheet.

14.

PART E : COMPLIANCE SCHEDULE DETAILS**E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE***(Complete Part E1 for all new buildings and alterations, except single residential dwellings)*

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building.
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above mentioned systems.
- ☒ None of the above.

15.

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE*Complete Part E2 only if the building contains one or more of the systems listed in Part E1*

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the New Zealand Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.



B U I L D I N G C O N S E N T
Section 35, Building Act 1991

William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone 03 448 6979
Facsimile 03 448 9196

My reference

Applicant

D R BAIRD
3 MOLYNEUX AVE
CROMWELL

Consent Details

Consent/PIM No.: 960568
Date issued: 25/09/96
Date of applicn: 25/09/96
Valn No: 2850578100

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ALTERATIONS & ADDITIONS INCL FIRE APP

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: DOMESTIC

Project Location: 7 DONEGAL ST, CROMWELL

Legal Description: LOTS 2-3 DP 9047 CROMWELL TN

Estimated Value: \$ 30,375

Builder: D BAIRD 3 MOLYNEUX AVE, CROMWELL
Designer: DESIGN DRAWING SERVICES 3 SHALE COURT, CROMWELL
Drainlayer: R A ANDERSON 51 MOLYNEUX AVE, CROMWELL
Plumber: AS ABOVE
Electrician: SANGSTER

CHARGES: The Council's charges paid on uplifting this
Building Consent, in accordance with the attached
details, are:

	\$	1,217.70
Building Research Levy	\$	31.00
Building Industry Authority Levy	\$	20.15
TOTAL:	\$	1,268.85

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: [Signature] **POSITION:** Planning & Development **DATE:** 25/9/96

CENTRAL OTAGO DISTRICT COUNCIL

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

BUILDING CONSENT No: 960568

(Insert a cross in each applicable box. Attach relevant documents)

PROJECT	PROJECT LOCATION
<p>All <input checked="" type="checkbox"/> of an intended stages</p> <p>Stage No. of:</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p> <p>Relocation <input type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p> <p>Fire Appliance <input type="checkbox"/></p> <p>Farm Building <input type="checkbox"/></p> <p>Domestic Outbuildings (Garages/Carports etc) <input type="checkbox"/></p> <p>Others (Swimming Pools etc) <input type="checkbox"/></p> <p>Intended Use(s) (in detail): <u>Alterations + extensions.</u></p> <p>Intended Life:</p> <p>Indefinite, but not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as _____ years <input type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p>	<p style="text-align: right; color: red; font-size: 1.2em;">3247</p> <p>Street Number: <u>7</u></p> <p>Street/Road: <u>Donegal St</u></p> <p>District:</p> <p>Town: <u>Cromwell</u></p>
LEGAL DESCRIPTION	
<p>Valuation Roll Number: <u>28505-781</u></p> <p>Property Number:</p> <p>Lot: <u>2-3</u> DP: <u>9047</u></p> <p>Section: _____ Block: _____</p> <p>Survey District: <u>Cromwell</u></p>	

This is:

- ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached _____ page(s) headed "Conditions of Code Compliance Certificate No. _____" (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$

Receipt No.:

Signed for and on behalf of the Council:

Name: S. J. Fiddie

Position: Building Officer Date: 17/9/01

.. SITE INSPECTION SHEET 960568

Applicant: D R BAIRD : 3 MOLYNEUX AVE : CROMWELL : 03 4450
 Project location: 7 DONEGAL ST, CROMWELL
 Legal description: LOTS 2-3 DP 9047 CROMWELL TN

Project descrn: ALTERATIONS, REPAIRS or EXTENSIONS
 BEING STAGE 1 OF AN INTENDED 1 STAGES
 ALTERATIONS & ADDITIONS INCL FIRE APP

Intended life: INDEFINITE, BUT NOT LESS THAN 50 YEARS
 Intended uses: DOMESTIC

Builder: D BAIRD 3 MOLYNEUX AVE, CROMWELL
 Designer: DESIGN DRAWING SERVICES 3 SHALE COURT, CROMWELL
 Drainlayer: R A ANDERSON 51 MOLYNEUX AVE, CROMWELL
 Plumber: AS ABOVE
 Electrician: SANGSTER

Valn No.: 2850578100
 Estimated value: \$ 30,375
 Charges (inc levies) \$ 1,268.85
 Date of applicn: 25/09/96
 Date issued: 25/09/96

Date Inspected

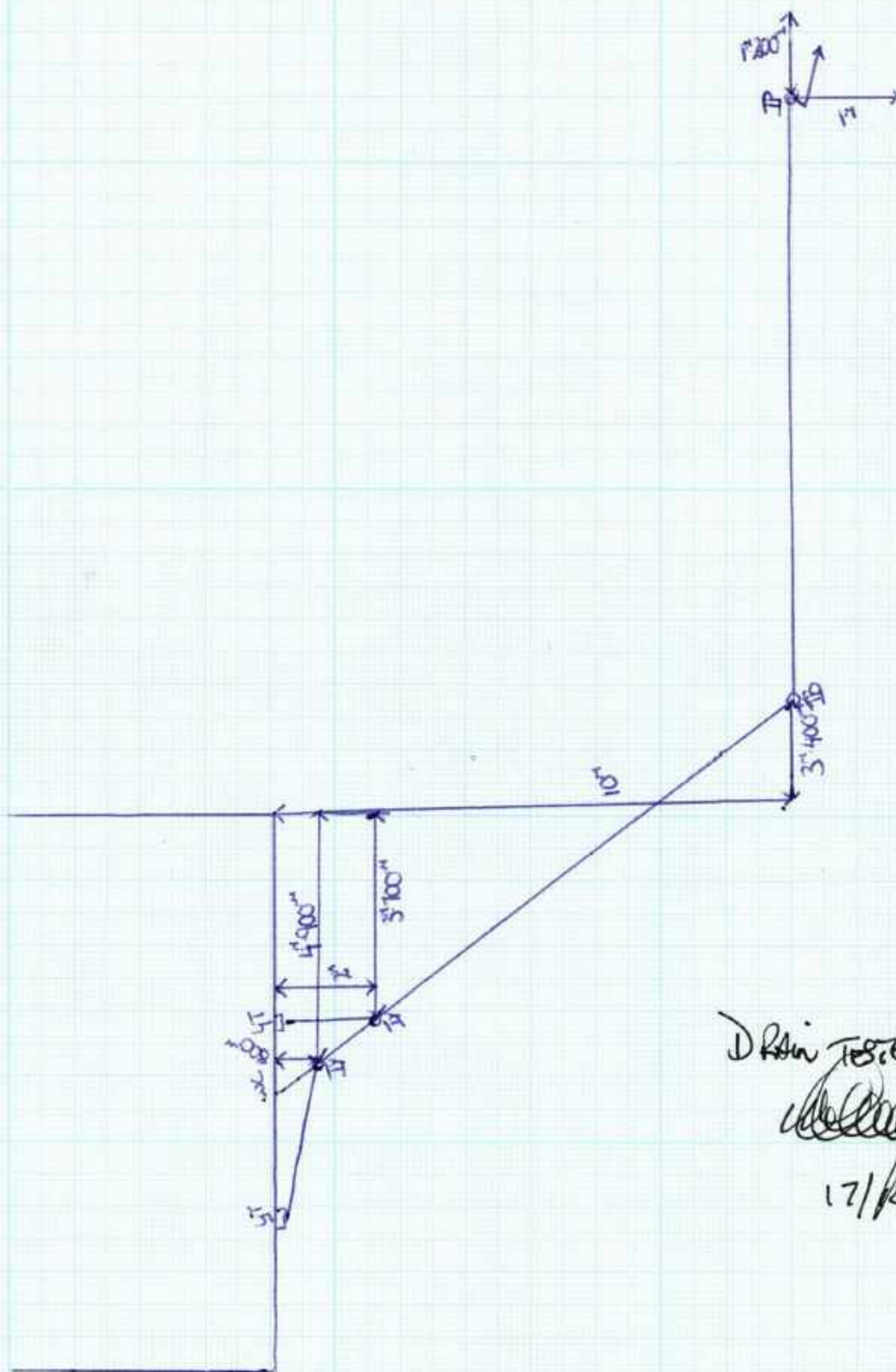
26-9-96	Rear of dwelling demolished and removed from site Footings dug to depth - two "vent" pipes installed to vent sub sub floor of existing. Footing dug where new meets old since impossible to mechanically connect the two. Sand blading layer going in ok kff
27-9-96	D12 top & bottom, dpm and mesh in place. D12 around thickened edge of slab Ready to pour up.
30-9-96	Trams going up - discussed using 200x50 for rafters (not 150x50) and braced down to 150x50 at plate deck.
24-10-96	Framing check ok (No m.c. - no metre but is dry) All connectors in place, braces in place. Building paper up with Harditex over - batts in - joining (ext) up ok up.
17/12/96	Downing TESTED OK (in) J
6.8.01	Final inspection - No down pipe off carport or secklo. Bottom end of rafters on carport req fixing. Letter sent to D Baird copy attached sff
17.9.01	All work completed O.k ccc 3247 sff

I.T. — means Intercepting Trap
 F.A.I. — means Fresh Air Inlet
 I.P. — means Inspecting Pipe
 I.Y. — means Inspection Junction

REFERENCE:
 Y.P. — means Junction Pipe
 G.T. — means Gully Trap
 W.C. — means Water Closet
 B.V. — means Back Vent

APPLICATION No. 960568
 M.V. — means Main Vent
 T.V. — means Terminal Vent
 I.C. — means Inspection Chamber
 D.P. — means Down Pipe

Scale — 1-100



Drain Test OK
 17/12/96

OWNER: D. Baird.

LOCATION: Donegal St

LOT No.:

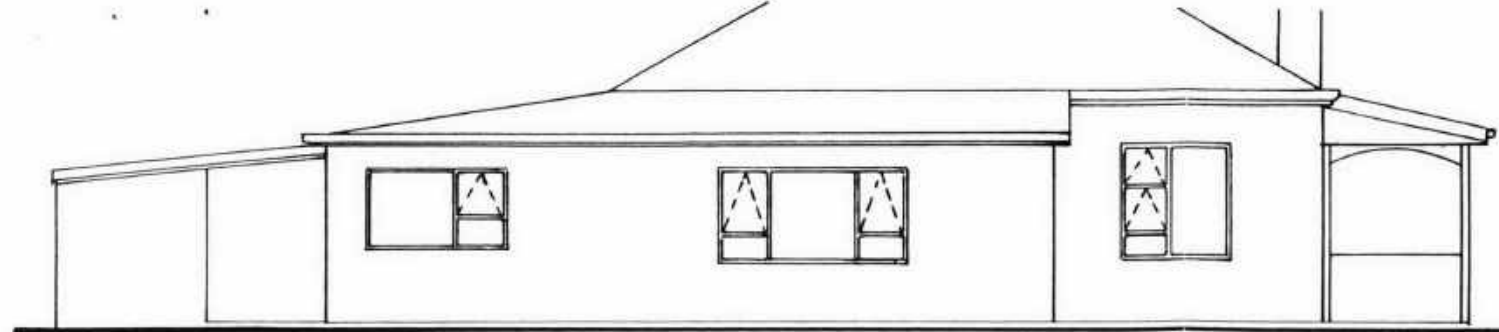
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SECTION:

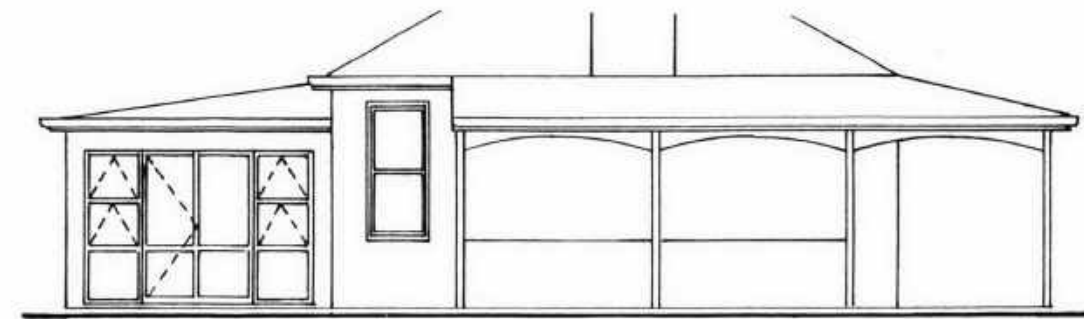
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SIGNATURE

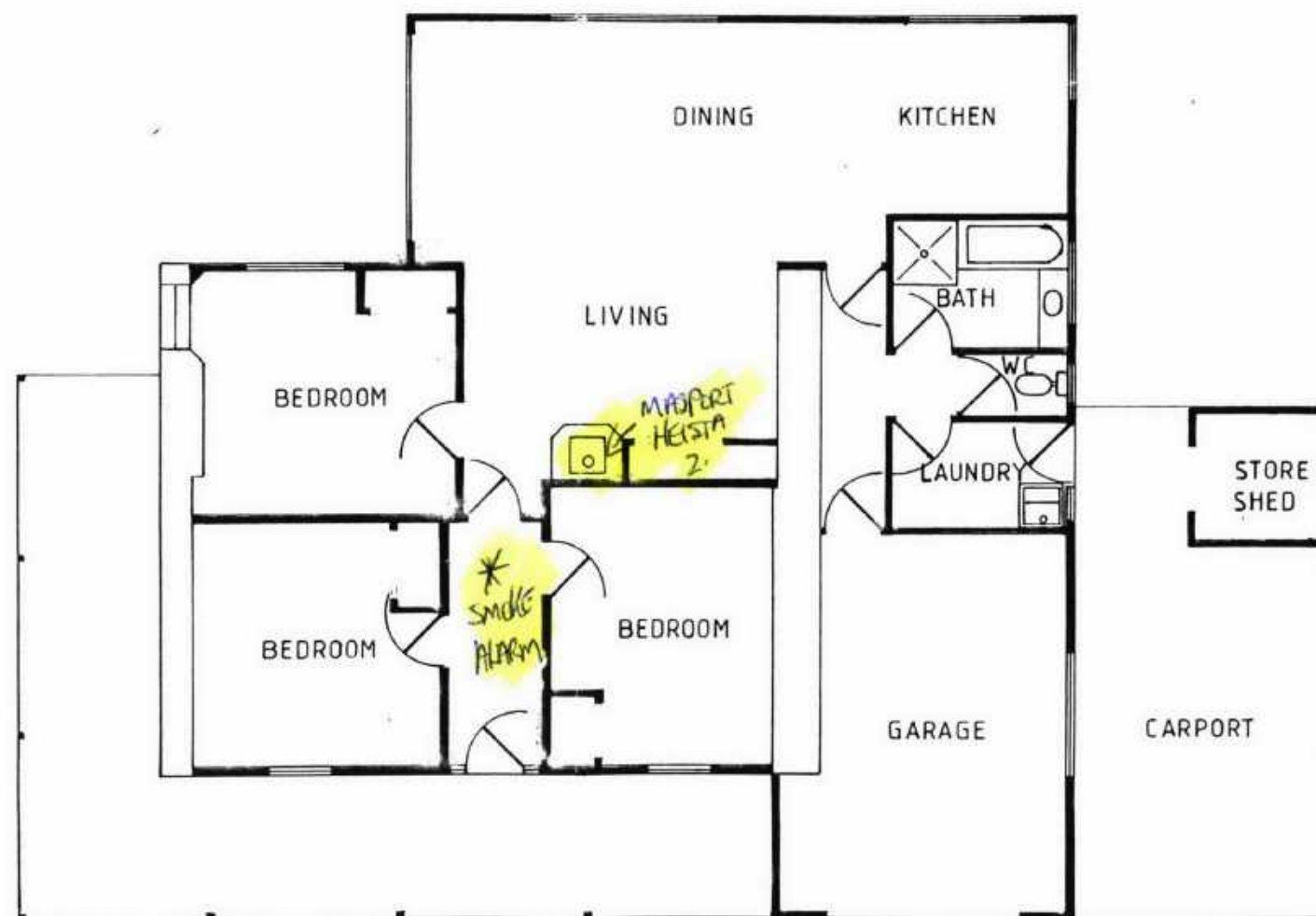
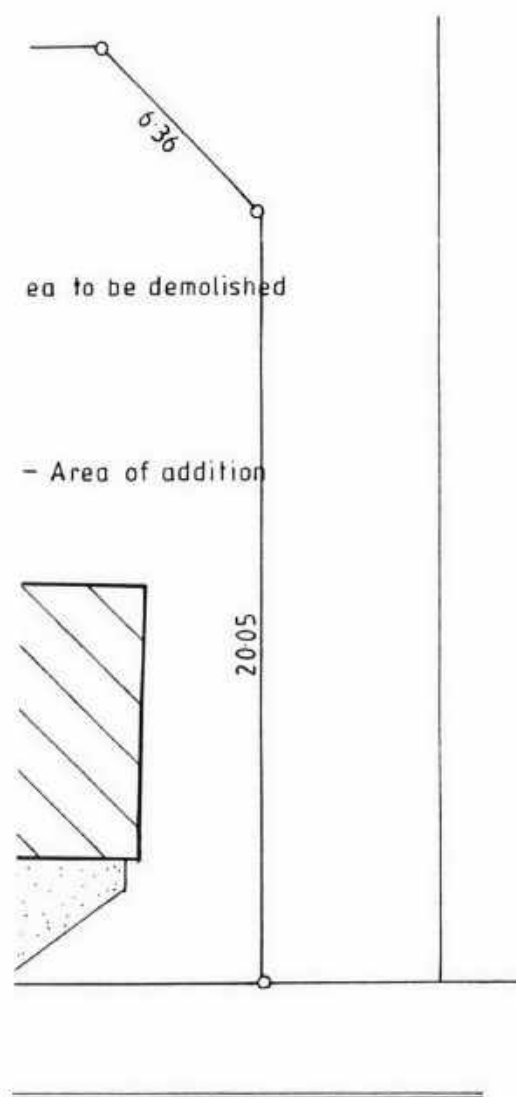
R. Anderson
 (Registered Drainlayer)



ELEVATION 3



ELEVATION 4



LAYOUT PLAN



NOTES

Alterations and additions to this dwell are to be carried out in accordance with all relevant regulations and standards using standard trade practice and approved building materials. Check all dimensions on site.

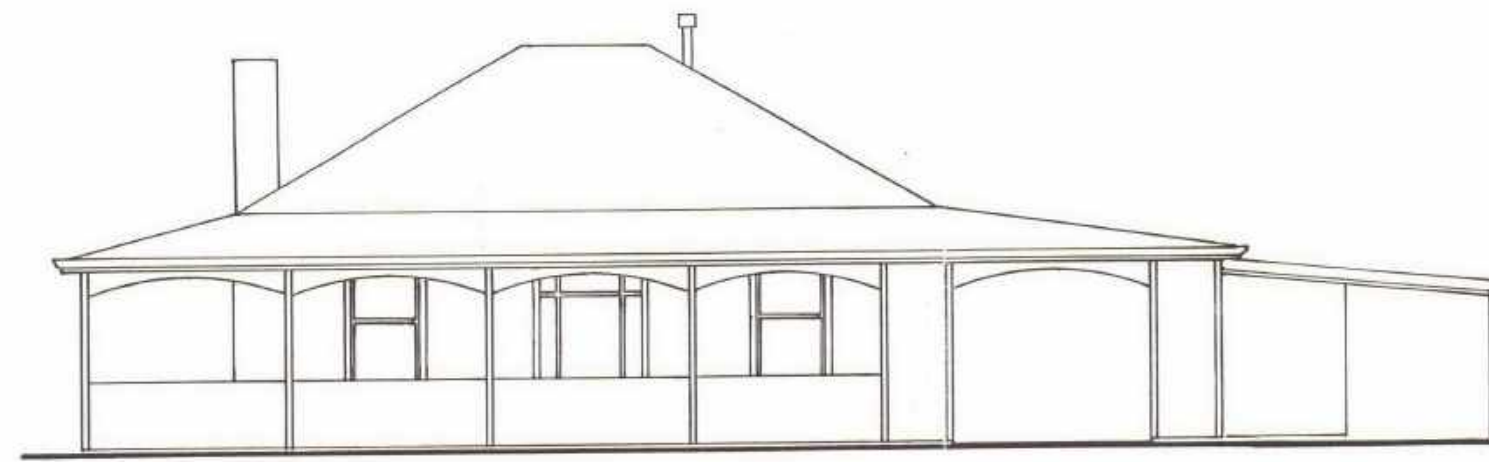
ET

DESIGN & DRAWING SERVICES CROMWELL

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE FOR D. BAIRD, 7 DONEGAL STREET, CROMWELL. SITE PLAN, LAYOUT PLAN, AND ELEVATIONS.

SCALE 1:100

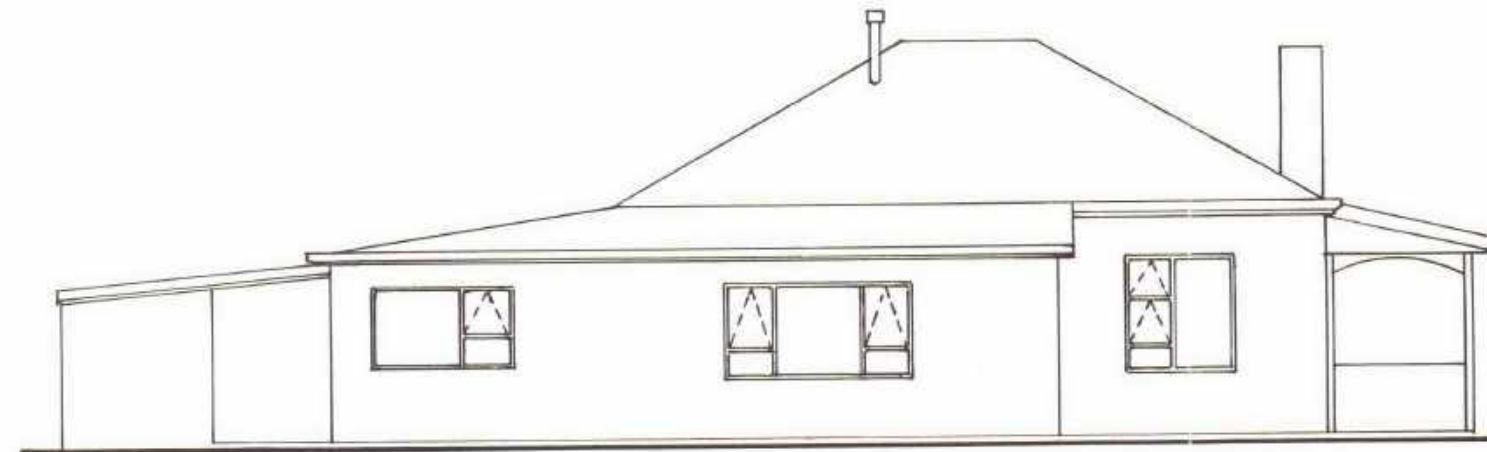
B2/96



ELEVATION 1



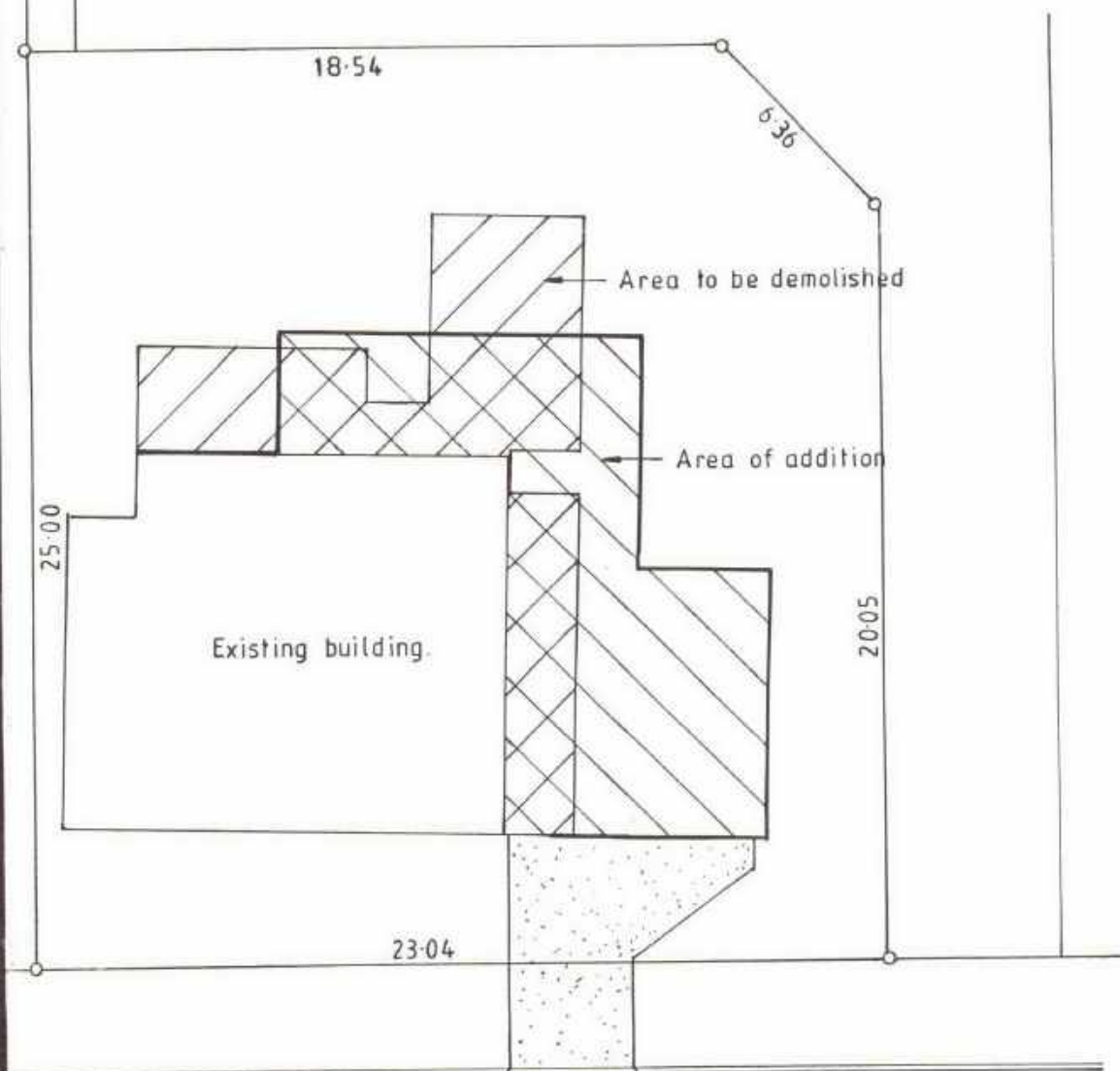
ELEVATION 2



ELEVATION 3



ELEVATION 4



DONEGAL STREET

SITE PLAN



LAYOUT PLAN

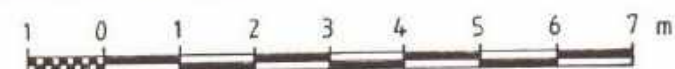


NOTES

Alterations and additions to this dwelling are to be carried out in accordance with all relevant regulations and standards, using standard trade practice and approved building materials. Check all dimensions on site.

DRAWN BY M.J. Birles (NZCE)

GRAPHIC SCALE 1:100



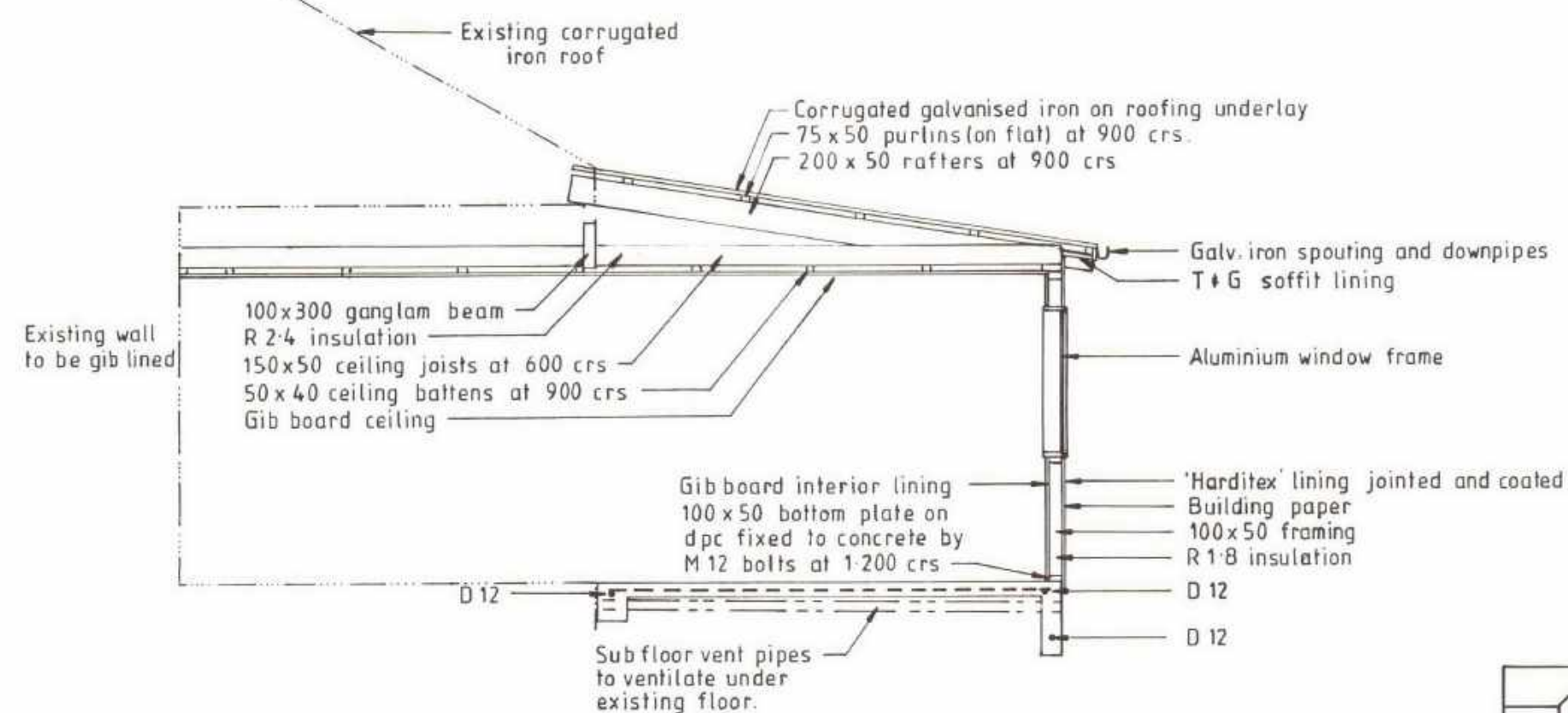
DESIGN &
DRAWING
SERVICES
CROMWELL

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE
FOR D. BAIRD, 7 DONEGAL STREET, CROMWELL.
SITE PLAN, LAYOUT PLAN, AND ELEVATIONS.

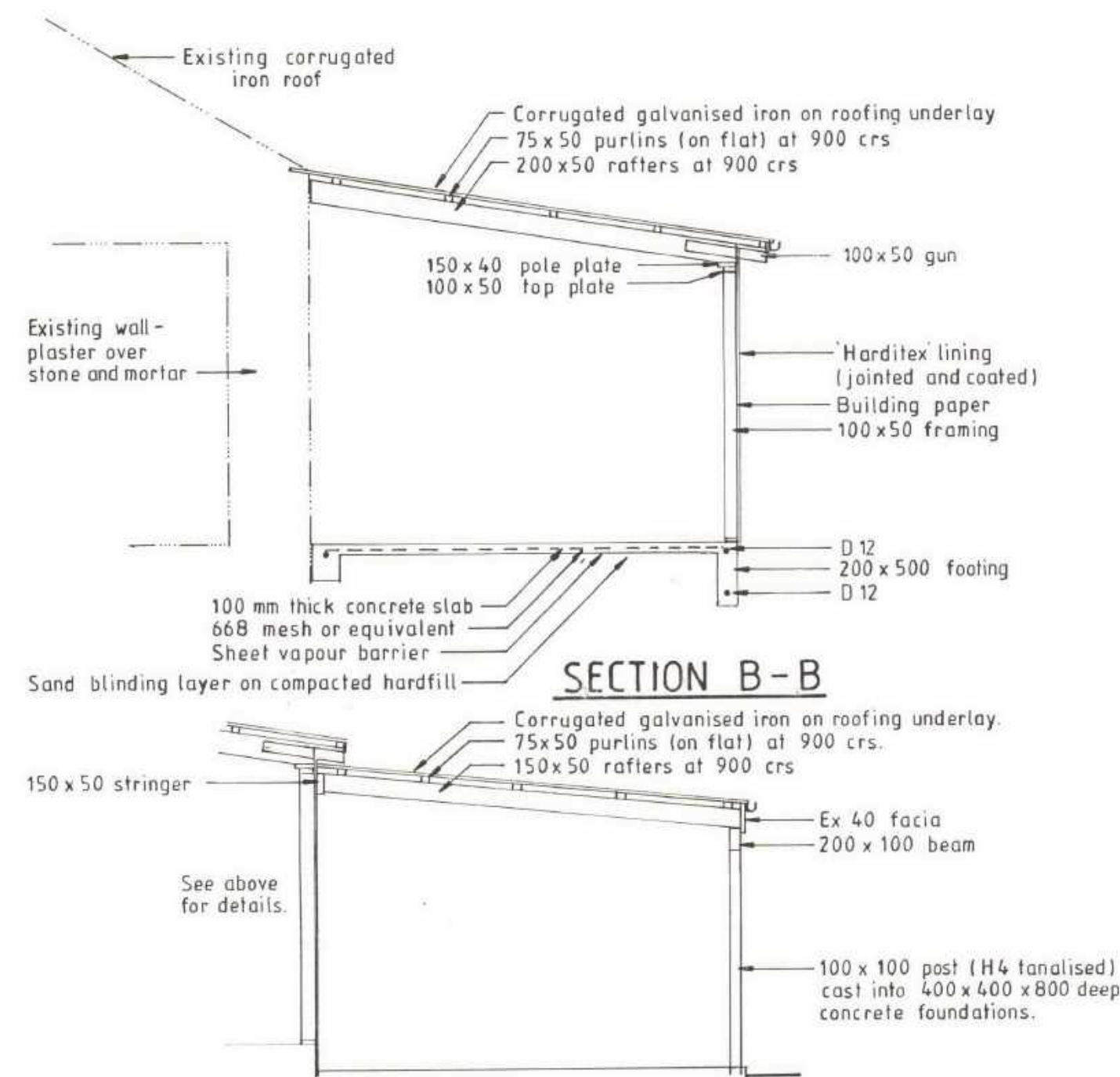
SCALE 1:100 1:200

B2/96

SHEET	1
OF	2

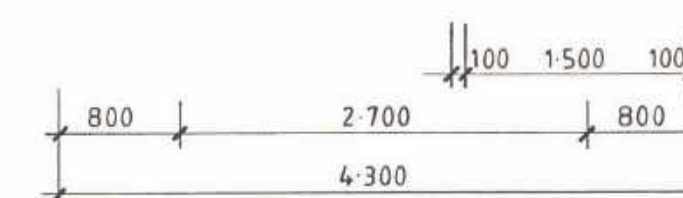
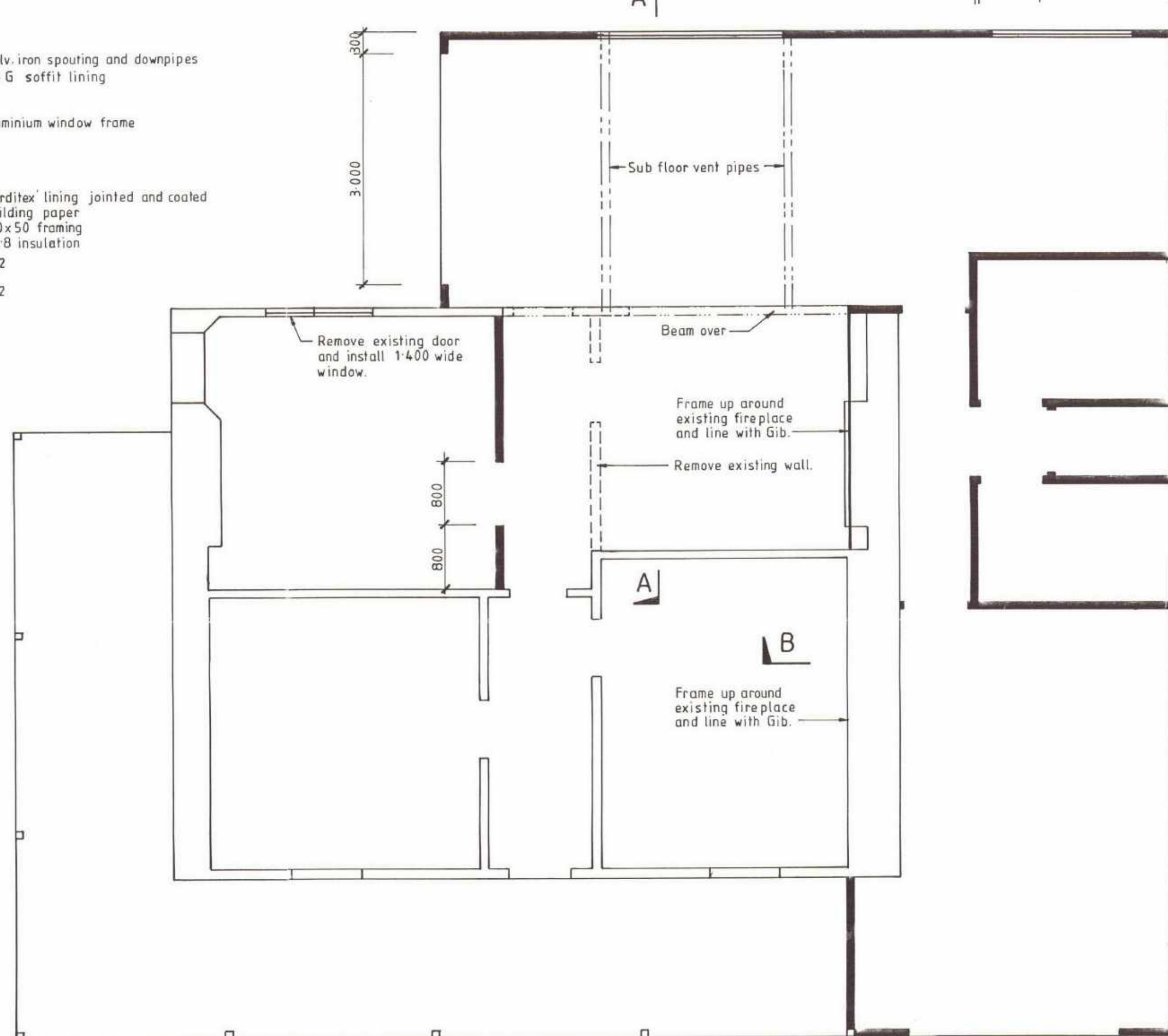


SECTION A-A



SECTION B-B

SECTION B-B THRU CARPORT



DRAWN BY M.J. Birtles (NZCE)

GRAPHIC SCALE 1:50



DESIGN &
DRAWING
SERVICES
CROMWELL

PROPOSED ALTERATIONS AND ADDITIONS TO RESIDENCE
FOR D BAIRD, 7 DONEGAL STREET, CROMWELL.
SECTIONS AND FRAMING PLAN.

SCALE 1:50

B2/96

SHEET	2
OF	2

10 August 2001

28505/781/00

BC 960568

SG:njb

D R Baird
7 Donegal Street
CROMWELL

Dear Sir

ALTERATIONS, REPAIRS AND EXTENSIONS: 7 DONEGAL STREET,
CROMWELL

A final inspection was carried out of the above address on 6 August 2001. The following matters require to be attended to prior to a Code of Compliance being issued.

1. A downpipe installed off the spouting on the carport, this down pipe needs to discharge to a soakpit in the property.
2. The rafters on the carport require more fixing on the lower end. One wire dog on each rafter is required to comply with NZS 3604.1999.

Once this work has been carried out please contact this office so a final inspection can be made and a Code of Compliance issued.

If you require clarification of any of these matters please contact this office.

Yours faithfully

STEWART GEDDES
BUILDING OFFICER

CENTRAL OTAGO DISTRICT COUNCIL

CONSENT NUMBER 960568

APPLICATION FOR SERVICES

1. OWNER

Name: D.R. BAIRDPostal Address: 3 Molyneux AveCromwell

2. BUILDER

Name: Owner

Postal Address:

3. PROJECT LOCATION

Address: 7 Donegal Street Cromwell

4. LEGAL DESCRIPTION

Valuation Number: 28505-781.00Lot: 2 & 3 D.P: 9047 Town:Lot Area: 1410 square metres
hectaresSection: 4 & 5 Block: 418 S.D: CROMWELL

5. PROJECT

Description of Work: Additions to dwelling

6. SERVICES REQUIRED

<input type="checkbox"/> Vehicle Entrance		Rate	Fee
Kerb	(standard 3 m)	\$ 230-00	\$ 230-00
Extra Kerb	(length	\$	\$
Asphalt/Concrete	(area <u>3.6 x 2.8</u>)	\$ 30-00	\$ 302-40
<input type="checkbox"/> Water Connection	(standard 3 m)	\$	\$
Extra under berm/seal	(length	\$	\$
<input type="checkbox"/> Sewer Connection	(standard 3 m)	\$	\$
Extra under berm/seal	(length	\$	\$
Extra depth of m	(length	\$	\$
Construction		GST	\$ 66-55
Invoice No		Subtotal	\$ 598-95
<input type="checkbox"/> Engineering Inspection		\$	\$
Invoice No		GST	\$
		Subtotal	\$

7. FEES PAID

Receipt Number: <u>79560</u>	Date: <u>25/9/96</u>	Amount: \$ <u>528-95</u>
------------------------------	----------------------	--------------------------

I request the services as detailed above and understand that I will be invoiced for additional work due to any variation in site dimensions on completion, and will pay this at the above rates.

Signed D. BairdDate 25/9/96

CENTRAL OTAGO DISTRICT COUNCIL

PROJECT INFORMATION MEMORANDUM No.:

Section 31, Building Act 1991

ISSUED BY

2524

(Insert a tick in each applicable box. Attach relevant documents)

APPLICANT	PROJECT
Name: <u>D. R. Baird</u>	New or Relocated Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
Mailing address: <u>3 Malyneux Ave</u> <u>Cromwell</u>	Intended Use(s) (in detail): <u>Domestic</u>
	Intended Life: Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Specified as _____ years
PROJECT LOCATION	This is:
Street Address: <u>7 Donegal Street</u> <u>Cromwell</u>	<input checked="" type="checkbox"/> Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.
LEGAL DESCRIPTION	Not yet applied for <input type="checkbox"/>
Valuation Roll Number: <u>29505-781.00</u>	No.: _____ attached <input type="checkbox"/>
Lot: <u>2 & 3</u> DP: <u>9047</u>	<input type="checkbox"/> Notification that other authorisations must be obtained before a building consent will be issued.
Section: _____ Block: _____	<input type="checkbox"/> Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.
Survey District: <u>TOWN OF CROMWELL</u>	
COUNCIL CHARGES	
The Council's total charges payable on the uplifting of this project information memorandum, in accordance with the attached details, are: <u>\$112.50</u> (ALL FEES ARE GST INCLUSIVE)	
Receipt No.: <u>79560</u>	
This project information memorandum includes (cross each applicable box, attach relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):	
<input type="checkbox"/> Information identifying relevant special features of the land concerned.	
<input type="checkbox"/> Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.	
<input type="checkbox"/> Details of relevant utility systems.	
<input type="checkbox"/> Details of authorisations which have been granted.	
<input type="checkbox"/> Details of authorisations which must be obtained before a building consent will be issued.	
<input type="checkbox"/> Details of authorisations which have been refused.	

Signed for and on behalf of the Council:



Name: MAX BIRTLES

Position: BUILDING CONTROL OFFICER

Date: 25 / 9 / 96

08 January 2015

P R & H P Samson
7 Donegal Street
Cromwell 9310

Dear Sir/Madam

Receipt of Application for Resource Consent

Location: 7 DONEGAL STREET, CROMWELL

Proposal: LAND USE CONSENT TO BREACH THE SIDE YARD.

Your application for a Resource Consent as detailed above is acknowledged as being received on .

The application has been allocated the reference number RC150002 and it is requested that you use this reference in any future correspondence relating to this application.

We are now checking the documents you provided to make sure everything is included according to the requirements of the law (section 88 and Schedule 4 of the Resource Management Act 1991).

Once the documents have been checked you will either receive a letter confirming that your application has been accepted for processing and explaining what will happen next, or your application will be returned to you with reasons outlining why it is not complete

If it is determined that your application does not require public notification, a decision will be released within 20 working days. In the event that the application requires public notification you will be advised with further details.

If you have any queries, please contact the undersigned quoting the above reference number.

Yours faithfully



Jodie Monk
Consents Officer

Application for Resource Consent



(Form 9)

Section 88, Resource Management Act 1991

To: The Chief Executive
Central Otago District Council
PO Box 122
Alexandra 9340



DETAILS OF APPLICANT

Full name: PAUL ROBERT AND HEATHER PATRICIA SAMSON

Postal address for service of documents: 7 DONEGAL STREET
CROMWELL 9310
Town Post Code

Contact details: Phone: (03) 445 4305
Fax: x
Email: heather.samson@hotmail.com

We PAUL ROBERT SAMSON AND HEATHER PATRICIA SAMSON
(full name and address of applicant)

of 7 DONEGAL STREET CROMWELL

apply for the following type(s) of resource consent.

PLANNING CONSENT FOR BREACH OF 3mETER SIDE
YARD RULE FOR THE PURPOSE OF BUILDING A DOUBLE
GARAGE

State one or more of the following: land use consent, subdivision consent and describe the activity to which the application relates.

The names and addresses of the owner and occupier (other than the applicant) of land to which the application relates are as follows:

* Delete if not applicable.

The location of the proposed activity is as follows:

7 DONEGAL STREET CROMWELL 9310
LOT 1 DP 301986
(OPPOSITE THE OLD CROMWELL VOLUNTEER FIRE STATION BUILDING)

Describe the location as it is commonly known and in a way that will enable it to be easily identified (e.g. the street address, the legal description to which the application relates, proximity to any well-known landmark, the grid reference (if known)).

No additional resource consents are needed for the proposed activity.

Or

The following additional resource consents are needed for the proposed activity and have (or have not) been applied for: *(give details)*

☒ We attach, in accordance with the Fourth Schedule of the Resource Management Act 1991, an assessment of environmental effects in the detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment.

~~I/We attach any information required to be included in this application by the district plan, the regional plan, the Resource Management Act 1991, or any regulations made under the Act.~~

(List all documents that you are attaching)

~~As this is an application for a subdivision consent, I/We attach information that is sufficient to adequately define: *(delete if this is not an application for a subdivision consent)*~~

- ~~(a) the position of all new boundaries; and~~
- ~~(b) the areas of all new allotments; and *(delete if the subdivision involves a cross-lease. Company lease or unit plan)*~~
- ~~(c) the locations and areas of new reserves to be created, including any esplanade reserves and esplanade strips; and~~
- ~~(d) the locations and areas of any existing esplanade reserves, esplanade strips, and access strips; and~~
- ~~(e) the locations and areas of land below mean high water springs of the sea, or of any part of the bed of a river or lake, to be vested in the Crown or local authority under section 237A of the Resource Management Act 1991; and~~
- ~~(f) the locations and area of land to be set aside as new roads.~~

~~As this is an application for a resource consent for reclamation, I/We attach information to show the area proposed to be reclaimed, including its location, the position of all new boundaries, and the portion of that area (if any) to be set apart as an esplanade reserve or esplanade strip. *(delete if this is not an application for a resource consent for reclamation)*~~



Signature

(to be signed by applicant or person authorised to sign on behalf of applicant)

7/1/15

Date

Note to applicant:

You may apply for two or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991 (if any).

The following is attached to this application:

(please tick boxes as appropriate)

- ☒ Application fee of the prescribed amount (an additional charge may also be payable where the initial application fee is inadequate to recover Council costs).
- ☒ Assessment of the Effects on the Environment (AEE).
- ☒ Copy of current Certificate of Title.
- ☒ A location plan.
- ☒ A site plan which shows the location of any buildings, driveways, parking areas or other significant features in relation to site boundaries.
- ☒ A building plan including the floor plan of the proposed building and elevations (if appropriate).
- ☒ Photographs of the site and of any important features relative to the application. *Attached to AEE*
- ☐ Any other information required by the District Plan or Act or regulations to be included.
- ☒ *A - Affected Person Approval*

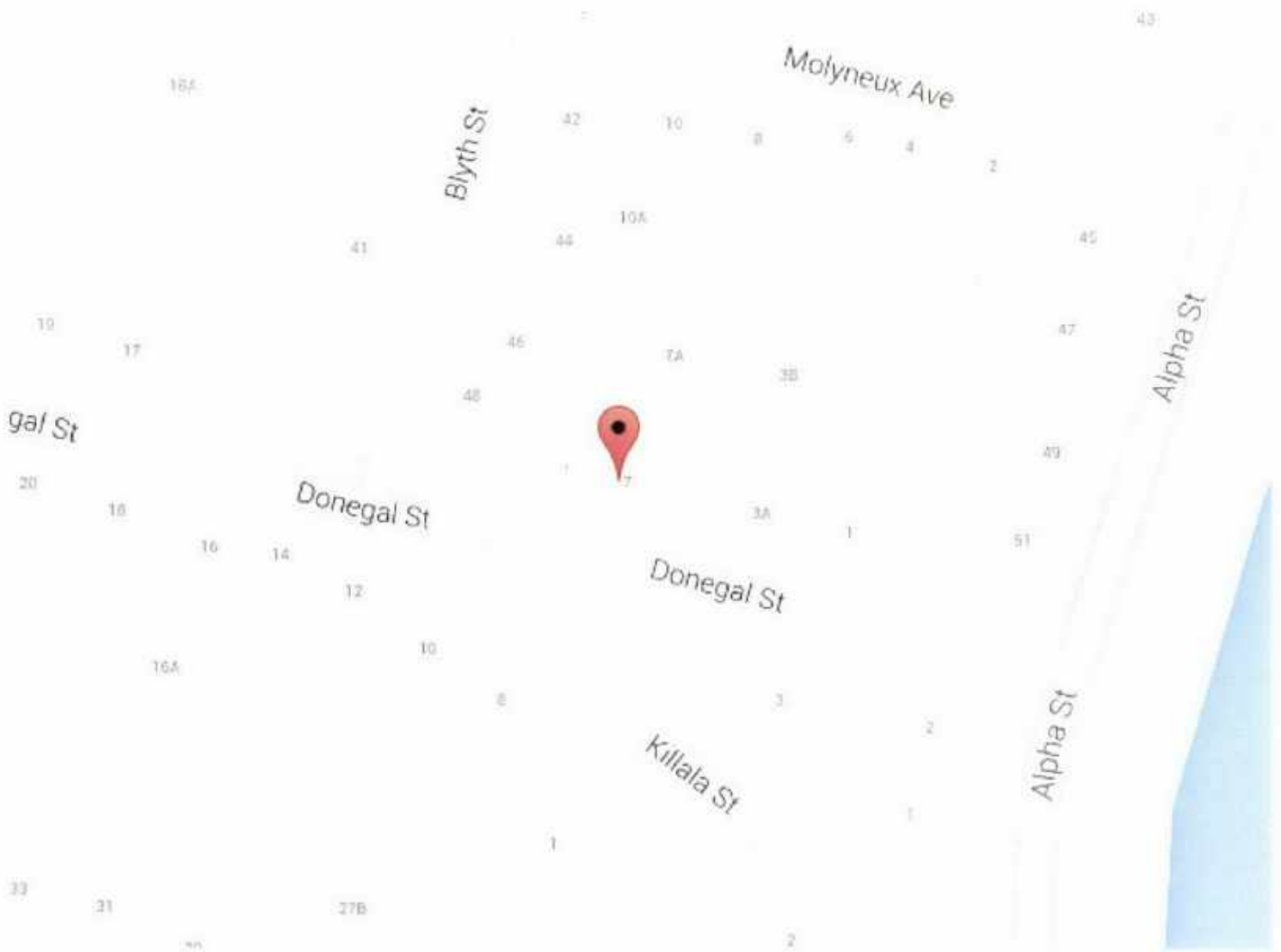
Full details relating to the contents of applications are contained in the checklists and guidance notes available on Councils website www.codc.govt.nz or from any Council office.

[Add a place](#)[Login](#)[Signup](#)

Search for places...

[New Zealand](#) > [Central Otago](#) > [Cromwell](#) > [Donegal Street](#) > 7

Map of 7 Donegal Street



Share

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Nearby Places

[Place Of Worship](#), [Molyneux Educare Inc](#), [Place Of Worship](#), [Otago Polytech](#), [Place Of Worship](#), [Juice Caf  ](#), and [Cornish Point](#)

Sponsored Links

LOCATION MAP



Assessment of the Effects on the Environment in support of application for permission to breach the 3m side yard rule.

7 Donegal Street, Cromwell

1. The effect on amenity values of neighbouring properties.

- (a) The neighbours will not lose any sunlight, nor will they be shaded in any way as there is 8 meters of driveway adjacent to the proposed breach on the south east facing boundary. The existing height of the house roof will cast a greater shadow from the setting sun than the proposed garage could do.
- (b) The 8 meter width of driveways adjacent to the breach ensures there is no loss of privacy as the outdoor and indoor living spaces of adjacent properties are to the north of their homes quite some distance from their access driveways.
- (c) The garage is not intended to be used to create noise, rather to house two vehicles and a small home workshop
- (d) The wall adjacent to the side boundary will not have windows or doors so neighbours will not be seen using their driveways from within the proposed structure.
- (e) The existing fence has been built to give the adjacent neighbour the construction view of the fence whilst we view the neat side. We have agreed that when the garage is built we will replace the fence to the same height and material at our cost but ensure that they receive the new benefit of viewing the best side of the fence. (As per affected persons approval herein)

2. The effect on the natural character of water bodies and their margins.

- (a) Not Applicable

3. The effect on the amenity values of the neighbourhood and streetscape.

- (a) This is a very established part of Cromwell with many older homes and in recent times, quite a bit of infill subdivision (as is the case with the subject property and affected person.)
Whilst not part of the Heritage Precinct there appears to be an increasing pride in the area's historical connection with Cromwell pre-dam days and an attraction to the easy access to activities of the Precinct. Part of the 'shape' of this part of Cromwell is the volume of garages (and a few houses too) that would nowadays breach side and front yard rules. A garage against a boundary is a very efficient and functional land use with historic and (on

occasions) aesthetic precedent even if not in line with current planning fashion. It may even be argued that a garage three meters from a boundary is jarring to the established character of this part of Cromwell, particularly if the 'future proofing' access for subdivision has already been met.

- (b) Accordingly, we are very mindful to ensure that the new garage will be an architectural enhancement to the area as opposed to the poky single carport currently attached to the south eastern side wall of the house. We are spending the extra money to match the weatherboard style in the front (street view) of the garage with the front of the house, add a small overhang for visual depth and have increased the roof pitch to 30 degrees which should give a more attractive look to the road view.
- (c) The proposed garage will be quite visible from the street and should blend in nicely with existing site and the immediate neighbourhood. The adjacent neighbour has approved the plans and can see the enhancement to his own entranceway.
- (d) We are currently looking for an interesting heritage/Victorian gate to join the house and the garage that will be seen from the road. This will give two properties (ourselves and our street front neighbours at no 5) well preserved older homes that even now attract lovely comments from passersby.

Appendix A and B attached

4. The effect on the safe and efficient operation of the roading network.

- (a) There is definitely no detriment by the addition of the proposed garage and there may even be a slight benefit as there will be ample space for visitor parking in front of the new garage rather than the road. However in reality, this part of Donegal Street is very quiet and attracts very few vehicles most of the year.

5. The effect on the heritage values of the site itself or the area in general.

- (a) I am not clear how old the oldest part of the building actually is. The real estate agency when we bought the house had it listed as being built in 1920 to 1930. This would make it under 100 years old and therefore presumably not of 'heritage' value. However it does have an historical value to me so accordingly I will complete this section.
- (b) We run a small Bed and Breakfast from this place and receive many comments about how pretty it is and are proud ambassadors for our region being a CODC Approved Brand Partner. This application would not be

considered by us if we thought the garage was anything other than a bonus for us, our B&B and the area in general.

- (c) I have done some research on the property and it was owned by Henry Hotop, the first apothecary in Cromwell. He lived in until his death in 1930. His granddaughter (now 84 years old) and grandson (85years) have visited us and are delighted with the upgrading. I am in the process of writing the 'family tree' of the property which will be available for anyone interested. I suspect that the oldest part of the house may be older than 1920 but haven't been able to prove it yet. I mention this to support our intention to be able and sensitive caretakers of this property's historical connection, notwithstanding that we need a double garage too!

Appendix C and D attached

6. The effect on infrastructure.

- (a) All infrastructure is in place.

7. The effect on safety of neighbours.

- (a) The proposed garage wall will be 300mm from the neighbour's boundary which at this point is his driveway to his rear site.
- (b) Personally, I can't see that it is a fire hazard to any of the neighbours. The nearest building is no 5 Donegal which would be at least 9 meters from the garage. The shed construction specifications (enclosed) state that a firewall will be erected on the boundary wall so I assume it must be needed.
- (c) The structure will not be easily climbable. First there is a fence with a flush side (ie no footholds) and then the garage also with no footholds. There is no openings on the boundary side.

Appendix : A: The character of the streetscape in the established area within a block of the property subject to this application.





APPENDIX B

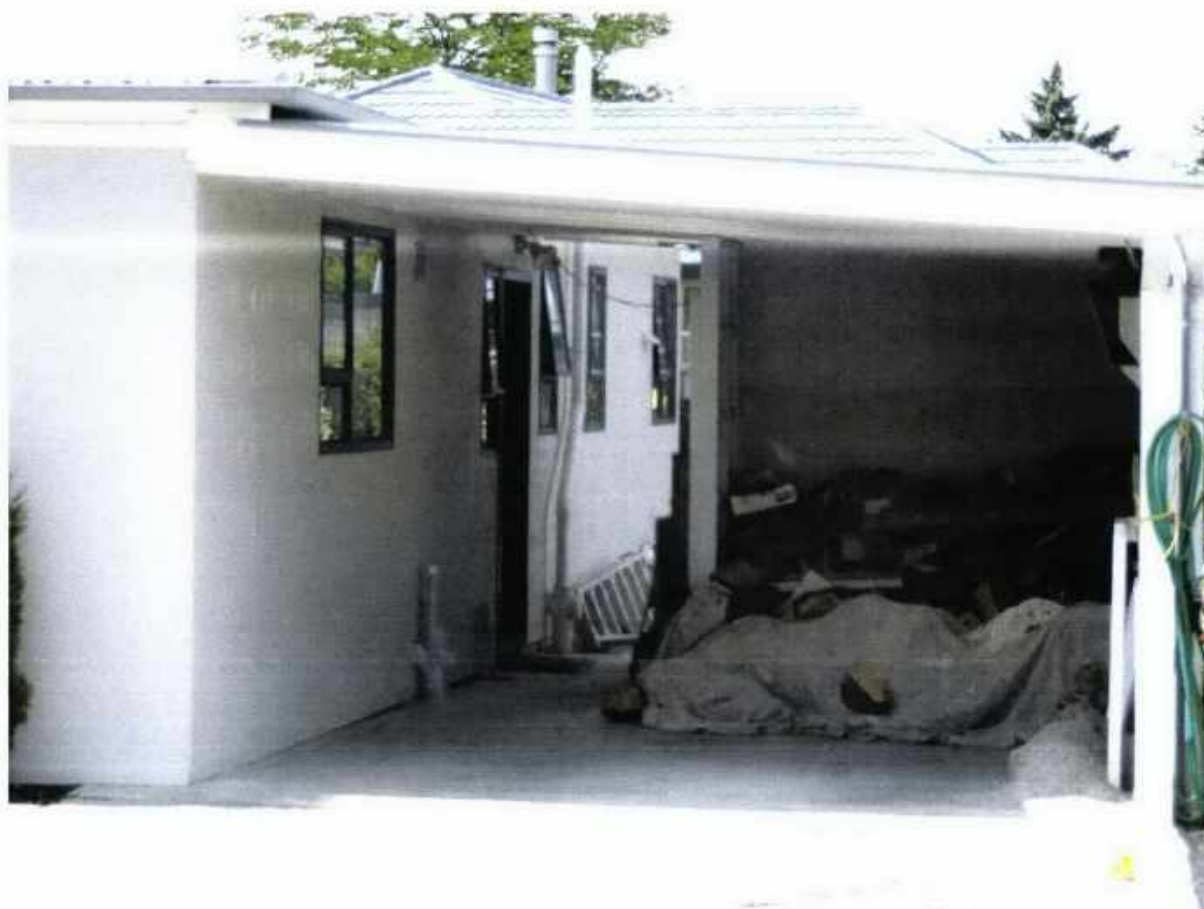
GARAGES ON SIDE BOUNDARIES IMMEDIATE TO SUBJECT PROPERTY

Appendix: C : Impact on Heritage values of the subject property

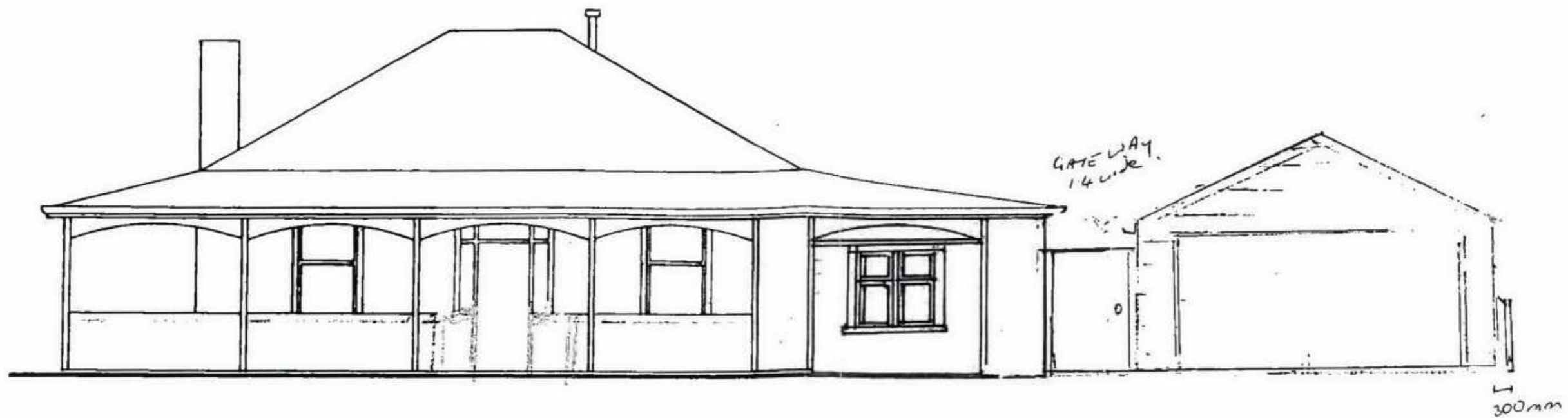
The street view now:



The existing carport attached to side of house:



SCALE: 1-750



APPENDIX D

ARTIST VIEW FROM STREET

7 Donegal Street Cornwell
with proposed double garage.

Affected Persons Approval

To: The Manager, Planning and Environment
Central Otago District Council
PO Box 122
Alexandra 9340



TO BE COMPLETED BY THE PERSON(S) REQUESTING APPROVAL

Applicant(s): PAUL ROBERT AND HEATHER PATRICIA SAMSON

Type of resource consent: BREACH OF 3m SIDE YARD RULE

Proposed activity: BUILD A DOUBLE GARAGE 300 mm FROM THE
EASTERLY BOUNDARY ADJACENT TO 7A DONEGAL STREET,
AS PER PLANS HEREIN.

Location of site: 7 DONEGAL STREET, CROMWELL, 9310 OTAGO

I have sighted all the attached plans and supporting information for the above activity.

I hereby give unconditional approval for the application to be processed without public notification.

I understand that, by giving approval, the Council will not take into account any effects that the proposed activity may have on me, when considering whether this application should be notified (Section 95E of the Resource Management Act 1991) and whether the application should be granted (Section 104(3) of the Resource Management Act 1991).

TO BE COMPLETED BY THE PERSON(S) GIVING THEIR APPROVAL

Name: RICHARD ADAM QUERCH

Organisation: _____

Address: 7A DONEGAL ST CROMWELL

Richard Querch

Signature

2/1/15

Date

Name: JENNIFER ANN QUERCH

Organisation: _____

Address: 117 DUKES RD, RD2, MOSGIEL 9092

J.A Querch

Signature

2/1/15

Date

Checklist:

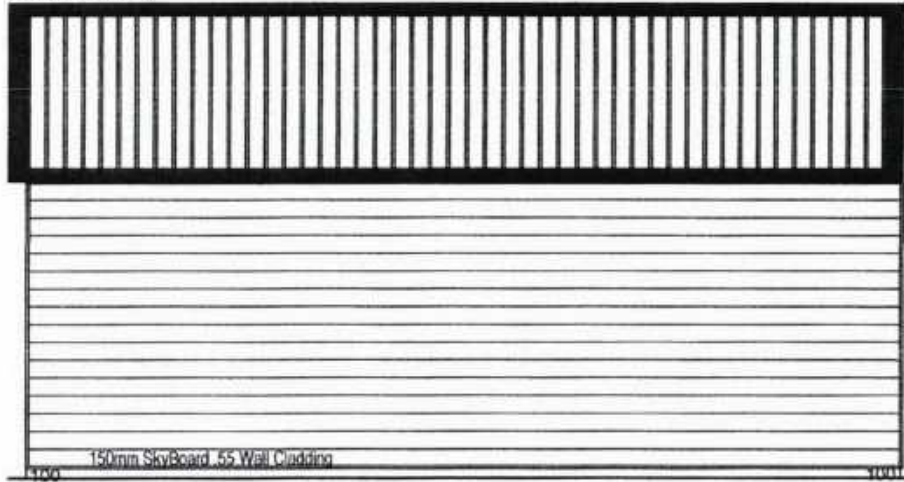
☐ Signature of all legal owners

☐ Site and/or subdivision plan with all
required signatures

☐ Elevations with all required signatures
(if applicable)

		Date	/	/
Purchasers Name		Mr & Mrs paul & Heather Samson		
Signed Distributor				
Sales Persons Name		Chris Sangster		

Skyrib Roof Cladding



Elevation Line B

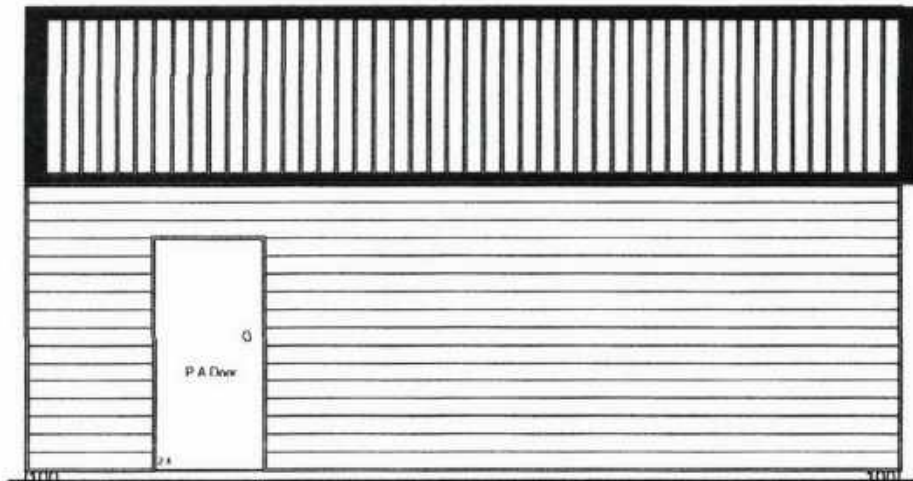
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30.0°



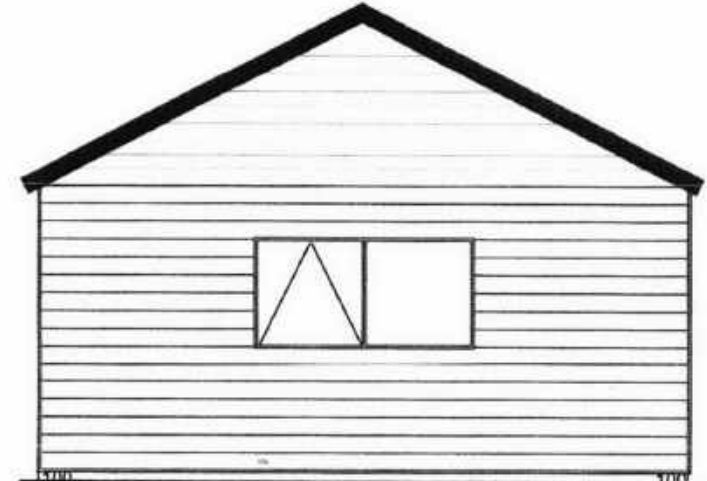
Elevation Line N

0.6 1.2 1.8 2.4 3.0 3.6 4.2 4.8 5.4



Elevation Line A

0.6 1.2 1.8 2.4 3.0 3.6 4.2 4.8 5.4 6.0 6.6 7.2



Elevation Line M

0.6 1.2 1.8 2.4 3.0 3.6 4.2 4.8 5.4

For Mr & Mrs Paul & Heather Samson

Donegal

Cromwell



Sangster Construction Ltd

4 Chardonway St

Cromwell

Sheet 2 of

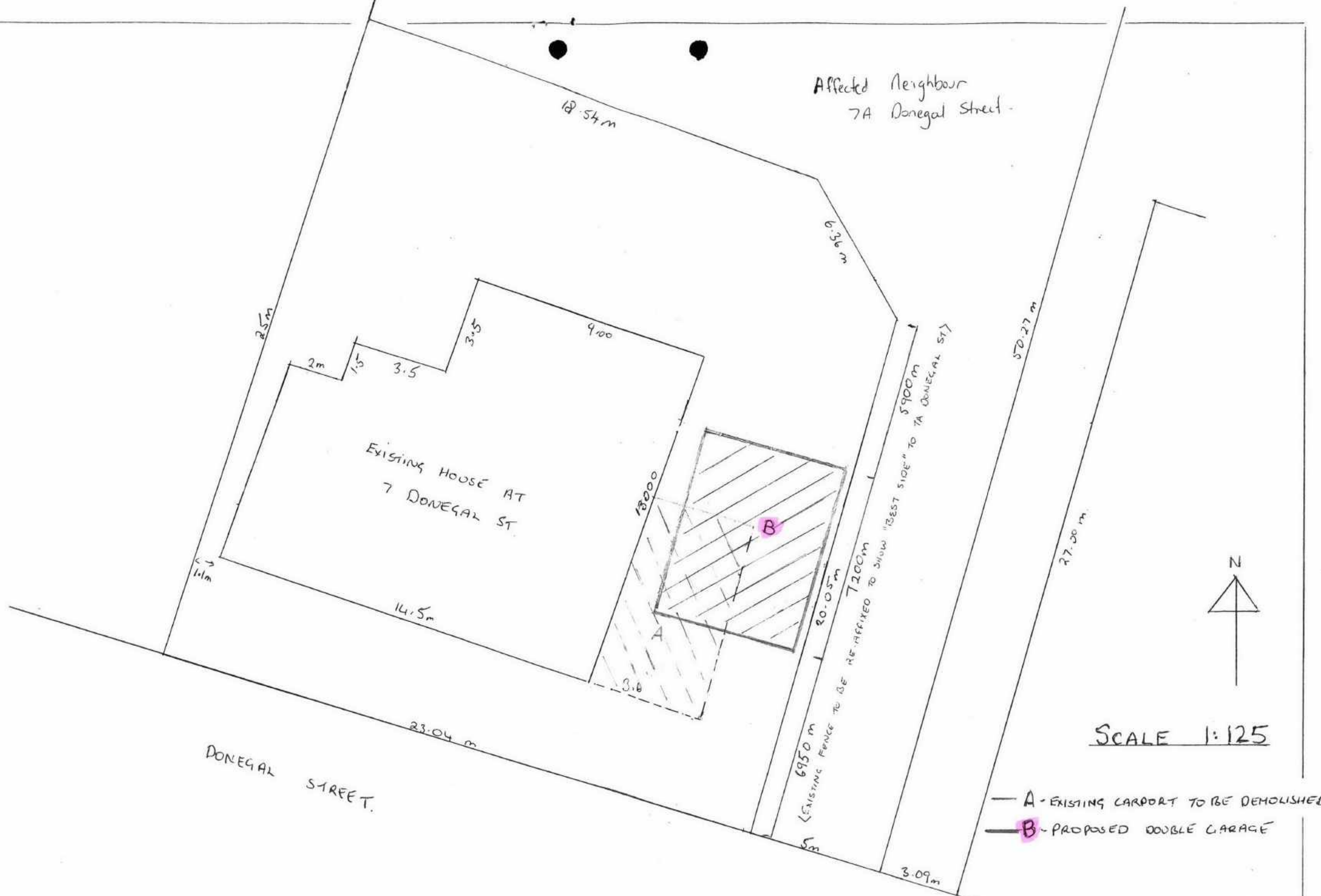
J.A. Quince 21/1/15 Robert Grech 21/1/15

SCALE: 1-750



7 Donegal Street Cornwell
with Proposed double garage.

Richard Chedoke
J. A. Quila 2/1/15
2/1/15



Site Plan - 7 Donegal Street, Cromwell - PR + HP SAMSON

Richard Lister
J. Aquino
21/11/15
21/11/15



Customer	Mr & Mrs paul & Heather Samson	Distributor	Schedule 3
Site Address:	Donegal	Sangster Construction Ltd	
Location	Cromwell	4 Chaddonay St	
Phone No		Cromwell	
Account Address	Donegal	Phone	03 445 3306
Email		Wind Zone	High

Date 12/12/2014

7.2x5.4 Double Garage 4.8 Sectional Door

Erected By Sangster Construction Ltd

Concrete Floor Standard Garage Footing - Includes Polythene and Mesh - Level Site

This wall cladding not suitable for internal linings

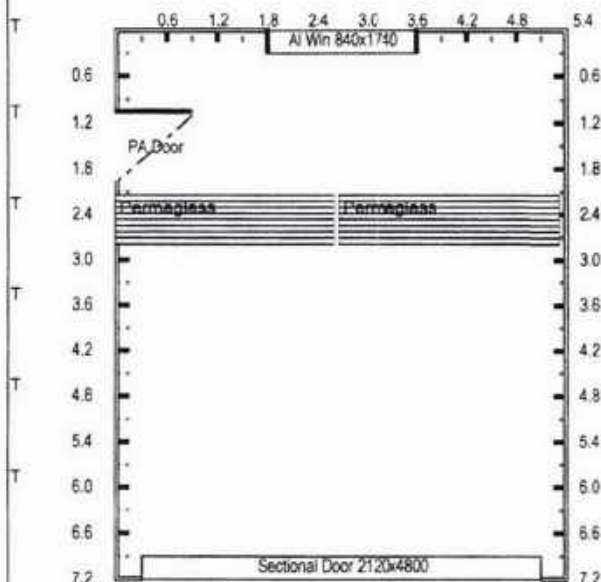
Purlins at max 450mm apart

Stud Height :	2.4 mtrs 90 x 45 SG8 Studs	<u>Frame Specifications</u>		<u>Timber Treatment</u>
Roof Pitch	30 Degrees	Trusses	90 x 45 @ 1.2m centers	H 1.2 Boric
Standard Gable Overhang	Front Standard	Purlins	70 x 45 LaserFrame	H 1.2 Boric
Wall Cladding	150mm SkyBoard .55 Flashings Primercote .40mm	Bottom Plate	90mm x 45 LVL JFrame	H 3.2 Tanalised
Roof Cladding :	Skyrib Standard Colour .40mm	Top Plate	90mm x 45 LVL JFrame	H 1.2 Boric
P.A. Door:	Inward opening 1	Studs SG8	90mm x 45 LVL JFrame @ 600mm ctrs	H 1.2 Boric
Barge Colour :	Standard Colour	Permaglass Translucent	90mm x 45 LVL JFrame	H 1.2 Boric
Main Door Colour	Ironsand			

Thermacraft Heavy Weight Building Paper Under Roof Cladding

2.4 mtrs 90 x 45 SG8 Studs

Thermacraft Heavy Weight Building Paper Under Wall Cladding



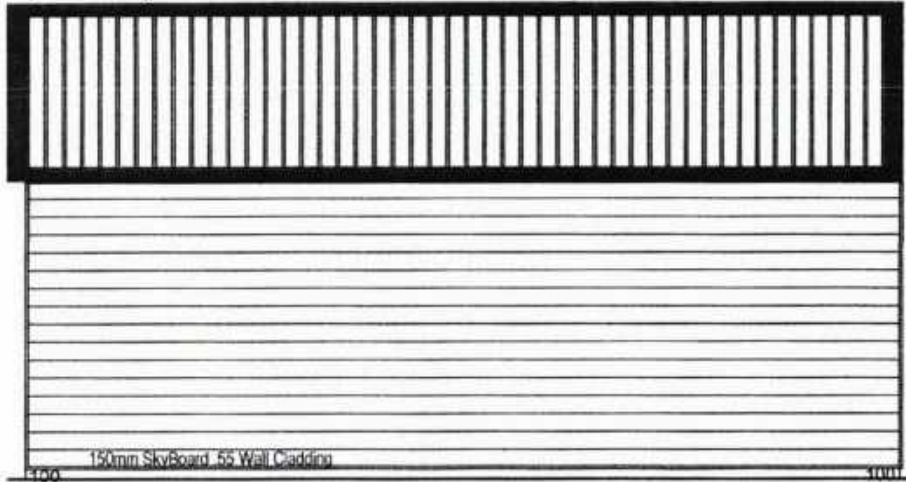
Price For Building As Shown In schedules 1 3 Includes 15% Gst

Payment Terms	Signing Order	0.00
	Issue of Building Consent	0.00
	Building Pack Delivery	0.00
	Shell Completion	0.00
	Balance Due On Completion	0.00

Signed Purchaser

	Date	/ /
Purchasers Name	Mr & Mrs paul & Heather Samson	
Signed Distributor		
Sales Persons Name	Chris Sangster	

Skyrib Roof Cladding



4159

Elevation Line B

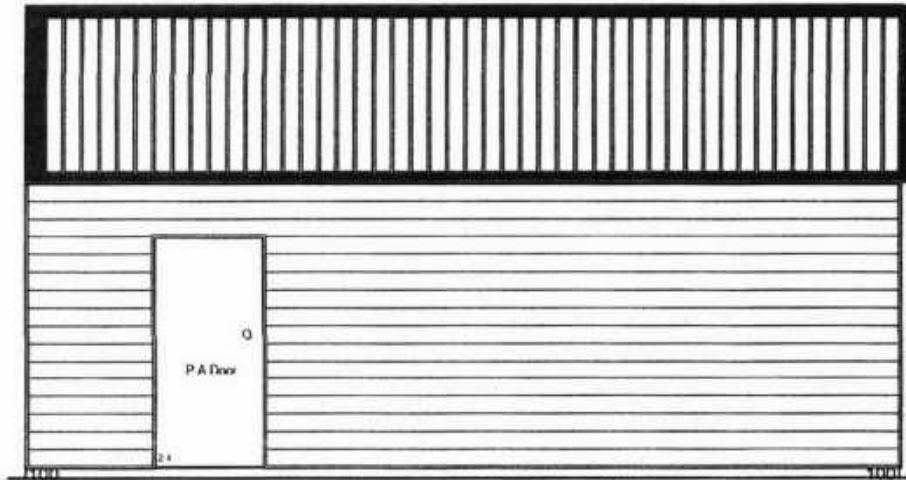
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30.0°



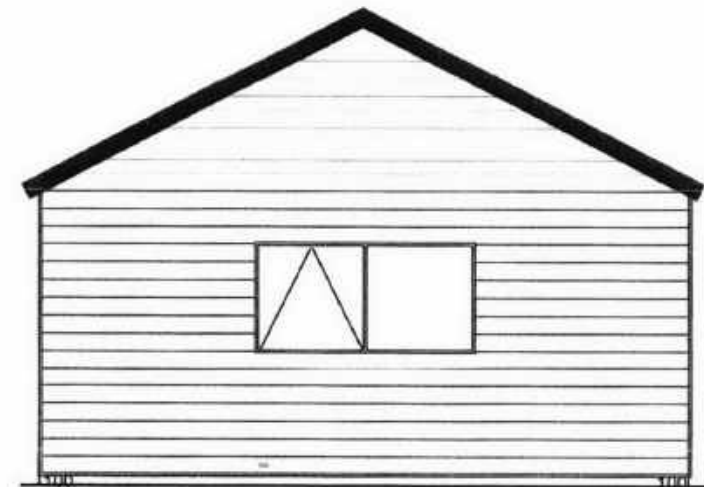
Elevation Line N

0.6 1.2 1.8 2.4 3.0 3.6 4.2 4.8 5.4



Elevation Line A

0.6 1.2 1.8 2.4 3.0 3.6 4.2 4.8 5.4 6.0 6.6 7.2



Elevation Line M

0.6 1.2 1.8 2.4 3.0 3.6 4.2 4.8 5.4

For Mr & Mrs J & Heather Samson

Done

Cromwell



Sangster Construction Ltd

4 Chardonway St

Cromwell

Sheet 2 of



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



R. W. Muir
Registrar-General
of Land

Search Copy

Identifier 7974
Land Registration District Otago
Date Issued 27 July 2001

Prior References

OT398/111 OT398/112

Estate Fee Simple
Area 566 square metres more or less
Legal Description Lot 1 Deposited Plan 301986

Proprietors

Paul Robert Samson and Heather Patricia Samson

Interests

Appurtenant hereto is a right to convey sewage specified in Easement Certificate 5064712.3 - 27.7.2001 at 3:44 pm

The easement specified in Easement Certificate 5064712.3 is subject to Section 243 (a) Resource Management Act 1991

9798177.1 Mortgage to Kiwibank Limited - 1.8.2014 at 4:44 pm

LAND DISTRICT Otago
 SURVEY BLK. & DIST. BLK. LIX. In of Cromwell
 NZMS 261 SH1 G41 RECORD MAP No. 04-32

LOTS 1 & 2 BEING A SUBDIVISION OF LOTS 2 & 3 DP 9047

TERRITORIAL AUTHORITY Central Otago Dist.
 Surveyed by Paterson Pitts Partners Ltd.
 Scale 1:200 Date November 1996

APPROVALS
 Registered Owners:
 Approved pursuant to Section 223 of the Resource Management Act 1991 on the basis of the information provided in the accompanying documents.
 The Common Seal of the Central Otago District Council is affixed hereto in the presence of:
 [Signatures]
 Pursuant to Section 223 of the Resource Management Act 1991 I hereby certify that all the conditions of the subdivision consent have been complied with to the satisfaction of the Central Otago District Council.
 Dated this 20th day of April 1998
 [Signature]
 Authorised Officer

Memorandum of Encumbrances

Shown	Purpose	Servient Tenement	Dominant Tenement
Lot 1 - 7476	Right to Carry	Lot 2	Lot 1
Lot 2 - 7475			

Datum: Geodetic 1949
 Circuit: Linds Peak
 Coordinates are in terms of false origin
 700 000mN 300 000mE
 Total Area: 1470m²
 Comprised in CT 398/111 Hall, CT 398/112 Hall

I, Peter Langdon Brown
 Registered Surveyor and holder of an annual practicing certificate in which may act as a registered surveyor pursuant to section 26 of the Survey Act 1980 hereby certify that this plan has been made from surveys conducted by me or under my direction, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1992 or any regulations made in substitution thereof.
 Signed at Cromwell this 20th day of April 1998
 [Signature]

Field Book: []
 Reference Plans: DP 9047 24761
 Estimated: [] Correct: []

Approved as to Survey:
 [Signature] Chief Surveyor
 Deposited this 20th day of April 2001
 For Registrar-General of Land

LAND DISTRICT Otago
 SURVEY BLK. & DIST. BLK. LIX. In of Cromwell
 NZMS 261 SH1 G41 RECORD MAP No. 04-32

LOTS 1 & 2 BEING A SUBDIVISION OF LOTS 2 & 3 DP 9047

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 Circuit: Linds Peak
 Coordinates are in terms of false origin
 700 000mN 300 000mE
 Total Area: 1470m²
 Comprised in CT 398/111 Hall, CT 398/112 Hall

I

23 January 2015

P R & H P Samson
7 Donegal Street
Cromwell 9310

Dear Sir/Madam

RESOURCE CONSENT: RC150002 - 7 DONEGAL STREET, CROMWELL

This is to advise that the application for land use consent to breach the side yard, which breaches the standards contained in Rule 7.3.6(iii) (c) of the Central Otago District Plan, on a property situated at 7 Donegal street, Cromwell, described as Lot 1 DP 301986 has been approved by the Manager, Planning and Environment under delegated authority, subject to the following conditions:

1. The garage shall be sited and constructed in accordance with the site plans provided in the application.
2. The garage shall be sited no closer than 0.3 metres from Eastern Boundary adjoining 7A Donegal Street

Following consideration of the application it has been determined that any effects on the environment will be no more than minor and that granting consent will not be contrary to the objectives and policies of the relevant district plan.

I draw your attention to Section 357 of the Resource Management Act 1991 which confers a right of objection to the Council to the conditions of consent.

Yours faithfully



Sarah Davidson
Planning Officer

**CENTRAL OTAGO DISTRICT COUNCIL
RESOURCE MANAGEMENT ACT 1991**

REPORT AND RECOMMENDATION ON APPLICATION FOR RESOURCE CONSENT

Type of Consent: (cross box)

☒ Land use ☐ Subdivision
☐ Controlled ☒ Discretionary (Restricted) ☐ Discretionary ☐ Non Complying Activity

Reason for Approval under Delegated Authority:

- ☒ the activity is controlled or discretionary in terms of the Operative District Plan; and
☒ the application is non-notified; and
☒ where necessary, has the consent of the affected parties; and
☐ the applicant has not requested to be heard; or
☐ where the application is notified; and
☐ there are no submissions; and
☐ the applicant has not requested to be heard.

Applicant P R & H P Samson

Valuation No: 2850578100

Resource Consent No: 150002

Date Received: 8 January 2015

Further Information Requested: _____

Date Received: _____

Location of Site: 7 DONEGAL STREET, CROMWELL

Legal Description: LOT 1 DP 301986

Certificate/s of Title: 7974

Brief Description of Application: Land use consent to breach the side yard.

Status of Report

The purpose of this report is to bring to the attention of the decision-maker all relevant factual information or issues which should be considered in deliberating on the proposal. It must be emphasised that any conclusions reached or recommendations made in this report are not binding on the Manager, Planning and Environment and it should not be assumed that the Manager, Planning and Environment will reach the same conclusion or decision having considered the application.

Resource Area/Zone: Operative District Plan: RESIDENTIAL RESOURCE AREA

Relevant Rules and Any Breaches

Operative District Plan The construction of a garage which breaches the permitted activity standards is a discretionary (restricted) activity in terms of Rule 7.3.3(ii) of the Operative District Plan.

Description of Activity

Information in support of the application confirms the applicant intends to construct a detached double garage on the eastern side of the dwelling. The proposed garage is to be approximately 6.4 metres from the rear boundary, 7 metres from the front boundary and 0.3 metres from the side boundary next to 7A Donegal Street. The proposed garage meets all yard requirements except the side yard where a 3 metre side yard is required.

The remainder of the proposal complies with the District Plan Standards set in Rule 7.3.6, including height and site coverage. The proposed garage has a gable roof design that is 4.159 metres at its highest point and 2.595 metres at its lowest point. The area of the garage is to be 38.16m². The site coverage will be approximately 36% when combined with the principal dwelling.

Affected neighbours approval has been obtained from Richard Quelch of 7A Donegal Street, Cromwell and Jennifer Quelch of Mosgiel.

The end result will be a Skyline double garage with a personal access door on the western side of the garage. The garage will be detached from the principal dwelling by approximately 1.4 metres where a gate will be constructed between the principal dwelling and garage. The existing carport will be demolished to make way for the new garage.

If the proposed garage was sited a further 2.7 metres from the eastern boundary it would be permitted.

Effects of Activity

- Breach of yard requirements.
- Effects of the amenity of the surrounding environment.

Methods by which Effects can be Avoided, Remedied or Mitigated

The proposal to erect a dwelling which breaches the yard requirements in the Operative Central Otago District Plan is a discretionary (restricted) activity.

Rule 7.3.3(ii) 1 confirms that the effects on amenity values of neighbouring properties in particular access to sunlight, maintenance of privacy, and the adverse effects of noise are considered. The neighbours will not lose any sunlight from the proposed garage as there is 8 metres of driveway between the proposed garage and the neighbouring dwelling.

Privacy will not be impeded from the proposed garage as the outdoor living spaces of the adjacent properties are sited north of the neighbouring dwellings where the garage is not visible.

An existing fence is already established on site that runs alongside the eastern boundary. The applicants intend to replace this fence after the construction of the garage to retain privacy from the neighbouring dwellings.

Activity associated with the garage is not intended to make excessive noise. Noise will be limited to cars parking in the garage and small domestic workshop activity.

Written neighbours approvals have been obtained from Richard Quelch of 7A Donegal Street, Cromwell and Jennifer Quelch of Mosgiel so no further effects can be considered upon them.

There will be no effect on the natural character of water bodies and their margins in terms of Rule 7.3.3 (ii) 2.

Rule 7.3.3 (ii) 3 confirms that the effect on amenity values of the neighbourhood in particular the character of the streetscape is to be considered. The surrounding area is an established residential part of Cromwell with many older homes that date back prior to the damming era. It is not unusual to have garages during this era that breach the yard requirements set in today's district plan. Therefore the proposed garage will not be out of character with the neighbourhood.

The front of the garage will be visible from Donegal Street. The applicant intends to design the front of the garage to match the weatherboard dwelling so it is not visually prominent from the street. A Victorian style gate is proposed to be placed between the dwelling and garage so it can preserve the older character of the area.

Rule 7.3.3 (ii) 4 confirms the effect on the safe and efficient operation of the roading network. Access to the garage will use the existing access way that currently provides access to the carport. There will be no effect on the safe and efficient operation of the roading network.

There will be no effect on heritage values in particular heritage buildings and/or archaeological sites in terms of Rule 7.3.3 (ii).

There will be no effect on infrastructure in terms of Rule 7.3.3 (ii) 6.

Rule 7.3.3 (ii) 7 confirms the effect on the safety of neighbours. A fire wall will be erected on the garage's boundary wall to minimise fire risk. The garage will not be climbable as a fence will be erected between the garage and neighbouring dwelling. The fence will have no foot holes, so it cannot be climbed easily.

Relevant Policies and Objectives and Other Relevant Matters

For the reasons detailed in this report, I have come to the view that any adverse effects on the environment will be minor, and that granting consent will not be contrary to the objectives and policies of the District Plan.

The application does not conflict with any national or regional planning document or the purpose of the Act which is to promote the sustainable management of natural and physical resources of the District or to any other matter referred to in Part II of the Act.

Recommended Conditions

1. The garage shall be constructed and sited in accordance with the site plans provided in the application
2. The garage shall be sited no closer than 0.3m from the eastern boundary adjoining 7A Donegal Street

Consents from persons who may be adversely affected (on approval form with a signed copy of the site/subdivision plan): –

Have been received

Affected Persons Consents Received From:

Richard Quelch of 7A Donegal Street, Cromwell and Jennifer Quelch of Mosgiel as the Trustee of 7A Donegal Street

Site Inspection:

Unnecessary

Having regard to the information available to me prior to the Planning and Environment Manager's consideration of the application and to matters listed in section 104, I recommend that consent be granted to the proposed land use pursuant to section 104C of the Resource Management Act 1991, subject to the above conditions.

This report is prepared and recommended by: -



Sarah Davidson
Planning Officer

Date 20 January 2015

The above recommendation is accepted by me and consent is granted pursuant to sections 104 and 104C of the Resource Management Act 1991 subject to the conditions stated; **OR** rejected; **OR** more information is required before a decision can be made.

Information Required

Certified to be a correct copy of the decision of the Central Otago District Council.



Ann Rodgers
Planning Team Leader

Date: 22/01/15

Pursuant to the authority delegated by the Central Otago District Council.

RESOURCE MANAGEMENT ACT 1991

NON-NOTIFICATION OF APPLICATION

**RECOMMENDATION TO THE MANAGER, PLANNING AND ENVIRONMENT
FOR DECISION UNDER SECTIONS 95A AND 95D**

To: The Manager, Planning and Environment

1. The following application for a resource consent has been made to the Council:

Applicant: P R & H P Samson

Valuation No: 2850578100

Resource Consent No: 150002

Location of Site: 7 DONEGAL STREET, CROMWELL

Description of Application: Land use consent to breach the side yard.

2. The application is for a ~~controlled activity~~ /discretionary (restricted) activity / ~~discretionary activity/ non-complying activity~~ in terms of the District Plan.

3. **Any Activity:**²

In my opinion -

- (i) Written approval has been obtained from every person who may be adversely affected by the granting of the resource consent: or,
(ii) ~~It would be unreasonable in the circumstances to require the obtaining of every such approval; or,~~
(iii) ~~No person is considered to be adversely affected by the granting of the resource consent.~~

A copy of any approval in terms of s95 D(e) is attached.

4. **Discretionary or Non-Complying Activity:**

In my opinion, the adverse effect on the environment of the activity for which consent is sought will be minor.³

5. **Additional Comments:**⁴

Written approvals have been obtained from Richard Quelch of 7A Donegal Street and Jennifer Quelch of Mosgiel.

6. I **recommend** that the application for resource consent described above not be notified or be subject to limited notification in terms of s95A and s95B of the Resource Management Act 1991.

Signed:

Position: PLANNING OFFICER

Date: 20 January 2015

DECISION

Recommendation accepted/rejected/more information required.²

Comment: _____

Signed:

PLANNING TEAM LEADER

Date: 22/01/15

Notes:

1. Description of application must fully identify matters for which consent is sought and refer to any relevant rule in District Plan. Sketch plan of site and other supporting information necessary to explain application is to be attached.
2. Strike out what is not applicable to this report.
3. In determining whether adverse effect is minor, no account is to be taken of the effect of the activity on any person who has given written approval under s94(2).
4. Continue on separate sheet if necessary.

RESOURCE CONSENT APPLICATION

Valuation No: 2850578100

Name of applicant: P R & H P Samson

Description of Activity: Land use consent to breach the side yard.

Application Received: 07/01/15		Copied to JW: N/A Copied to MWH: N/A		RC No 150002	
Acknowledgment letter sent: 08/01/15		Amount: \$140.00 paid		Invoice Entry: 08/01/15	
Application Sent to Service Centre:			Amount to be Refunded:		
Further Information Required			Yes <input type="checkbox"/> No <input type="checkbox"/> Date Requested:		
Assessment of Effects:			Details of Information Requested:		
Plans:			•		
Other Information:			•		
Written Approval of Adversely Affected Given:			•		
ORC Consent Required:			•		
Yes: <input type="checkbox"/> No: <input type="checkbox"/>			•		
Joint Processing:			•		
Yes: <input type="checkbox"/> No: <input type="checkbox"/>			•		
Further Information Received:			Date Received:		Details:
Notification: Yes <input type="checkbox"/> No <input type="checkbox"/> Date:			Application for Non-Notification: OR Date Notified: Notice Served: Affixed on Site:		
Submissions		Date Close:	Number Received:	List of Submitters to Applicant/s:	
Hearing Required		Date:	Notice of Hearing Sent:		
Yes: <input type="checkbox"/> No: <input type="checkbox"/>		Planners Report Sent:			
Decision		Date:	Notice of Decision Sent:		
		Decision Sent to Service Centre:			
No of Working Days:	Expiry Date:	Waivers and Extensions (S37):			

Notes: _____

TIME CHARGING

Date	Details	Hours	Officer	Fee
23/1/15	Review of application, preparation of planners report and decision letter	2.5hr	SD	\$245.00
		Invoice no	Invoice date	Total
		61802	2/2/15	\$155-

2850578100
RC150002



William Fraser Building
1 Dunorling Street, Alexandra 9321
PO Box 122, Alexandra 9340
New Zealand

TEL *64 3 440 0056
FAX *64 3 448 9196
EML info@codc.govt.nz
WEB www.codc.govt.nz

19 January 2015

P R & H P Samson
7 Donegal Street
Cromwell 9310

Dear Sir/Madam

RECEIPT OF APPLICATION FOR RESOURCE CONSENT

Location: 7 DONEGAL STREET, CROMWELL

Proposal: LAND USE CONSENT TO BREACH THE SIDE YARD.

Your application for a Resource Consent as detailed above is acknowledged as being received on 8 January 2015.

The application has been allocated the reference number RC150002 and it is requested that you use this reference in any future correspondence relating to this application.

We have made an initial check of the documents you provided and decided the application is complete.

Next steps

We will now make a more detailed assessment of your application. Sometimes we will need additional information or details to be clarified, even where applications are generally complete when they are lodged. We will contact you as soon as possible if this is the case.

We may also be visiting the site. If there are any locked gates or other obstacles that we should be aware of please contact us to arrange or discuss a suitable time for a visit.

The Resource Management Act requires us to decide whether or not applications should be notified. If this is the case we will call you to discuss what this means, how notification works and how to proceed with your application.

If your application is not notified, you should receive our decision within 20 working days of the date we received it, although this can take longer if further information is required.

Fees

Please note that the fee you have paid is a deposit towards to actual costs associated with working on your application. All costs are recovered from applicants.

Please do not hesitate to contact the writer on (03 4400056) if you have any questions regarding the processing of your application.

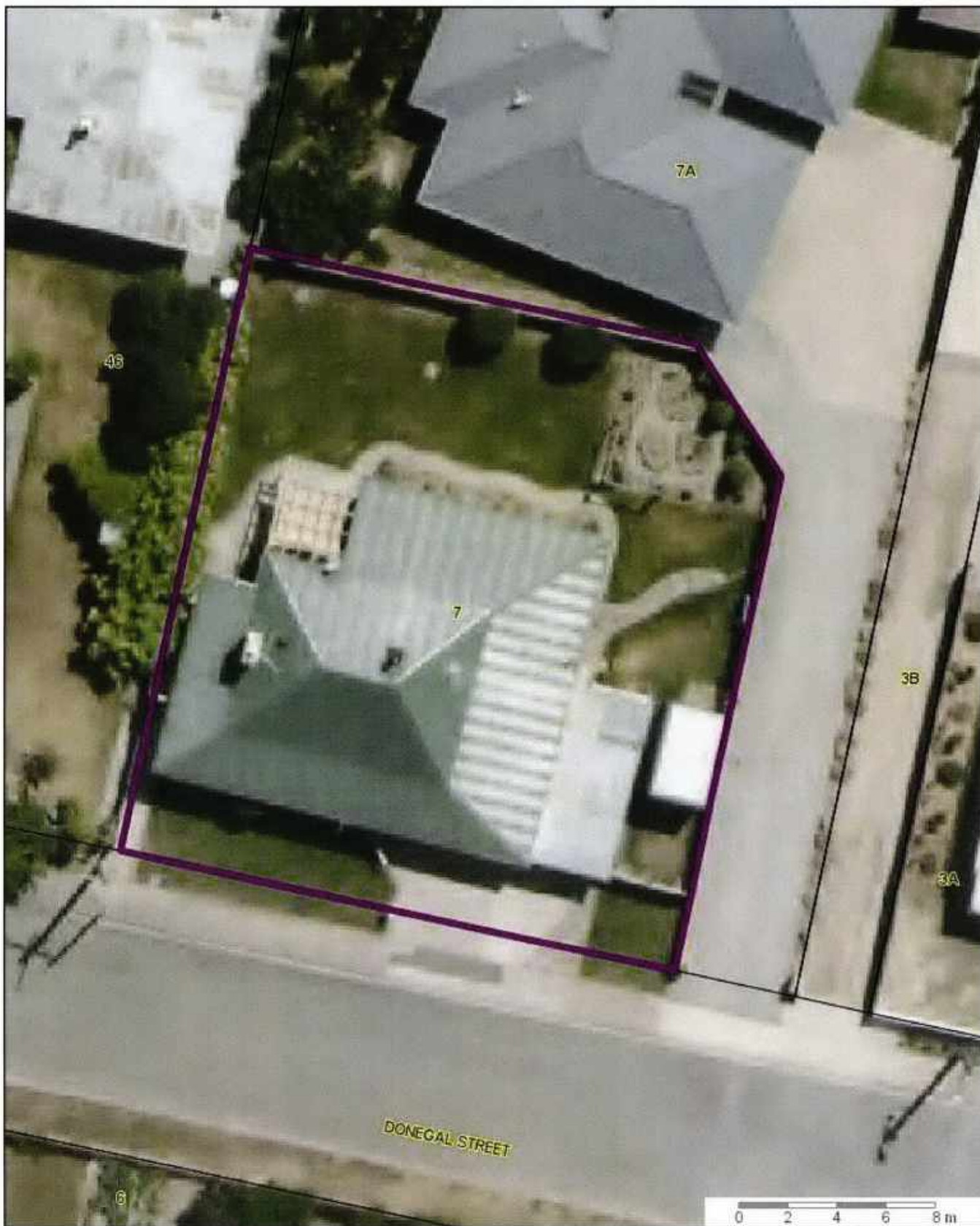
Yours faithfully

A handwritten signature in black ink, appearing to read "Pp Sarah Davidson".

Sarah Davidson
Planning Officer

RC150002 - Samson

Created By: jam
Print Date: 8/01/2015
Print Time: 3:51 PM



Scale: 1:215
Original Sheet Size A4

Projection: NZGD2000 / New Zealand Transverse Mercator 2000
Bounds: 1301576.06329953, 5004749.50473401
1301615.91078727, 5004799.04331319

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The information shown on this plan may not be accurate and is indicative only.
The Central Otago District Council accepts no responsibility for incomplete or inaccurate information.



General Property Information: 2850578100

SAMPSON PAUL ROBERT & SAMPSON HEATHER PATRICIA

Property

Valuation No	2850578100: GIS
Location	7 DONEGAL STREET, CROMWELL
Legal Description	LOT 1 DP 301986
Owner	SAMPSON PAUL ROBERT : SAMPSON HEATHER PATRICIA
Owner Address	7 DONEGAL STREET CROMWELL 9310
Area (Hectares)	0.0566

Rates

Government Valuation

Land	134,000
Improvements	181,000
Capital Value	315,000

Current Rates Year 2014 to 2015

Annual Rates	1,842.15
Current Instalment	460.55
Outstanding Balance	-921.05
Arrears for Previous Years	0.00
Next Instalment Date	20/02/15

Planning/Resource Management

7/02/96 RESOURCE CONSENT 950106 : BOUNDARY ADJUSTMENT BETWEEN TWO EXISTING TITLES : Decision Notified 21/12/95
RESOURCE CONSENT 150002 : Land use consent to breach the side yard. : Letter Sent 8/01/15

Building

18/09/13 BUILDING CONSENT 130595 : Internal alterations to existing dwelling. : Code Compliance Certificate issued 24/02/14
6/03/12 BUILDING CONSENT 120154 : Install a new Masport fire : Code Compliance Certificate issued 14/03/12
25/09/96 BUILDING CONSENT 960568 : ALTERATIONS & ADDITIONS INCL FIRE APP : Code Compliance Certificate issued 17/09/01

Contributions

No information located



Licences

No information located

Sewer and Drainage

Water

Connected

Sewer

Connected

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

Swimming Pools

No information located

Other

8/08/13 SERVICE REQUEST 132221 : Water Service Requests
12/06/13 LIM APPLICATION L130315 : Residential - Standard LIM
26/03/13 SERVICE REQUEST 130987 : Water Service Requests
31/01/08 SERVICE REQUEST 080454 : Water Service Requests
22/01/07 SERVICE REQUEST 070347 : Roading - Footpaths/Carparks
22/12/03 LIM APPLICATION L030614 : Residential - Urgent LIM : Cancelled
15/01/04
19/12/03 LIM APPLICATION L030610 : Residential - Standard LIM
29/10/03 LIM APPLICATION L030525 : Residential - Standard LIM
11/09/96 SERVICE REQUEST 961196 : Water Service Requests
30/08/2001 LIM Cromwell First National LOTS 2-3 DP 9047 Cromwell Town

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88
OF THE RESOURCE MANAGEMENT ACT 1991

APPLICATION FOR SUBDIVISION CONSENT

TO: The General Manager
Central Otago District Council
PO Box 122
ALEXANDRA



I, Merwyn Cottle and David Baird
(Full name and address of applicant)

3 Molyneux Ave Cromwell

apply for the resource consent described below:

1. The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows:.....

2. The location to which this application relates is:

Address: 7 Donegal Street Cromwell

Legal Description: Lot 2 & 3 DP 9047

Other Information To Identify Location :

(See Note A)

3. The type of resource consent sought is a subdivision consent.

4. A description of the activity to which the application relates is:

A boundary adjustment subdivision between
two existing titles

5. The following additional resource consents are required in relation to this proposal and have or have not been applied for :

NIL

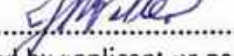
(See Note B)

6. I attach an assessment of any effects that the proposed activity may have on the environment in accordance with the Fourth Schedule to the Act. (See Note C)

7. I attach other information (if any), required to be included in the application by the district plan or regulations.

8. I attach information in accordance with Section 219 of the Act sufficient to adequately define -

- (a) The position of all new boundaries:
- (b) The areas of all new allotments (Not required for crossleases, company leases, or unit plans):
- (c) The location and areas of new reserves to be created, included any esplanade reserves to be set aside on a survey plan under Section 230 of the Act:
- (d) The location and areas of land below mean high water springs of the sea or of any part of the bed of a river or lake which is to be vested in the Crown under Section 235 of the Act:
- (e) The location and areas of land to be set aside as new road.

Signature.....
(To signed by applicant or person authorised to sign on behalf of applicant)

Date 30/11/95

Address for service of applicant:

Peterson Pitts Partners Ltd
P.O. Box 84 Cromwell

Telephone No.: 445 1826

Fax No.: 445 1812

NOTES:

- A. Describe the location in a manner which will allow it to be readily identified eg. the street address, the legal description, proximity to any waterway or well-known landmark etc.
- B. Eg. Land Use Consent, Water Permit or Discharge Permit.
- C. In the case of a controlled activity, such as assessment is not required unless otherwise specified in the relevant plan. A subdivision permitted by a district plan is deemed to be a controlled activity by S.405 of the Resource Management Act 1991.

ANNEXURES:

- (1) Application fee of the prescribed amount (an additional charge may also be payable where the initial application fee is inadequate to recover Council costs).
- (2) Copy of current Certificate of Title.
- (3) A location plan.
- (4) A plan which is drawn to scale and which shows the information referred to in Item 8.1 and any easements proposed.
- (5) An assessment of effects on the environment in accordance with the Fourth Schedule to the Act (If required):
- (6) Any other information required by the district plan or Act or regulations to be included:
- (7) Other information in accordance with Section 219 of the Act.

Our Ref: C506

30 November 1995

The District Manager
Central Otago District Council
P O Box 122
ALEXANDRA

ATTN: Mr R B McNeil

Dear Sir

**RE: PROPOSED SUBDIVISION OF LOTS 2 & 3 DP 9047
7 DONEGAL STREET, CROMWELL - D BAIRD/M COTTLE**

On behalf of Messrs Baird & Cottle we hereby seek a resource consent pursuant to Section 88 of the Resource Management Act 1991 to subdivide Lots 2 and 3 DP 9047.

LAND

Location: The property is situated at 7 Donegal Street, Cromwell

Tenure: The land is held in the fee simple under two certificates of title - namely CT 398/111 and 398/112.

Legal Description: Lots 2 and 3 DP 9047.

Area: The total area of the two titles is 1,410m² with a total frontage onto Donegal Street of 28.04m.

Zoning: The land is zoned Residential 1.

EXISTING SITUATION

The property has an existing dwelling located very much towards the road frontage. Two out-buildings are situated close to the dwelling with a further cluster of buildings situated in the extreme northeastern corner.

The existing sewer line to the north of the property suggests that sewage is conveyed over Lot 2, although there are no records to indicate where.

It would seem likely that water, power and telephone services are gained from Donegal Street.

PROPOSAL

It is proposed to undertake a boundary adjustment between the two existing titles to allow a more intensive residential use. Essentially it is proposed to provide two almost square allotments in place of the two long narrow allotments that currently exist. In doing so the two out-buildings on Lot 1 will need to be demolished.

SERVICES

Given that the position of the existing sewer line is unknown, it is proposed to create the easement a-b to allow for the future reconstruction (or re-location) of the sewer serving Lot 1 if required. Lot 2 will connect into the existing sewer lateral if this can be located, or alternatively a connection will be made into the sewer main.

The existing dwelling will continue to use its existing power, water and telephone services. New connections will be constructed for Lot 2.

ACCESS

The property currently uses a formed access along the eastern boundary. This access will remain for Lot 2 and a new access will be constructed for Lot 1 at its eastern boundary.

RESERVE CONTRIBUTION

Given that the property is held in two titles and the outcome of this proposal is also two titles, it is suggested that the subdivision does not "create" any residential

allotments. Accordingly it is suggested that Rule 4.12 is not applicable and no reserve contribution justifiable.

We now present this application to Council and await its decision in due course.

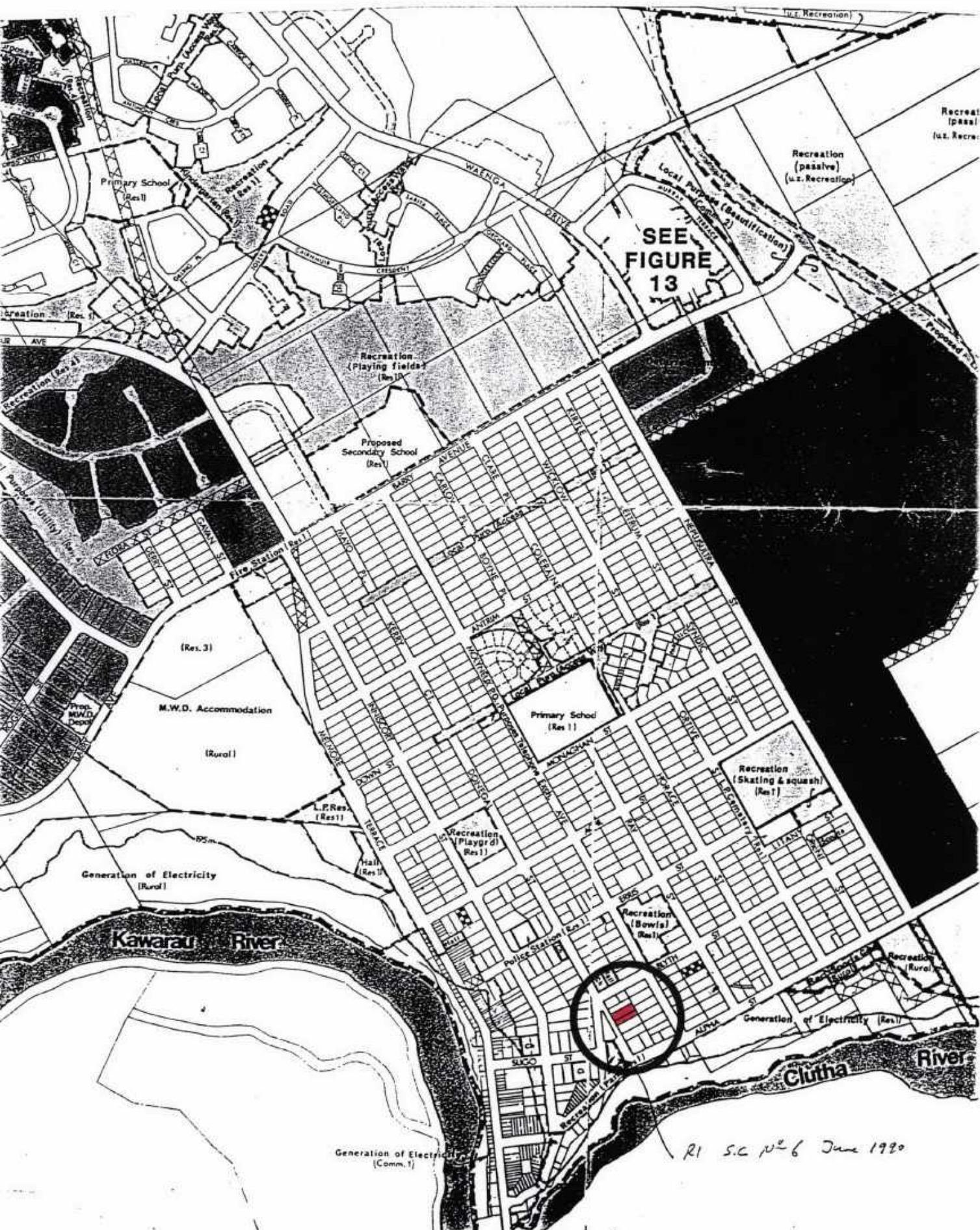
Yours faithfully
PATERSON PITTS PARTNERS LTD

A handwritten signature in blue ink, appearing to read 'Martin Potter', with a stylized flourish at the end.

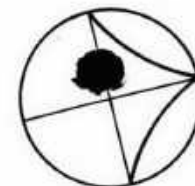
MARTIN POTTER
Principal

Encl

SEE
FIGURE
13

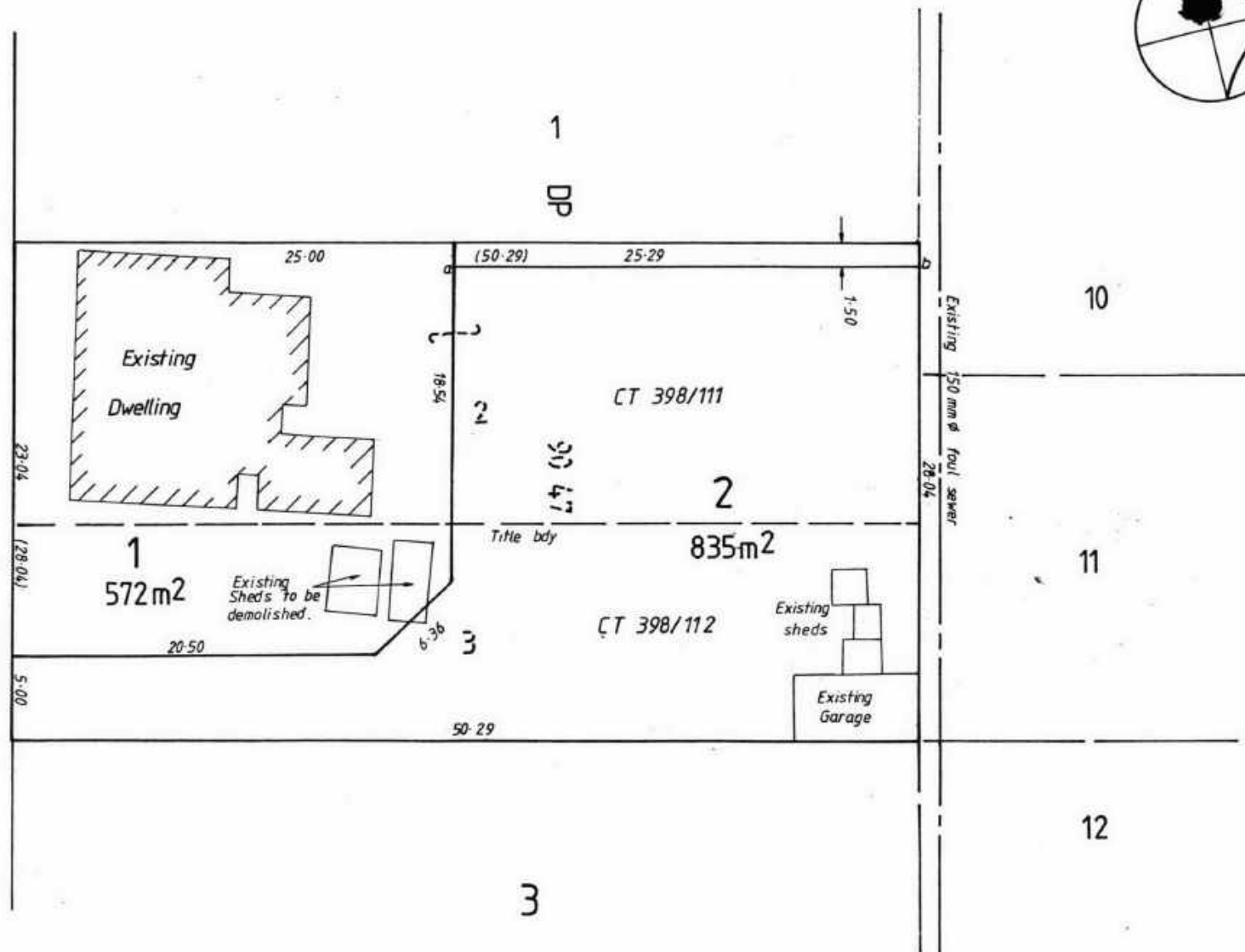


R1 S.C. N^o 6 June 1990



12.00

Donegal Street (Legal Road)



Schedule of Easements

Shown	Purpose	Dominant	Servient
a-b	Right to convey Sewage	Lot 1	Lot 2

PATERSON PITTS PARTNERS LTD
SURVEYING CONSULTANTS
CROMWELL

Proposed Subdn of Lots 2 & 3 DP9047

Owner(s). M Cottle.
D Baird.

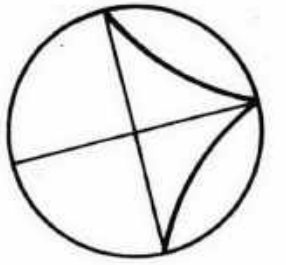
DRAWN P.A.B.
TRACED

CHECKED
DATE Dec 1995

SCALE
1:250

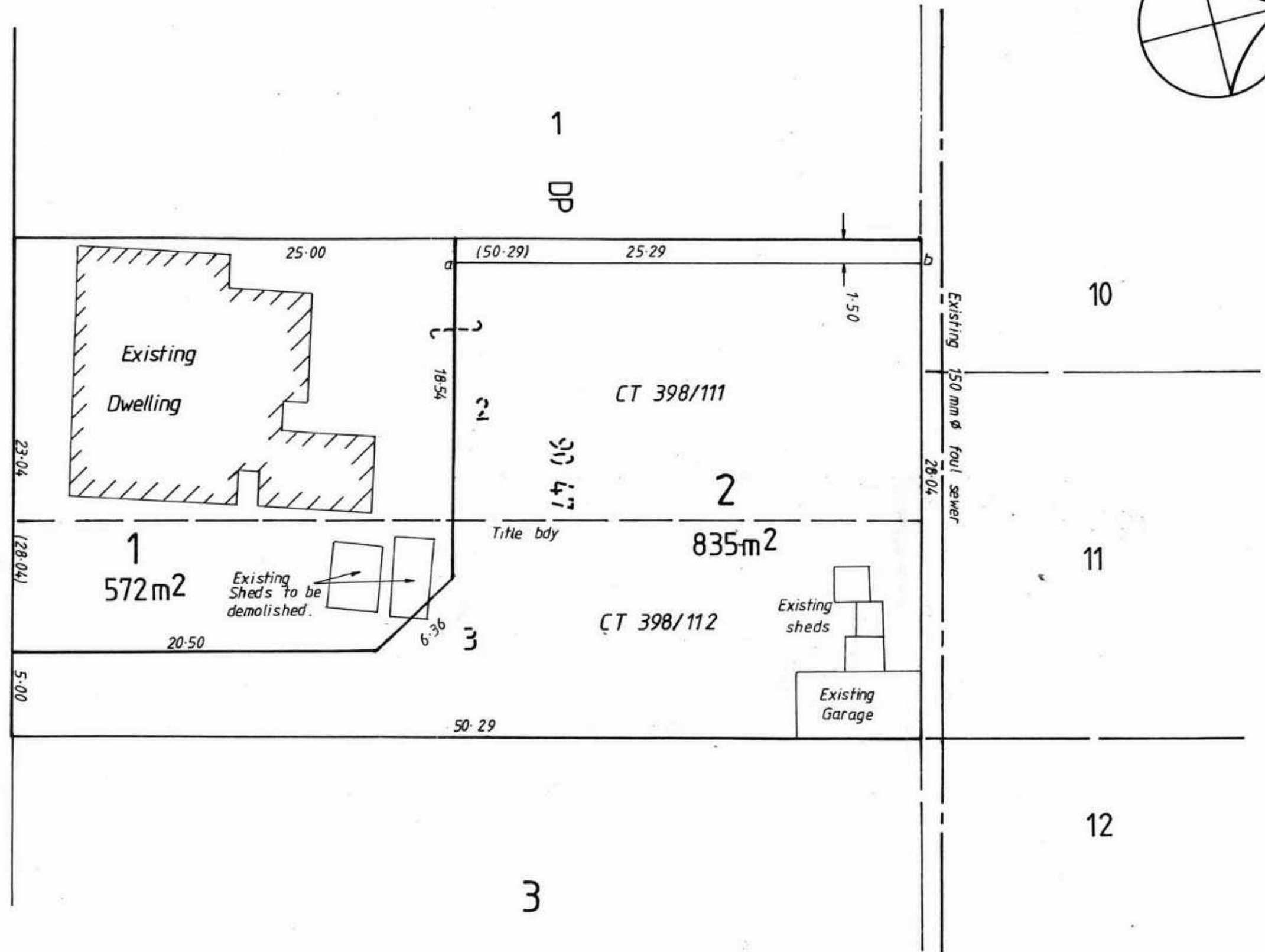
SHEET

SERIES OF
REF



12.00

Donegal Street (Legal Road)



Schedule of Easements

Shown	Purpose	Domten	Servten
a - b	Right to convey Sewage	Lot 1	Lot 2

PATERSON PITTS PARTNERS LTD
SURVEYING CONSULTANTS
CROMWELL

Proposed Subdn of Lots 2 & 3 DP9047

Owner(s). M Cottle.
D Baird.

DRAWN P.A.B. CHECKED
TRACED DATE Dec 1995

SCALES
1:250

SHEET

SERIES OF
REF

OFFICE.

Land and Deeds—4
FORM No. 3

Vol. 19, Folio 98, 23/248.

Register-book,

Vol. 398, folio 111

Reference: Transfer No.

Order for N/C No. X.19306



NEW ZEALAND

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

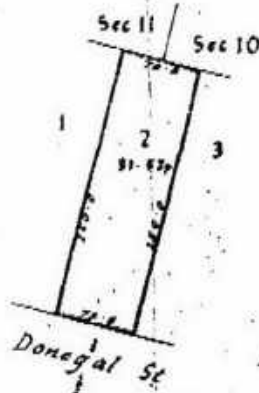
This Certificate, dated the Seventh day of November, one thousand nine hundred and fiftyseven
under the hand and seal of the District Land Registrar of the Land Registration District of O T A G O Witnesseth that
WILLIAM MATHIESON of Cromwell, Milk Bar Proprietor, and CHRISTINA AGNES NIMMO MATHIESON his Wife, are

seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under
written or endorsed hereon, subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General
Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered GREEN, be the several
admeasurements, a little more or less, that is to say: All that parcel of land containing Thirtytwo decimal five two (31.52) perches
more or less situated in the Borough of Cromwell being Lot two (2) deposited Plan 9047 and being part
Sections 4 and 5 Block LIX TOWN OF CROMWELL.

EQUIVALENT METRIC
AREA IS 7.97m²

Radu
District Land Registrar

BLOCK LIX - TOWN OF CROMWELL



SCALE: 1 Chain to an Inch.

Radu
District Land Registrar

Transfer No 99507 William Mathieson and
Christina Agnes Nimmo Mathieson to Stuart
Cunningham of Cromwell Public Works
Employe and Vestride Helma Cunningham
his wife produced 16th June 1958 at 11.50am

Transfer No 175470 William Mathieson and
Christina Agnes Nimmo Mathieson to
Stuart Cunningham of Cromwell Public
Works Employe and Vestride Helma
Cunningham his wife produced 16th June
1958 at 11.18am

THIS REPRODUCTION (ON A REDUCED SCALE)
CERTIFIED TO BE A TRUE COPY OF THE
ORIGINAL REGISTERED FOR THE PURPOSES OF
SECTION 215A LAND TRANSFER ACT 1952.

OVER

C.T. 398/111

394389 Transmission to Gertrude Thelma
Cunningham of Cromwell Widow as
~~394389~~ entered 3.11.1972 at 10.48am.

[Signature]
A.L.R.

413685 Transfer to Eric Andrew Robert
Carson of Cromwell Pest Destruction
Board Employee and Kathleen Carson his
wife - 13.11.1973 at 10.11 am

DISCHARGED
[Signature]
A.L.R.

413686 Mortgage to George Quigley
- 13.11.1973 at 10.12 am

775358 Transmission to Kathleen Carson
of Cromwell widow as survivor entered
20.3.1991 at 9.18 am

[Signature]
A.L.R.

880035 Transmission to Rodney Eric Carson
of Auckland businessman as executor
entered 12.4.1995 at 9.15am

[Signature]
A.L.R.

[Large diagonal watermark: "FURNISHED"]

CH-11-08

OFFICE

Land and Deeds-4
FORM No. 2

Vol. 23, Folio 248
Reference: Transfer No.
Order for N/O No. X.19306



NEW ZEALAND

Register-book,
Vol. 398, folio 112

398/112

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

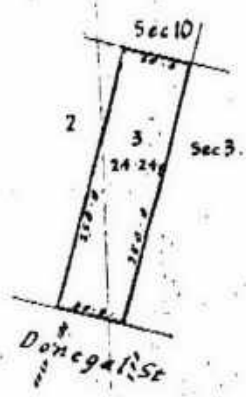
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WILLIAM KATHIESON of Cromwell, Milk Bar Proprietor and CHRISTINA AGNES NIMMO KATHIESON his Wife, are

in seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under
written or endorsed hereon, subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General
Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered green, be the several
admeasurements, a little more or less, that is to say: All that parcel of land containing four decimal two four (24.24) perches
more or less situated in the Borough of Cromwell being Lot Three (3) Deposited Plan 9047 and being part
Section 4 Block LIX TOWN OF CROMWELL.

EQUIVALENT METRIC
AREA IS 613m²

Hadwin
District Land Registrar

BLOCK LIX TOWN OF CROMWELL



Sample No. 209007. William Kathieson and Christina Agnes Nimmo Kathieson to Robert Cunningham of Cromwell Public Works Employee and Gertrude Thelma Cunningham his wife produced 14th June 1957 at 11.15 a.m.

Mortgage No. 175470 Robert Cunningham and Gertrude Thelma Cunningham to the Southland Building and Investment Society and Bank of New Zealand produced 14th June 1958 at 11.45 a.m.

THIS REPRODUCTION (ON A REDUCED SCALE)
CERTIFIED TO BE A TRUE COPY OF THE
ORIGINAL REGISTER FOR THE PURPOSES OF
SECTION 115A LAND TRANSFER ACT 1952.
J. L. Smith A.L.R.

394389 Transmission to Gertrude Thelma Cunningham of Cromwell Widow as *SAC*
~~394389~~ entered 3.11.1952 at 10.48 a.m.

Thelma
A.L.R.

413585 Transfer to Eric Andrew Robert Carson of Cromwell Pest Destruction Board Employee and Kathleen Carson his wife - 12.11.1953 at 10.11 a.m.

Thelma
A.L.R.

OVER

C.T. 398/112

413686 Mortgage to Ian Terence Quigley
-13.11.1973 at 10110071974

DISCHARGED

10110071974

A.L.R.

775358 Transmission to Kathleen Carson
of Cromwell widow as survivor entered
20.3.1991 at 9.18 am

Jumavett

A.L.R.

880035 Transmission to Rodney Eric Carson
of Auckland businessman as executor
entered 12.4.1995 at 9.15am

Jumavett

A.L.R.

190071974
413686



William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone 03 448 6979
Facsimile 03 448 9196

21 December 1995

My reference
28505/781
RBM:RCG

Paterson Pitts Partners Limited
Post Box 84
CROMWELL

Dear Sir

SUBDIVISION: MERVYN COTTLE AND DAVID BAIRD, 7 DONEGAL STREET,
CROMWELL

This is to advise that the application for the subdivision of the property described as Lots 2 and 3 DP 9047, has been approved by the General Manager under delegated authority, subject to the following conditions:

1. The consent holders shall construct a water connection to the boundary of Lot 2 from the main in Donegal Street.
2. The consent holders shall construct a sewer connection to the boundary of Lot 2 from the foul sewer main located to the north of the site.
3. The easements shown on the plan of subdivision shall be duly granted or reserved.
4. Any easement necessary to protect the legal access to the sewer connection referred to in Condition 2 shall be duly granted or reserved.
5. It shall be the consent holders responsibility to obtain the consent of Central Electric Limited and Telecom as to the position of electricity and telephone serves that shall be laid underground.
6. The consent holders shall be responsible for the provision of a crossing place and vehicle entrance between the sealed carriageway of Donegal Street and the boundary of Lot 1.
7. The vehicle crossing place and entrance shall be designed in accordance with NZS 4404:1981.
8. The two existing sheds on Lot 1 that are shown on the plan of subdivision shall be removed prior to the sealing of the survey plan.
9. As built plans of water and sewer connections shall be lodged with the General Manager.
10. All subdivisional designs and approvals shall be in accordance with NZS 4404: 1981 which is the Council's Code of Practice for Urban Subdivision.

The reason for this decision is that the proposed subdivision is consistent with the relative provisions of the Cromwell Section of the Central Otago District Plan and does not contravene the provisions of the Resource Management Act 1991.

I draw your attention to section 357 of the Resource Management Act which confers the right of objection to the Council to the conditions of consent.

A survey plan sealing fee of \$50 plus goods and services tax is payable on depositing the plan for execution.

Yours faithfully
R B McNEIL
CORPORATE SERVICES MANAGER

per: L A van der VOORT (Miss)

CENTRAL OTAGO DISTRICT COUNCIL

RESOURCE MANAGEMENT ACT 1991

REPORT AND RECOMMENDATION TO GENERAL MANAGER APPLICATION FOR SUBDIVISION CONSENT

Applicant: Mervyn Cottle and David Baird

Valuation No: 28505/781

Date Application Received by Council: 4 December 1995

Location of Subdivision: 7 Donegal Street, Cromwell

Legal Description: Lots 2 & 3 DP 9047

Proposed Subdivision Comprises: Boundary adjustment between two existing titles

The subdivision is a controlled activity in the Residential 1 Zone and satisfies the requirements of Rule 4.06(iii) on page 70 of the Cromwell Section of the Central Otago District Plan.


It is **recommended** that consent be granted to the proposed subdivision pursuant to Section 105 of the Resource Management Act 1991, subject to the following conditions:-

1. The consent holders shall construct a water connection to the boundary of Lot 2 from the main in Donegal Street.
2. The consent holders shall construct a sewer connection to the boundary of Lot 2 from the foul sewer main located to the north of the site.
3. The easements shown on the plan of subdivision shall be duly granted or reserved.
4. Any easement necessary to protect legal access to the sewer connection referred to in Condition 2 shall be duly granted or reserved.
5. It shall be the consent holders responsibility to obtain the consent of Central Electric Limited and Telecom as to the position of electricity and telephone services that shall be laid underground.
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8. The two existing sheds on Lot 1 that are shown on the plan of subdivision shall be removed prior to the sealing of the survey plan.
9. As built plans of water and sewer connections shall be lodged with the General Manager.
10. All subdivisional designs and approvals shall be in accordance with NZS 4404 : 1981 which is the Council's Code of Practice for Urban Subdivision.

The appropriate consent fee of \$200.00 exclusive of goods and services tax has been paid.

The reasons for this recommendation are that the proposed subdivision is consistent with the relevant provisions of the Cromwell Section of the Central Otago District Plan and does not contravene the provisions of the Resource Management Act 1991.

This report is prepared by -


W D Whitney
Planning Consultant


Date: 19 December 1995

This recommendation is made by -


R B McNeil
Corporate Services Manager

Date: 20/12/95

The above recommendation is accepted by me and consent is granted pursuant to Section 105 of the Resource Management Act 1991 subject to the conditions stated.


M S Craighead
Acting General Manager

Date: 21/12/95

Pursuant to the authority delegated to me by the Central Otago District Council.



William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone (03) 448 6979
Facsimile (03) 448 9196

23 April 1998

My Reference
28505/781
Your ref: C506
RBM:VJT

Paterson Pitts Partners (Cromwell) Ltd
PO Box 84
CROMWELL

Dear Sir

SUBDIVISION - COTTLE & BAIRD

This is to advise that your request for an extension of time to the above subdivision consent for a period of six months has been approved.

The expiry date for the consent will now be 8 July 1998.

Yours faithfully

R B MCNEIL
MANAGER, PLANNING & DEVELOPMENT

PATERSON PITTS PARTNERS (Cromwell) LTD

**SURVEYING, RESOURCE MANAGEMENT
LAND PLANNING & DEVELOPMENT**

CROMWELL

Associated Company: Nespair Aerial Surveys Limited

30 The Mall, P O Box 84, Cromwell
Phone (03) 445 1826 Fax (03) 445 1812

Principal: Martin Potter B.Sc, B.Surv, MNZIS
Manager: Peter Dymock B.Sc, B.Surv, MNZIS

1671/1320

Our Ref : C506

16 April 1998

The Regulatory Services Officer
Central Otago District Council
P O Box 122
ALEXANDRA

ATTN: R B McNeill

Dear Sir

**RE: SUBDIVISION COTTLE & BAIRD, 7 DONEGAL ST.
EXTENSION OF TIME TO RESOURCE CONSENT**

Your letter of 9 March 1998 refers.

I enclose the required fee of \$112-50.

Yours faithfully
PATERSON PITTS PARTNERS LTD

P.L. Dymock

P L DYMOCK
Registered Surveyor



c506exti.doc



William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone (03) 448 6979
Facsimile (03) 448 9196

9 March, 1998

My Reference

28505/781

C506

RBM:lfb

Paterson Pitts Partners (Cromwell) Limited
P O Box 84
CROMWELL

Dear Sir

SUBDIVISION - COTTLE AND BAIRD, 7 DONEGAL STREET

I refer to your letter dated 3 March 1998.

A request for an extension of time to a resource consent must be accompanied by the application fee of \$112.50 inclusive of goods and services tax. On the payment of this fee your application will be processed.

Yours faithfully

R B MCNEIL
MANAGER, PLANNING & DEVELOPMENT

28505/781

PATERSON PITTS PARTNERS (Cromwell) LTD

**SURVEYING, RESOURCE MANAGEMENT
LAND PLANNING & DEVELOPMENT**

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Phone (03) 445 1826 Fax (03) 445 1812

Principal: Martin Potter B.Sc, B.Surv, MNZIS
Manager: Peter Dymock B.Sc, B.Surv, MNZIS

Our Ref: C506

3 March 1998

The Regulatory Services Officer
Central Otago District Council
P O Box 122
ALEXANDRA

ATTN: L A van der Voort



Dear Louise

RE: SUBDIVISION - COTTLE & BAIRD - 7 DONEGAL ST, CROMWELL

We received notification of Council's consent to this subdivision on 8 January 1996, which by now has expired. I enclose a copy of this consent.

In accordance with Sec 125 (b) RMA91, we hereby apply for a time extension on this subdivision of 6 months, by which time a survey plan will be presented for sealing.

Sec 123 (b) contains several matters which council must consider when deciding to grant an extension of time to a consent and these are addressed as follows.

- (i) Substantial progress has been made towards this subdivision. A survey plan has been prepared and the boundaries pegged. Work involved in satisfying conditions (2), (6), & (8) has been completed.
- (ii) There are no persons who could be adversely affected by the granting of a time extension.
- (iii) There will be no effect on the policies and objectives of the District Plan.

A/C
As substantial progress
has been made towards the
completion of the submission I recommend
that an extension of time of 6 months
be approved from the date of this request.
i.e. 30 July 1998
30 September 1998

Approved,  21.4.98.

 21.4.98

Yours faithfully
PATERSON PITTS PARTNERS LTD

P L DYMOCK
Registered Surveyor



C506codc.doc

encl.

cc - D Baird

- 8 JAN 1996



William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone 03 448 6979
Facsimile 03 448 9196

21 December 1995

My reference
28505/781
RBM:RCG

Paterson Pitts Partners Limited
Post Box 84
CROMWELL

Dear Sir

SUBDIVISION: MERVYN COTTLE AND DAVID BAIRD, 7 DONEGAL STREET, CROMWELL

This is to advise that the application for the subdivision of the property described as Lots 2 and 3 DP 9047, has been approved by the General Manager under delegated authority, subject to the following conditions:

1. The consent holders shall construct a water connection to the boundary of Lot 2 from the main in Donegal Street.
2. The consent holders shall construct a sewer connection to the boundary of Lot 2 from the foul sewer main located to the north of the site.
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9. As built plans of water and sewer connections shall be lodged with the General Manager.
10. All subdivisional designs and approvals shall be in accordance with NZS 4404: 1981 which is the Council's Code of Practice for Urban Subdivision.

PATERSON PITTS PARTNERS (Cromwell) LTD

**SURVEYING, RESOURCE MANAGEMENT
LAND PLANNING & DEVELOPMENT**

CROMWELL

Associated Company: Nespair Aerial Surveys Limited

30 The Mall, P O Box 84, Cromwell
Phone (03) 445 1826 Fax (03) 445 1812

Principal: Martin Potter B.Sc, B.Surv, MNZIS
Manager: Peter Dymock B.Sc, B.Surv, MNZIS

Our Ref : C506

22 June 1998

The Regulatory Services Officer
Central Otago District Council
P O Box 122
ALEXANDRA

ATTN: L A van der Voort

Dear Louise

RE: SUBDIVISION - D BAIRD 7 DONEGAL ST, CROMWELL

This subdivision is complete and I now forward the plan for certification under Sec 223 & 224 RMA91.

I enclose a copy of the Consent dated 21 October 1995. This was extended to 8 July 1998. Your letter dated 23 April 1998 refers, a copy of which is also enclosed.

With reference to the conditions of consent, I comment as follows:

- ✓ 1. The water connection has been constructed. *completed confirmed with Roadex*
- ✓ 2. A new sewer connection to the existing (refurbished) house on Lot 1 has been constructed. See easement a - b.
The old connection to this house has been cut off and capped. This old connection is now available to any new house located on Lot 2.
- ✓ 3. See Plan. Note that easement a - b is in a different location to the original plan of subdivision.
- ✓ 4. The existing sewer immediately to the north of the site is a public drain. C O D C's access rights therefore extend to the boundary of the subdivision.
- ✓ 5. Please refer to the attached letters from Telecom & Central Electric Ltd.
- ✓ 6 & 7 A new concrete crossing place has been constructed.

*RC-950106 505/758 781
6697099
Manager Planning & Development
1 condition conditions of
consent have been complied
with & recommend your
approval. 25/8/98
Approved 25/8/98*

- ✓ 8. The existing Sheds have been demolished. *not confirmed*
- ✓ 9. Please refer to the attached as built plans.
- ✓ 10. I hereby certify that all construction is in accordance with NZS 4404:1981, as modified by the Resource Consent.

Yours faithfully
PATERSON PITTS PARTNERS LTD



P L DYMOCK
Registered Surveyor

Attachments

1. **Copy of Resource Consent**
2. **Time Extension to Consent**
3. **Letter from Telecom**
4. **Letter from Central Electric**
5. **Sewer As Built**
6. **Water As Built.**

cc - David Baird

C506CER.DOC

OTAGO DISTRICT COUNCIL

VAL. NO. 28505/781

DRAINAGE BLOCK PLAN

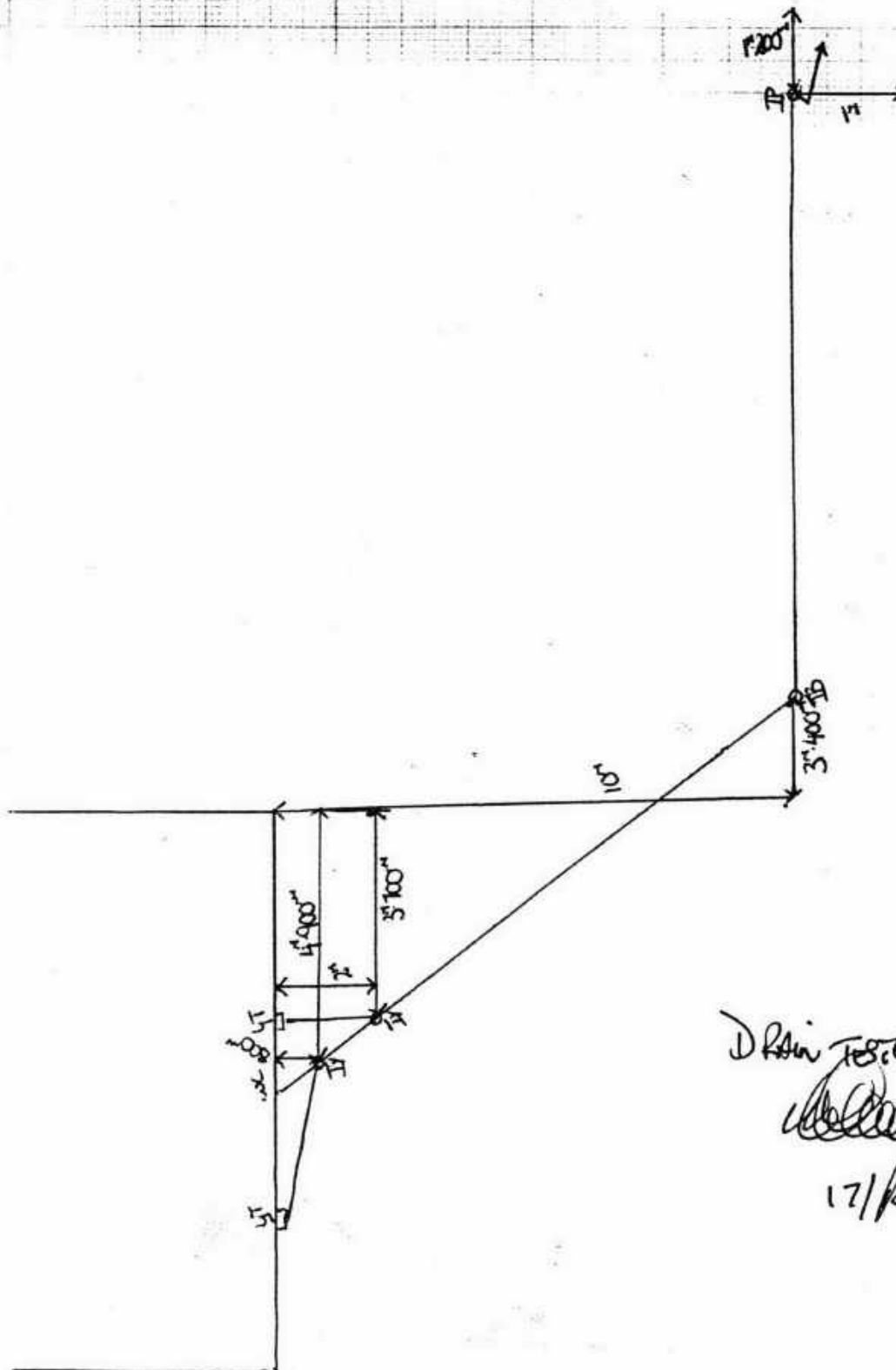
APPLICATION No. 960568

— means Intercepting Trap
— means Fresh Air Inlet
— means Inspecting Pipe
— means Inspection Junction

REFERENCE:
Y.P. — means Junction Pipe
G.T. — means Gully Trap
W.C. — means Water Closet
B.V. — means Back Vent

M.V. — means Main Vent
T.V. — means Terminal Vent
I.C. — means Inspection Chamber
D.P. — means Down Pipe

Scale — 1:100



Drain Test OK
[Signature]
17/12/86



1 Dunsmuir Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone (03) 448 6979
Facsimile (03) 448 9196

23 April 1998

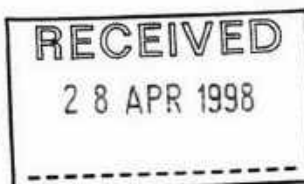
My Reference

28505/781

Your ref: C506

RBM:VJT

Paterson Pitts Partners (Cromwell) Ltd
PO Box 84
CROMWELL



Dear Sir

SUBDIVISION - COTTLE & BAIRD

This is to advise that your request for an extension of time to the above subdivision consent for a period of six months has been approved.

The expiry date for the consent will now be 8 July 1998

Yours faithfully

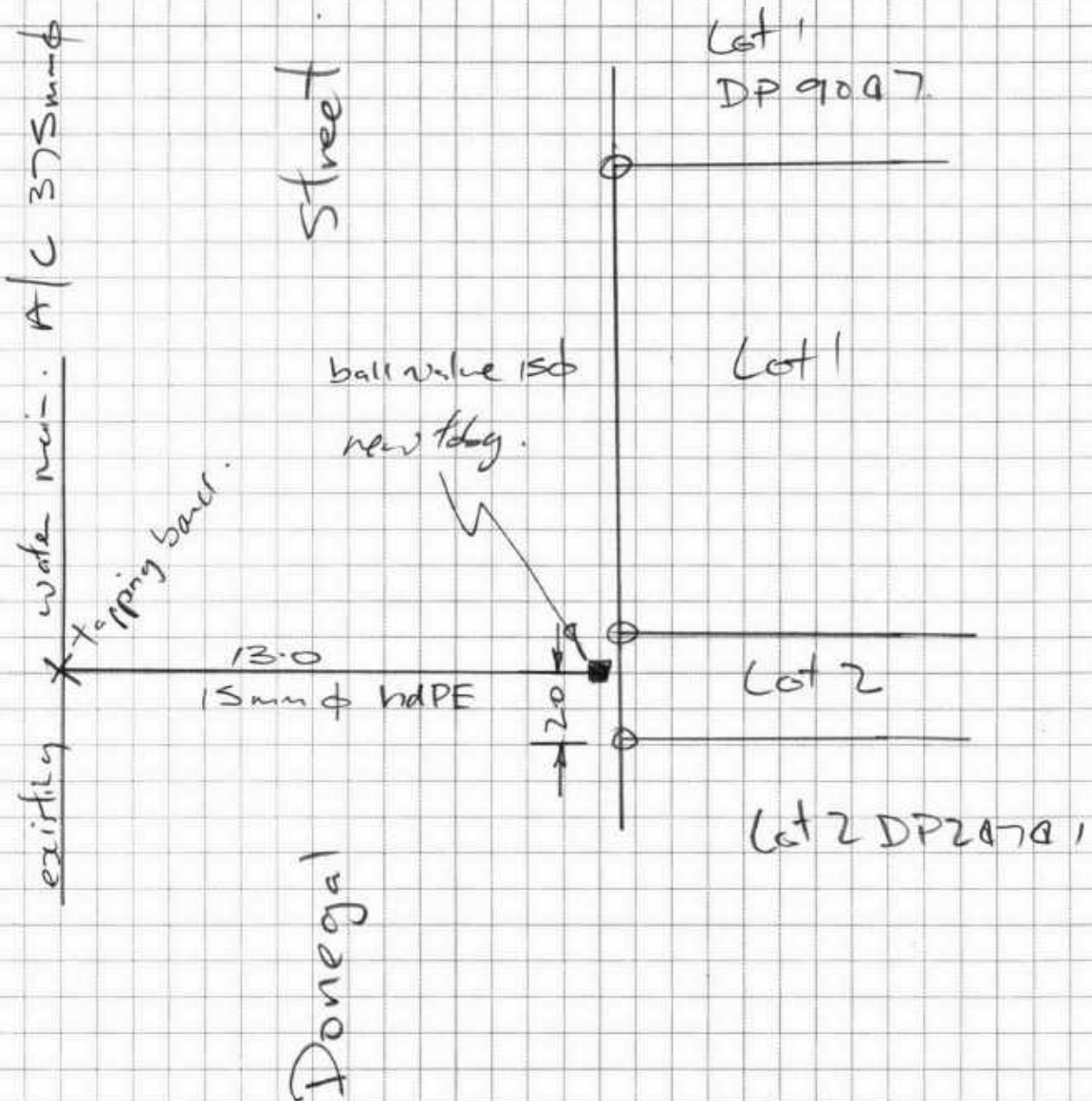
R B MCNEIL
MANAGER, PLANNING & DEVELOPMENT

Paterson D. H.
Box 89 Cromwell

W. Sale

Subdivision - D. Baird 7 Donegal St

Water Conversion As Built



P. J. [Signature]
Regd. Surv.
22/6/98

ERIC

2/0/4/1

FAX

TO: Paterson Pitts Partners, Cromwell

ATTENTION: Peter Dymock

FROM: Graeme Wells

FAX NO: (03) 4451812 DATE: 1-5-98

TOTAL NO OF PAGES INCLUDING HEADER: 1

The information contained in this fax is confidential between Central Electric Ltd and the intended recipient. Any other person receiving this fax is required to respect that confidentiality. If this fax is received in error, please notify Central Electric Ltd immediately and destroy the original. Thank you.

Subdivision - 7 Donegal St, Cromwell

(Your letter ref C506 of 3 March refers)

Apologies for the delay in responding to you on this one.

Neither of the two existing pole positions suit for providing an electricity supply to serve the newly created Lot 2. As the poles in question are due for replacement, Central Electric will position a new pole on the edge of the Donegal St road reserve at the new Lot 2 / Existing Lot 3 lateral boundary position at no cost to your Client. However please note that there will be a delay of approx 4 to 6 weeks after your confirmation of proceeding with the proposal, to allow for the planning & carrying out of the work involved.

Thanks, Graeme W.

Private Bag 1903
DUNEDIN,

RECEIVED

11 MAR 1998

Telecom
NEW ZEALAND

Telephone: (03) 4742197
Facsimile: (03) 4555211

March 9, 1998
ISI#445

Mr. Peter Dymock
Patterson Pitts & Partners
PO Box 84
CROMWELL,

Dear Peter,

Subdivision 7 Donegal Street Cromwell, D Baird

Telecom can provide service to your proposed subdivision via our existing overhead network. Service within the proposed lot can be provided underground.

If you have any problems please give me a call.

Yours faithfully



Don Baskett
Network Consultant
Work Management, Otago/Southland.

- 8 JAN 199



William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone 03 448 6979
Facsimile 03 448 9196

21 December 1995

My reference
28505/781
RBM:RCG

Paterson Pitts Partners Limited
Post Box 84
CROMWELL

Dear Sir

SUBDIVISION: MERVYN COTTLE AND DAVID BAIRD, 7 DONEGAL STREET, CROMWELL

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10. All subdivisional designs and approvals shall be in accordance with NZS 4404: 1981 which is the Council's Code of Practice for Urban Subdivision.

Max. confined
to 10m
road crossing
new crossing
has been constructed
OK

● reason for this decision is that the proposed subdivision is consistent with the relative provisions of the Cromwell Section of the Central Otago District Plan and does not contravene the provisions of the Resource Management Act 1991.

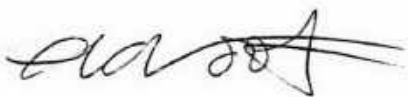
I draw your attention to section 357 of the Resource Management Act which confers the right of objection to the Council to the conditions of consent.

A survey plan sealing fee of \$50 plus goods and services tax is payable on depositing the plan for execution.

Yours faithfully

R B McNEIL

CORPORATE SERVICES MANAGER

A handwritten signature in black ink, appearing to read 'L A van der Voort', with a stylized flourish at the end.

per: L A van der VOORT (Miss)

The Mall
Cromwell, NZ

Post Box 2, Cromwell

Telephone (03) 445-0211
Facsimile (03) 445-1649

FACSIMILE TRANSMISSION

My Reference

Message To: Alexandra Office	
Attention: Louise	Our Ref: 28505/781/00
Fax No: 03 448 9196	Phone No: 03 448 6979
Date: 30-6-98	Pages: 1.
From: Max Bottles	

The content of this fax is CONFIDENTIAL INFORMATION intended only for the person named above. If this fax is not addressed to you, you must not use, read, distribute or copy this document. If you have received this document by mistake, please call us immediately (collect to the person and number above) and destroy the original message. Thank you.

Louise,

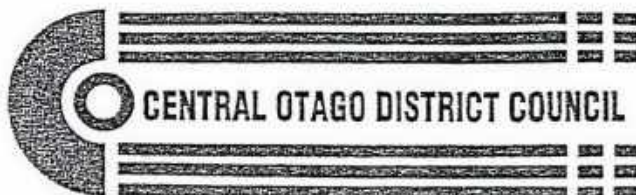
I have spoken, by phone, to both the owner and the plumber.

The owner, Mr D Baird, confirmed that the existing sewer connection to the original house was terminated at the now new boundary between Lots 1 & 2. Therefore the boundary trap and earthmover pipe is still connected to the public sewer and crosses right across the now new rear section. This can be connected into at any point in the future.

The plumber, Mr A Anderson, confirmed that a new sewer was laid from the original house (now on Lot 1 - front lot) out and along the Eastern boundary to a new connection to the public sewer. It is assumed to run in the easement as shown.

There is therefore two lots and two sewer connections as required.

Regards Max



William Fraser Building
1 Dunrobin Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone 03 448 8979
Facsimile 03 448 9196

My reference

FACSIMILE TRANSMISSION

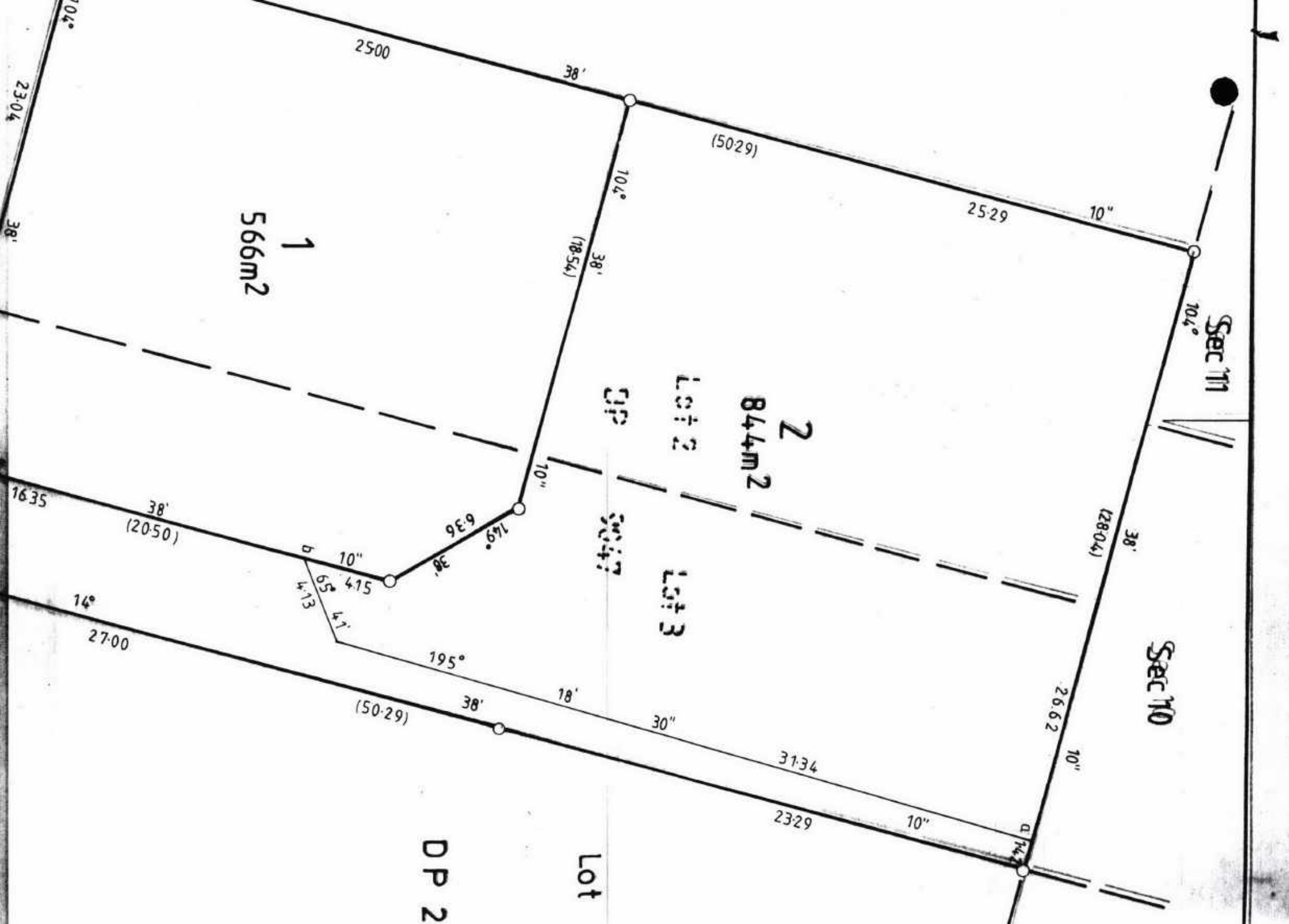
Message To: <i>Max.</i>		
Attention:		Our Ref:
Fax No:	Ph No:	Date:
From:		Pages: <i>6</i>

The content of this fax is CONFIDENTIAL INFORMATION, intended only for the person named above. If this fax is not addressed to you, you must not use, read, distribute or copy this document. If you have received this document by mistake, please call us immediately (collect to the person and number above) and destroy the original message. Thank you.

Here it is

Please phone when you've had

a look



OTAGO DISTRICT COUNCIL

VAL. NO. 28805/781

DRAINAGE BLOCK PLAN

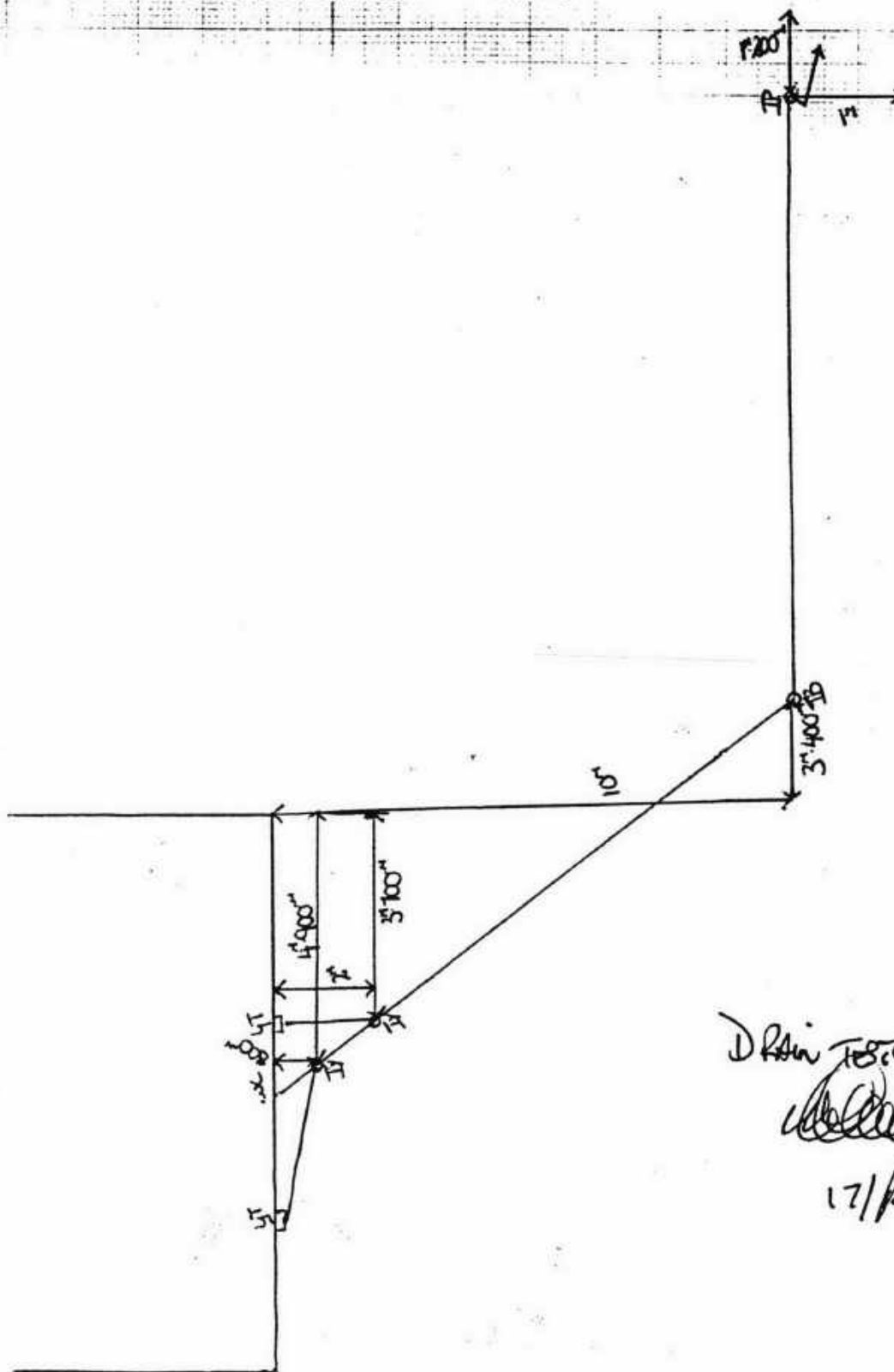
APPLICATION No. 960568

means Intercepting Trap
 means Fresh Air Inlet
 means Inspecting Pipe
 means Inspection Junction

REFERENCE:
 Y.P. — means Junction Pipe
 G.T. — means Gully Trap
 W.C. — means Water Closet
 B.V. — means Back Vent

M.V. — means Main Vent
 T.V. — means Terminal Vent
 I.C. — means Inspection Chamber
 D.P. — means Down Pipe

Scale — 1-100



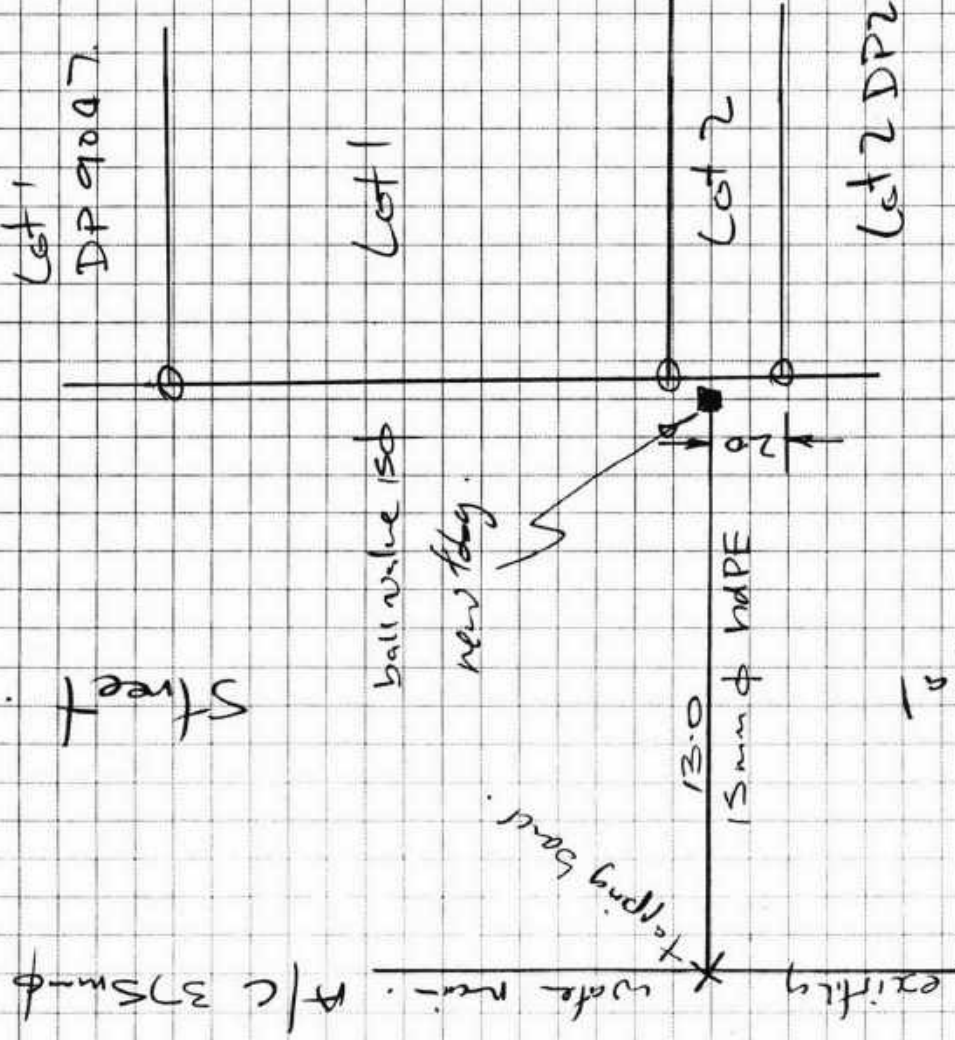
Drainage OK
 17/12/86

Paterson Ditts
PO Box 88 Cromwell

No. Sale

Subdivision - D. Baird 7 Donegal St

Water Connection As Built



Planned
22/6/98
Regd. Surv.

Our Ref : C506

22 June 1998

The Regulatory Services Officer
Central Otago District Council
P O Box 122
ALEXANDRA

ATTN: L A van der Voort

Dear Louise

RE: SUBDIVISION - D BAIRD 7 DONEGAL ST, CROMWELL

This subdivision is complete and I now forward the plan for certification under Sec 223 & 224 RMA91.

I enclose a copy of the Consent dated 21 October 1995. This was extended to 8 July 1998. Your letter dated 23 April 1998 refers, a copy of which is also enclosed.

With reference to the conditions of consent, I comment as follows:

1. The water connection has been constructed. *completed*
2. A new sewer connection to the existing (refurbished) house on Lot 1 has been constructed. See easement a - b.
The old connection to this house has been cut off and capped. This old connection is now available to any new house located on Lot 2.
3. See Plan. Note that easement a - b is in a different location to the original plan of subdivision.
4. The existing sewer immediately to the north of the site is a public drain. C O D C's access rights therefore extend to the boundary of the subdivision.
5. Please refer to the attached letters from Telecom & Central Electric Ltd.
- 6 & 7 A new concrete crossing place has been constructed.



William Fraser Building
1 Dunorling Street
Alexandra, NZ

Post Box 122, Alexandra

Telephone 03 448 6979
Facsimile 03 448 9196

My reference

28505/781

RBM:RCG

21 December 1995

Paterson Pitts Partners Limited
Post Box 84
CROMWELL

Dear Sir

SUBDIVISION: MERVYN COTTLE AND DAVID BAIRD, 7 DONEGAL STREET, CROMWELL

This is to advise that the application for the subdivision of the property described as Lots 2 and 3 DP 9047, has been approved by the General Manager under delegated authority, subject to the following conditions:

1. The consent holders shall construct a water connection to the boundary of Lot 2 from the main in Donegal Street.
2. The consent holders shall construct a sewer connection to the boundary of Lot 2 from the foul sewer main located to the north of the site.
3. The easements shown on the plan of subdivision shall be duly granted or reserved.
4. Any easement necessary to protect the legal access to the sewer connection referred to in Condition 2 shall be duly granted or reserved.
5. It shall be the consent holders responsibility to obtain the consent of Central Electric Limited and Telecom as to the position of electricity and telephone serves that shall be laid underground.
6. The consent holders shall be responsible for the provision of a crossing place and vehicle entrance between the sealed carriageway of Donegal Street and the boundary of Lot 1.
7. The vehicle crossing place and entrance shall be designed in accordance with NZS 4404:1981.
8. The two existing sheds on Lot 1 that are shown on the plan of subdivision shall be removed prior to the sealing of the survey plan.
9. As built plans of water and sewer connections shall be lodged with the General Manager.
10. All subdivisional designs and approvals shall be in accordance with NZS 4404: 1981 which is the Council's Code of Practice for Urban Subdivision.