

CODE COMPLIANCE CERTIFICATE

Section 95 Building Act 2004



Consent No: 160232

The Building			
Street address of building:	7 Forest Lane, Raumati South	Building name:	N/A
Current, Lawfully established, use:	Residential Dwelling	Location of building within site/block number:	Centre of site
Level/unit number:	Single level	Intended life of the building if 50 years or less:	-
Legal description of land where building is located:	LOT 2 DP 76027 CT F1/217	Year first constructed:	unknown
The Owner			
Name of owner:	Stephens Murray John	Street address /registered office:	-
Contact person:		Phone numbers:	-
Mailing address:	7 Forest Lane Raumati South Paraparaumu 5032	Landline:	-
Email address:	m-stephens@xtra.co.nz	Mobile:	021 455 448
Website:		Daytime:	-
		After hours:	-
		Facsimile number:	
First point of contact for communications with the Kapiti Coast District Council:			
Full Name: Bill Francis Mailing Address: PO Box 65, Paraparaumu 5254 Phones:: 296 1248			
Building Work			
Building Consent No:	160232	Issued by:	Kapiti Coast District Council
Project Description:	Addition and alteration with new wood burner.		

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that:

- (a) the building work complies with the building consent.

Michelle Salmon –
Building Inspections Team Leader
On behalf of **Kapiti Coast District Council**

Date: 31 August 2017



Statement of Compliance with the NZ Building Code

Consent No: 160232

ISSUED BY: Kapiti Coast District Council

PROJECT

Site Address: 7 Forest Lane, Raumati South
Legal Description: LOT 2 DP 76027 CT F1/217
Work Description: Extension to living room.
Building Category: R1

OWNER

Name(s): Murray and Shelley Stephens
Address: 7 Forest Lane, Raumati South, Paraparaumu

- [P] Application for CCC received and accepted
- [P] Confirm all required inspections completed and documented in GoGet
- [NA] If inspection(s) have been missed, have they been compensated for?
- [NA] If supervision was required for any inspection - did it occur?
- [P] Work in accordance with approved consent and approved amendments
- [NA] Have any notices to fix been uplifted?
- [P] Supporting documentation required in building consent addenda received
- [NA] Quality assurance documentation
- [P] Restricted building work
- [NA] Additional information required and received
- [NA] Compliance schedule issued
- [NA] Earthquake prone building
- [NA] Swimming Pool details updated
- [NA] Warnings and Bans
- [P] Approve to issue Code Compliance Certificate if all fees paid
- [NA] Approve to issue Certificate for Public Use if all fees paid
- [NA] Approve to issue Certificate of Acceptance if all fees paid
- [NA] Supervision review

NOTES:

Inspections Prepaid:
Inspections Done:

LICENSED BUILDING PRACTITIONERS:

Carpentry 1	BP120452
Roofing 1	BP116691

On review of the documentation and inspection notes it can be considered on reasonable grounds that all work has been completed in compliance with the building consent.

Signed:

Name: Craig Watson

Position: Building Officer



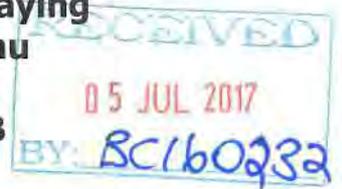
Date: 31 August 2017



KAPITI PLUMBING LIMITED
Plumbing, Gasfitting, Drainlaying
PO Box 612, Paraparaumu

PHONE: 04 902 PLUMB
(04 902 7586)

kapplumb@vodafone .co.nz



20th June 2017

To: Kapiti Coast City Council

Re ; Woodburner at 7 Forest Lane
Raumati South

I have been asked to check the flue at the recent install of the Kent Logburner at this address re a flue loose issue.

I am satisfied this has been installed correctly as per the Installation instructions and it is designed to have a small amount of movement in it as in the middle flue there are spacers of 5mm. The flue is bolted to the roof and there are Stainless Steel screws used as well. I have signed this off and stand by the workmanship.

Yours Sincerely

Mark Scaife
DIRECTOR



Omega Aluminium Kapiti Ltd

151 Matai Rd
Raumati
P.O.Box 166
Paraparaumu

10 Year Manufacture Warranty

We undertake to rectify any faulty workmanship that may become evident and affect the performance as specified in accordance with NZS 4211 specification for performance of windows, for a period of 10 years from date of installation.
All hardware and surface finish is covered by their manufactures warranties.
All double glazing is covered by a 10 year supplier warranty.
Hardware items covered by their respective manufacturers
Excluded is replaceable wearable components such as door rollers.
Maintenance and cleaning to be carried as per attached files

We also state that the aluminium joinery & conservatory Roofs supplied will meet or exceed the 15 year performance requirements of
B2 Durability (2004) – 1.2.1 b, 1.2.1 e, 1.3.1 & 2.1.
E2 External moisture (2008) – Table 20
All glass supplied complies with
NZS 4223 glazing in buildings, Parts 1,2 and 3
AS/NZS 1170 Occupancy
Where engineers details have been required, we state that the joinery supplied has been manufactured to the engineers specifications.

Retro Double glazing warranty excludes any existing window components, but includes any new glazing, hardware and aluminium extrusions fitted to complete the job.

Dated : 25/02/2017
Owners name : Shelley Stevens
Builders name: Tim McCarthy
Site address: 7 Forest Lane, Raumati South

Signed - Colin Harwood

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Final Inspection**
Inspection Outcome: **Fail**
Inspected By: **Craig Watson**
Inspection Date: **14 June 2017 9:35 a.m.**
Duration: **60 minutes**

Inspection Element	Status
Exterior	Fail
Inspection notes	Fail
Failed inspection	
Drawings	Fail
ammendment required	
Additional information/plan	N/A
Sub-floor ventilation	Pass
Grills in Base board.	
Roof fixings	Pass
Spouting and down-pipes	Pass
Deck structure	Pass
Flashings - roof	Pass
Penetrations - flashings	Pass
Barriers	N/A
Gully dishes	N/A
Stormwater and site drainage	Pass
Connected to existing	
Handrails	N/A
Wastes to gully	N/A
Fixings - durability	Pass
Steps/stairs	N/A
Terminal vents/AAVs	N/A
Cladding painted/sealed	Pass
Flashings - windows/doors	Pass
Cladding ground clearance	Pass
Road crossing complete	Pass
Final check complete	Fail
Other	N/A
Interior	Fail
Inspection notes	Pass
Drawings	Fail
Ammendment required	
Additional information/plan	N/A
Service areas-floors/walls	Pass
Stair design	N/A
Handrails	N/A
Balustrades	N/A
Lightings	Pass

Laundrying	N/A
Cooking facilities	N/A
Smoke detectors	Pass
Food storage/preparation	N/A
Ventilation	Pass
Insulation and clearance	Pass
HWC flues	N/A
HWC restraint	N/A
Tempering valve	N/A
Glazing - human impact	N/A
Hot water temp	N/A
Solid fuel heater	N/A
Water supply tank	N/A
Trap seals and AAVS	N/A
Cistern flushing	N/A
WC pan connection	N/A
Septic tank	N/A
Window labels	Pass
Final check complete	Fail
Other	Fail
Minimum of 3 rivets required in wood burner flew	
Intertenancy/commercial	N/A
Other	Pass
<hr/>	
Support Documentation	
Application for CCC	Accepted
Electrical safety certificate	Accepted
Construction review PS4 statement for structural engineering	Accepted
Membrane applicator certificates - deck butynol internal gutter	Accepted
Roof product manufacturers warranty	Accepted
Record of Work	Accepted
Roof installers warranty	Accepted
Window manufacturers producer statement	Required
<hr/>	
Licensed Building Practitioners	
Roofing 1	Accepted

✓ Bc: 160232 - 7 Forest Lane Kaumati South.

OXFORD WOOD FIRE

KENT

RECEIVED

16 FEB 2017

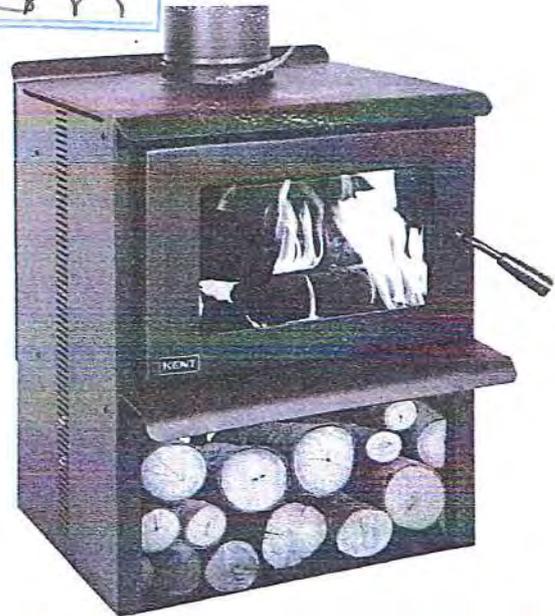
BY: *Sm*

FEATURES:

- Clean air approved small-size radiant wood fire
- Contemporary matt black design, 5mm steel
- Vermiculite brick lined firebox
- Multi-burn firebox helps glass remain clear
- Steel plate top for cooking use

SPECIFICATIONS:

- Estimated maximum heat output: 14kW
- Heats area up to 150m² (typically up to three standard rooms)
- Average emission rate: 0.80g/kg
- Overall average efficiency: 69%
- ECAN Authorisation No. 165500

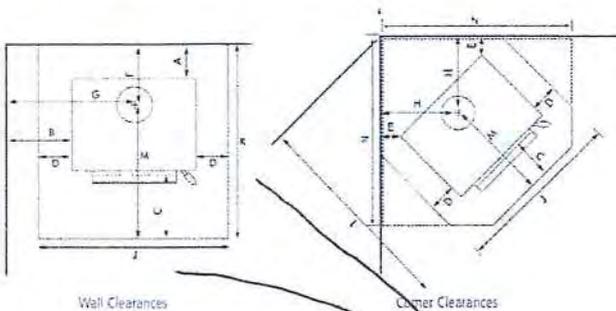


KWF295-6961

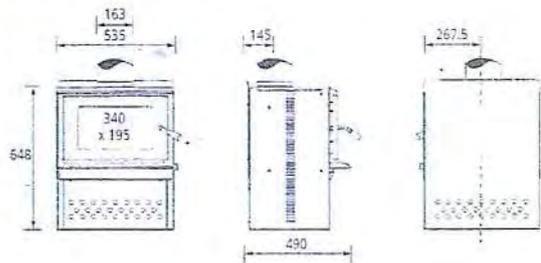


Product	Description	Qty	UM
ZZ052100048	KWF295-6961 Oxford wood fire	1	ea
KWF298-7005	Kent Ceiling Kit Reflector & Flue Kit	1	ea

INSTALLATION CLEARANCES:



DIMENSIONS (mm):



RECOMMENDED FLUE KITS:

Standard	KWF298-7005
Energy Saver	KWF298-7006

Flue Kits are tested to AS/NZS2918 Appendix F report no. 02/649.

Minimum Installation Clearances (with flue shield) mm							Hearth Clearances (mm)					
A	B	C	D	E	F	G	H	J	K	L	M	N
135	350	300	130	120	255	610	395	795	865	1140	585	1000

Kent products are distributed by:
Aber Holdings Ltd T/A Aber, Hamilton

Free Phone: 0800 161 161
sales@aber.co.nz

www.kent.co.nz

4359-02/16

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Postline Building**
Inspection Outcome: **Fail**
Inspected By: **Gareth McCullagh**
Inspection Date: **3 November 2016 1:32 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Fail
Sighted previous inspection notes	Pass
Conforms with approved drawings used ply on widow sides to supply updated plan	Fail
Confirm additional information/amended plan	N/A
Sheet bracing gs1 in place	Pass
Sheet fixings screw fixed	Pass
Fire/acoustic separation	N/A
Other	N/A

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Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Preline Building**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **1 November 2016 9:38 a.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Pass
Sighted previous inspection notes	Pass
Conforms with approved drawings	Pass
Confirm additional information/amended plan	Pass
Max moisture content 19%	Pass
Ventilation to rooms	N/A
Timber treatment	Pass
Lintel/beam size and fixing	Pass
Insulation Walls 2.6/3.2 ceilings	Pass
Top plate connection	Pass
Ceiling batten spacing 400mm 16mm rondo	Pass
Stud spacing	Pass
Bracing connections	Pass
Air seals	Pass
Bottom plate fixings	Pass
Weathertightness	N/A

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Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre Clad**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **4 October 2016 2:34 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Fail
Inspection notes	Pass
Drawings	Pass
Additional information/plan	Pass
Building wrap type Tekton	Pass
Flexible sealing tape	Pass
Deck membrane fixed in accordance with specification	N/A
Head flashings	Fail
Sill flashings	Fail
Back flashings	N/A
Saddle flashings	N/A
Internal/external corner flashings	Pass
Jamb flashings	N/A
Capillary clearances	N/A
Flashing penetrations	Pass
Ground/deck cladding clearance	N/A
Other	N/A

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Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Cavity System**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **4 October 2016 2:35 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Pass
Inspection notes	Pass
Drawings	Pass
Additional information/plan	Pass
Additional strapping to wrap	N/A
Batten timber treatment	Pass
H3.1	
Cavity closers	Pass
Battens in place	Pass
Battens structural fixing	N/A
Cavity spacers	N/A
Cavity spacers size and slope	N/A
Reinforcing fixed in place (stucco)	N/A
Proprietary self spacing mesh	N/A
Mesh spacers (stucco)	N/A
Proprietary control joints (stucco)	N/A
Rigid backing type (stucco)	N/A
Fixings (galvanised or stainless) (stucco)	Pass
Waterproofing to slab-edge	N/A
Other	N/A



Taken at 2:36 PM on Tuesday 4/10/2016



Taken at 2:36 PM on Tuesday 4/10/2016



Taken at 2:37 PM on Tuesday 4/10/2016

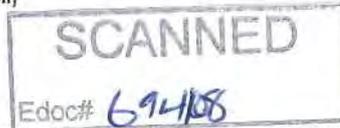
Entered in Magic
Saved in edocs.
Angie 30/08/16.

ADVICE OF LICENSED BUILDING PRACTITIONER(S)

Owner must notify names of licensed building practitioners before restricted building work commences

Building Act 2004, section 87

Send or deliver this form to: Kapiti Coast District Council,
175 Rimu Road, Paraparaumu 5032
Private Bag 60601, Paraparaumu 5254
For enquiries, phone 04 296 4700



Council use only:
Application #
Property ID

THE BUILDING (project location)

Building name (if applicable)

Building street address

7 Forest Lane Raumati South

THE PROJECT

Building consent number

160232

THE OWNER (must be completed and all details must be the owner's)

Owner's name (for individuals, state the preferred form of title, e.g. Mr, Mrs, Ms, Miss, Dr. For companies, trusts and other organisations provide a contact person's name)

Murray & Shelly Stephens

Address

7 Forest Lane Raumati South

Date

Landline

Mobile

021 455448

After hours

Fax

Email

LICENSED BUILDING PRACTITIONERS ENGAGED TO CARRY OUT/SUPERVISE RESTRICTED BUILDING WORK

Particular work to be carried out or supervised	Name	Licensing class	Licensed building practitioner number (or registration number if treated as being licensed under section 291 of Act)
Extend Lounge	Tim McArthur John Morgan		BP120452

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Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Pre Wrap**

Inspection Outcome: **Fail**

Inspected By: **Gareth McCullagh**

Inspection Date: **28 September 2016 12:11 p.m.**

Duration: **30 minutes**

Inspection Element

Status

General	Fail
Inspection notes	Pass
Drawings	Pass
Additional information/plan	N/A
Cladding type identified	Pass
Framing moisture meets cladding requirements	Pass
Stud spacing appropriate for cladding 400m centres	Pass
Exterior sheet bracing and angle brace fixing	N/A
Bottom plate connections not yet done	Fail
Building wrap type	N/A
Bracing requirements changed from posi struts to lvl rafters connected with cpc 40's both sides roof strap brace in place lintel straps done need updated amended plan for changes of roof rafters	Fail
Purlin fixing purlins screwed and double nailed	Pass
Decking substrate	N/A
Other	N/A

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Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Subfloor**

Inspection Outcome: **Pass**

Inspected By: **Gareth McCullagh**

Inspection Date: **28 September 2016 11:58 a.m.**

Duration: **15 minutes**

Inspection Element	Status
General	Pass
Pile/bearer/joist fixings	Pass
Notching/holes	Pass
Solid blocking one row to middle	Pass
Joists 400 mm centres	Pass
Beams/bearers	Pass
Other	N/A

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Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Piles**

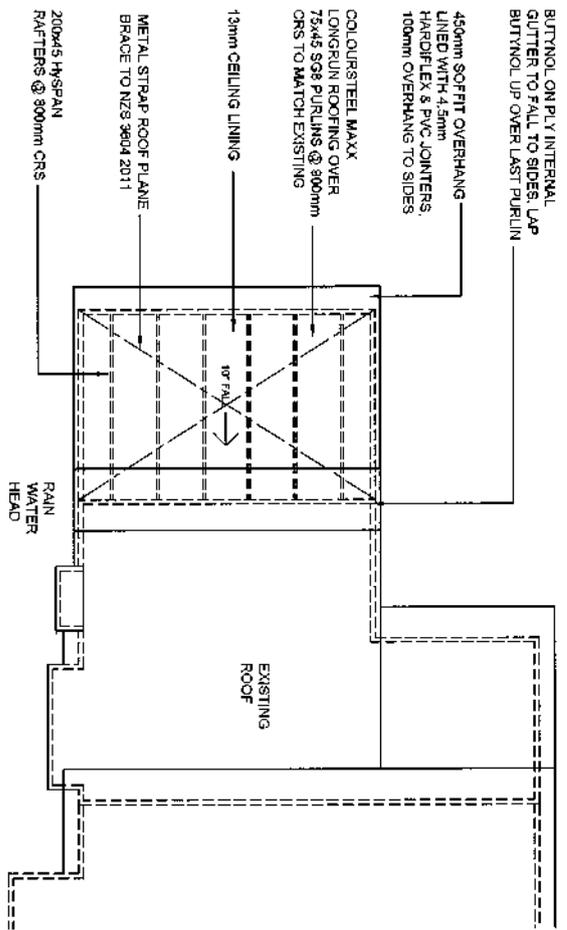
Inspection Outcome: **Pass**

Inspected By: **Gareth McCullagh**

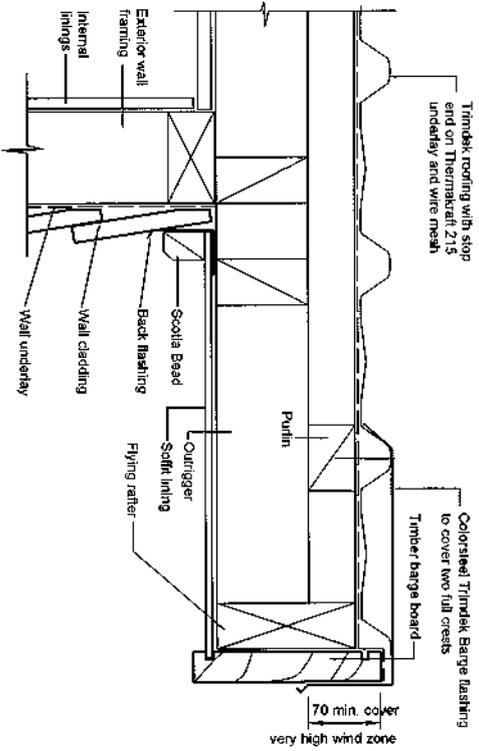
Inspection Date: **28 September 2016 11:56 a.m.**

Duration: **15 minutes**

Inspection Element	Status
General	Pass
Pile size	Pass
Pile layout	Pass
Special piles	N/A
Timber treatment	Pass
Hole depth	N/A
Other	N/A



BARGE DETAIL Scale 1:5



TRUSSES

WHERE THE BOTTOM CHORD OF A TRUSS CROSSES AN INTERNAL WALL CONTAINING ONE OR MORE WALL BRACING ELEMENTS, THE TRUSS SHALL BE CONNECTED TO THE TOP PLATE OF THE WALL EITHER DIRECTLY OR BY A CEILING BATTEN RUNNING PARALLEL TO THE PLATE AND FIXED TO BOTH THE WALL AND THE BOTTOM CHORD, AS PER CLAUSE 10.4.1.2 NZS 3604 2011

DO NOT SUPPORT BOTTOM CHORD OF TRUSS AT POINTS OTHER THAN THOSE DESIGNATED BY THE TRUSS MANUFACTURER

ALL ROOF FRAMING TO BE H:2

ROOF FRAMING FIXINGS

TRUSSES

FIXINGS FOR A ROOF TRUSS AT ITS SUPPORT SHALL BE AS GIVEN BY THE TRUSS MANUFACTURERS DESIGN BUT SHALL BE NOT LESS THAN 290x3.15 SKEWED NAILS & STRAP FIXING (see figure 10.9 NZS 3604 2011)

PURLINS TO TRUSSES

170g SELF DRILLING SCREW, 80mm LONG (24KN FIXING CAPACITY)

SUPPLY COPY OF RELEVANT WARRANTIES FOR ROOFING, MEMBRANE SYSTEMS & FASCIA / GUTTER SYSTEMS AS APPROPRIATE TO COUNCIL

ROOFING MATERIAL TO BE INSTALLED TO MANUFACTURERS REQUIREMENTS IN PARTICULAR, FIXING & MINIMUM PITCH (REFERENCE ALSO SECT 3 OF E2 NZ BUILDING CODE)

SOFFITS

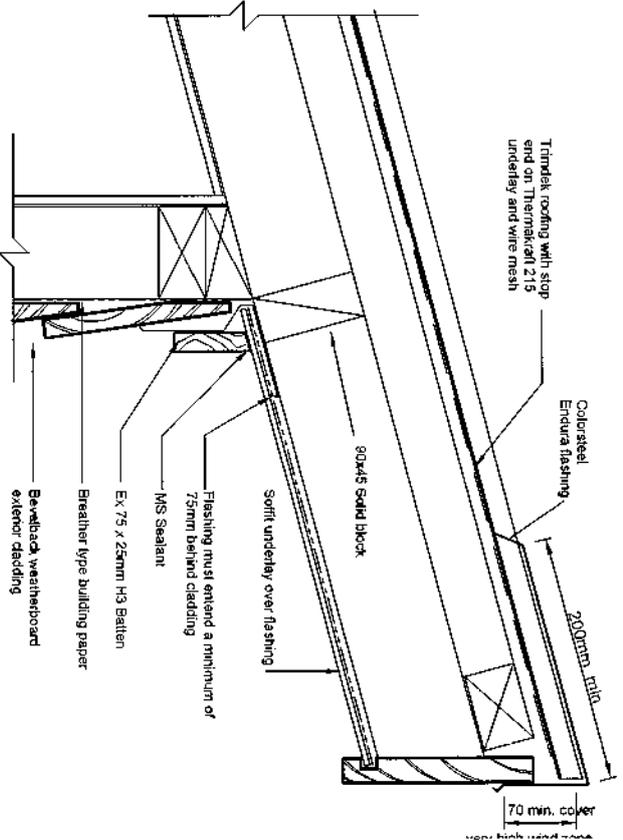
UNFINISHED HARDBEE SOFFITS MUST BE PAINTED TO COMPLY WITH NZBC DURABILITY REQUIREMENTS

SPOUTING

FRONT EDGE OF SPOUTING TO BE 20mm BELOW TOP EDGE OF FASCIA

ROOF PLAN SCALE 1:100

REVERSE SOFFIT DETAIL SCALE 1:5



<p>Reviews: MARCH 2016 rev A SEP 2016 rev B</p>	<p>Project: PROPOSED ADDITION 7 FOREST LANE, RAUWHITI SOUTH</p>	<p>Client: STEPHENS</p>	<p>Drawing Title: ROOF PLAN</p>	<p>Designer: COASTAL ARCHITECTURE LTD 11 Coast Drive Porirua e-mail: billfrancis@coastalarchitect.co.nz Tel: 04 396 4248</p>	<p>Design: Bill Francis Scale: as shown</p>	<p>Drawn: D.J. Scale: as shown</p>	<p>Job: 147 Page of: 4 Rev: B</p>	<p>ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING ACT 2004 AND THE BUILDING REGULATIONS 2004. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSENTS FROM THE COUNCIL. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSENTS FROM THE COUNCIL. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSENTS FROM THE COUNCIL.</p>
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Revisions:
 MARCH 2016 rev A
 MAY 2016 rev B
 SEP 2016 rev C

Project:
PROPOSED ADDITION

7 FOREST LANE,
 RAUMATI SOUTH

Client:
 STEPHENS

Drawing Title:
SECTION A

Designer:

COASTAL
 ARCHITECTURE LTD.

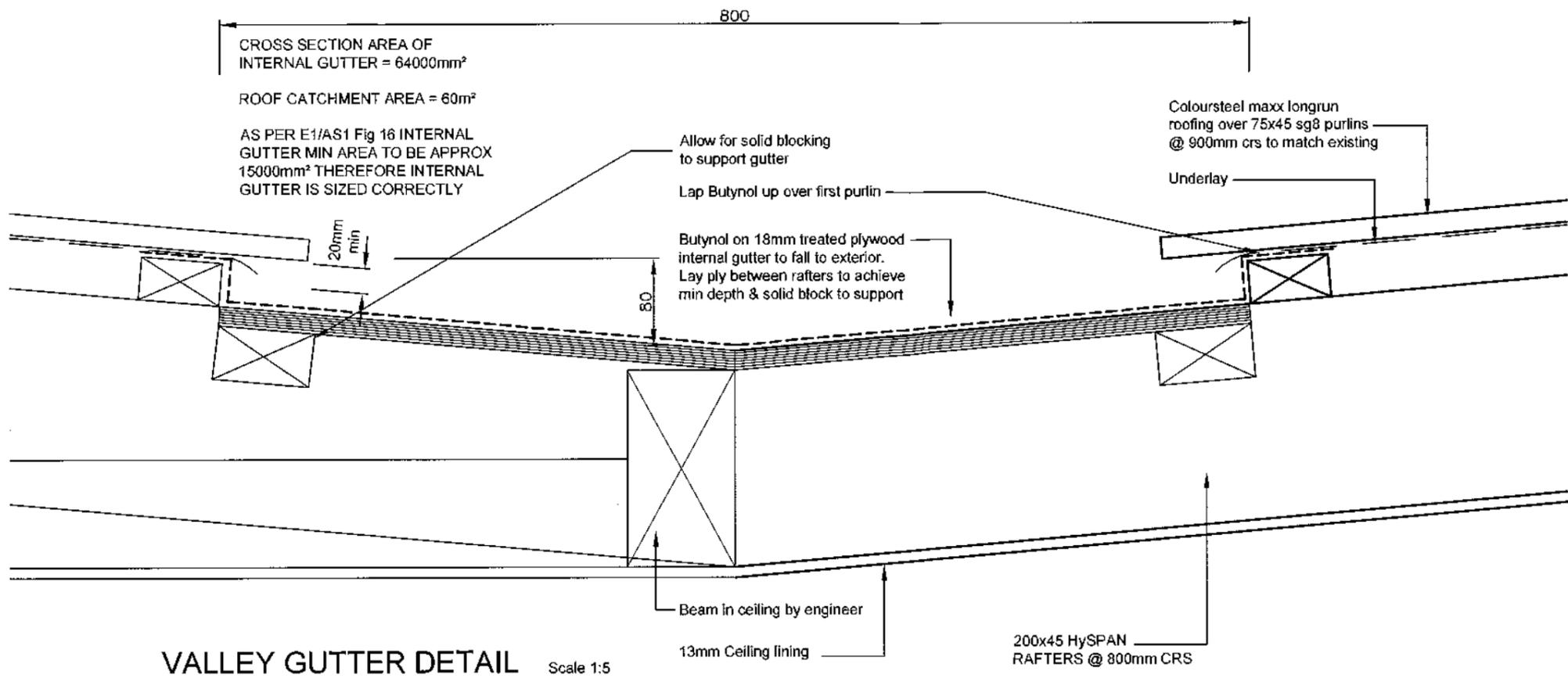
11 Kodex Place
 Paraparaumu
 New Zealand
 Tel: 04 296 1248
 e-mail: billfrancis@paradise.net.nz

Design: Bill Francis
 Drawn: bf
 Scale: as shown

Job: 147
 Page of: 6
 Rev: C



All work shall be in accordance with the NZBC. If in doubt ASK. The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified. This drawing and concept are copyright of Coastal Architecture Ltd. The recipient of this document is prohibited from disclosing its content for any purpose without the prior written consent of Coastal Architecture Ltd.



VALLEY GUTTER DETAIL Scale 1:5

INTERNAL LININGS

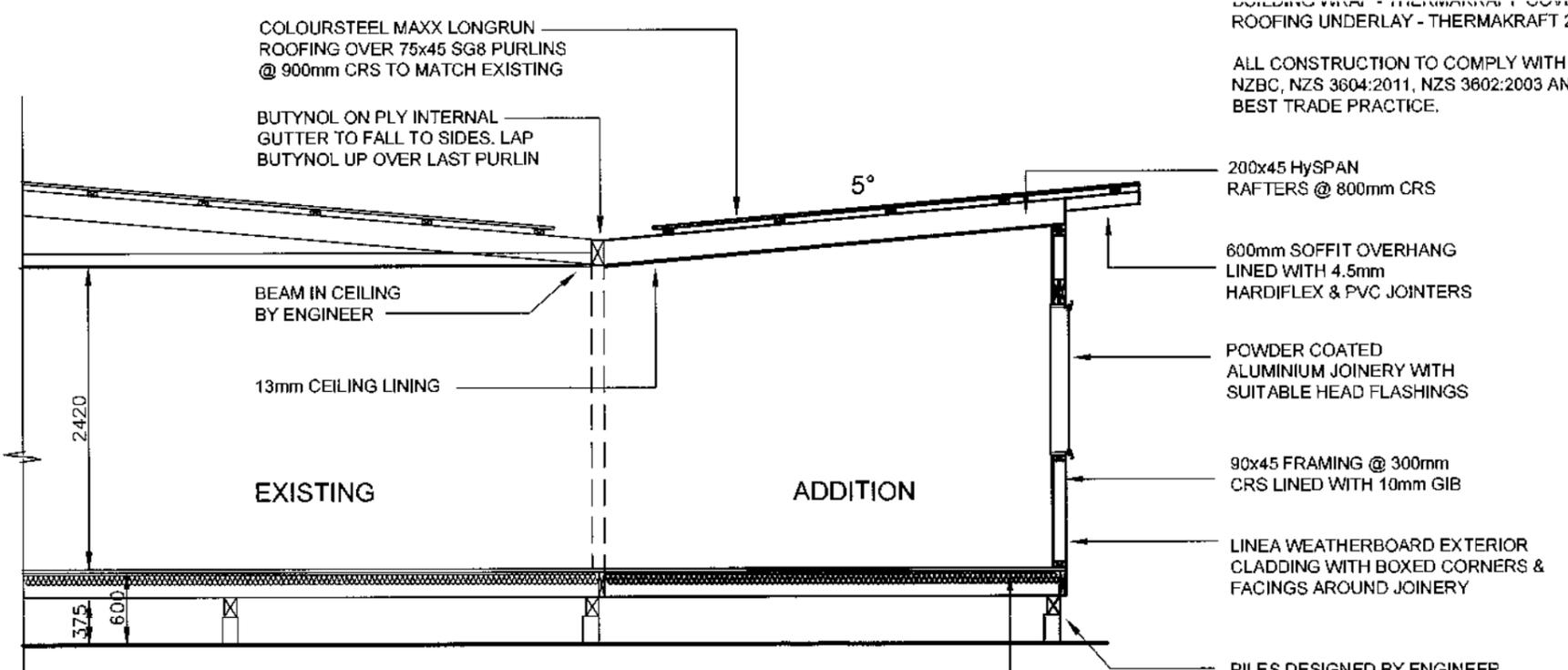
- WALLS:**
- Generally - 10mm Std Gib Board
 - Bathrooms - 10mm Gib Aqualine

- CEILINGS:**
- Generally - 13mm Std Gib
 - Bathrooms - 13mm Gib Aqualine
 - Back block sheet joints and allow for control joints as required by manufacturer

BUILDING WRAP -
 THERMAKRAFT 'COVERUP'
 ROOFING UNDERLAY -
 THERMAKRAFT 215

ALL CONSTRUCTION TO COMPLY WITH THE NZBC, NZS 3604:2011, NZS 3602:2003 AND BEST TRADE PRACTICE.

INSULATION:
 ROOF - R3.2 BATTS
 WALLS - R2.2 BATTS
 FLOOR - EXPOL POLYSTYRENE



SECTION A SCALE 1:50

CROSS SECTION NOTES

- Cladding to be installed to manufacturers requirements in particular fixing and ground clearance
- Also refer to NZBC, clause E2/AS1, external moisture: third edition for clarity
- Direct fix cladding systems, fit head flashing and proprietary sill tray to external joinery and sill. Fit airseals to inner edge of joinery reveals (refer to details)
- All junctions to claddings and other external moisture protection areas, to have capillary gaps/breaks and in seal where relevant, stopping wind driven or surface tension water

BUILDING WRAP - THERMAKRAFT 'COVERUP' ROOFING UNDERLAY - THERMAKRAFT 215

ALL CONSTRUCTION TO COMPLY WITH THE NZBC, NZS 3604:2011, NZS 3602:2003 AND BEST TRADE PRACTICE.

200x45 HySPAN RAFTERS @ 800mm CRS

600mm SOFFIT OVERHANG LINED WITH 4.5mm HARDIFLEX & PVC JOINTERS

POWDER COATED ALUMINIUM JOINERY WITH SUITABLE HEAD FLASHINGS

90x45 FRAMING @ 300mm CRS LINED WITH 10mm GIB

LINEA WEATHERBOARD EXTERIOR CLADDING WITH BOXED CORNERS & FACINGS AROUND JOINERY

PILES DESIGNED BY ENGINEER

20mm HD PARTICLE BOARD FLOORING OVER 240x45 H1.2 JOISTS @ 450mm CRS ON 140x90 H1.2 BEARER

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

Section 92, Building Act 2004

CCC Application Received
Date: 8/6/17
Final Inspection/Booked
Date: 14/6/17



Send or deliver your application to:

Building Control Team
Kapiti Coast District Council,
175 Rimu Road, Paraparaumu 5032
Private Bag 60601, Paraparaumu 5254

For enquiries, phone 04 296 4700

Received by
Kapiti Coast District Council
at Paraparaumu
18 JUN 2017
By: Jorette Time: 11:00

Council use only:
Application Number:
Valuation Number:

THE BUILDING CONSENT

Building Consent Number: 160232
Building street address: 7 FOREST LANE, RAUMATI SOUTH

OWNER (as defined by the Building Act 2004)

Owner's name: (Include preferred form of title e.g. Mr, Miss, Dr, if an individual and the contact person's name if a company, trust or similar) MURRAY Stephens.
Contact person: MURRAY
Owner's mailing address: 7 FOREST LANE
Street address/registered office: 7 FOREST LANE
Owner's contact details
Landline: 049740562 Mobile: 0275555622 After hours: _____
Fax: _____ Email: m-stephen@xtel.co.nz Website: _____
Proof of ownership – Attach the following as evidence
 Copy of the land title (Computer register, Certificate of Title, CT or property title) – no more than three months old AND where applicable
 Lease or
 Agreement for sale and purchase or
 Other document showing full name of legal owner(s) of building.

AGENT (only required if application is being made on behalf of the owner)

Name of agent. If application is for a company, trust or other organisation, provide a contact person's name.
Agent's mailing address:
Street address/registered office:
Agent's contact details
Landline: _____ Mobile: _____ After hours: _____
Fax: _____ Email: _____ Website: _____

Agent relationship to Owner:	State details of authorisation from the owner to make the application on the owner's behalf:	
	Signature of owner / agent on behalf of and with authority of the owner:	
	Name of person signing:	
	Date:	
First Point of Contact: for Communications with the Building Consent Authority:		

APPLICATION

All building work carried out under the above building consent was completed on or about (date): 30/11/2016.

PART A – RESTRICTED BUILDING WORK

The licensed building practitioner/s that carried out or supervised the restricted building work is/are as follows. This list should match the Licensed Building Practitioner's notified in your building consent documentation. (Add additional sheets if required.)

Particular work carried out or supervised	Name of Licensed Building Practitioner	Licensing Class	Licensed Building Practitioner Number <small>(or registration number if treated as being licensed under section 291 of the Act)</small>
<u>Main build of Extension</u>	<u>Tim McArthur</u>		<u>BP120452</u>

PART B – WORK NOT CLASSIFIED AS RESTRICTED

Schedule of people who carried out the building work other than restricted building work is as follows: (Please complete all trades applicable to your building consent.)

Designer or Architect			Business Name: <i>Coastal ARCHITECTURE LTD</i>		
Address: <i>Po Box 65 Piapianu</i>					
Registration/qualification:					
Mobile:		Landline:		After hours phone:	
Email:				Fax:	
Product name:			Manufacturer:		
Brick / Block Layer			Business Name:		
Address:					
Registration/qualification:					
Mobile:		Landline:		After hours phone:	
Email:				Fax:	
Product name:			Manufacturer:		
Carpenter			Business Name: <i>As per PART A</i>		
Address:					
Registration/qualification:					
Mobile:		Landline:		After hours phone:	
Email:				Fax:	
Product name:			Manufacturer:		
Certifying Drainlayer			Business Name:		
Address:					
Registration/qualification:					
Mobile:		Landline:		After hours phone:	
Email:				Fax:	
Product name:			Manufacturer:		
Certifying Gasfitter			Business Name:		
Address:					
Registration/qualification:					
Mobile:		Landline:		After hours phone:	
Email:				Fax:	
Product name:			Manufacturer:		

Certifying Plumber	Business Name: <i>KAPITI Plumbing LTD</i>	
Address: <i>McGrath Ave Poroporo Beach</i>		
Registration/qualification: <i>NZ Home Heating No 18097</i>		
Mobile:	Landline: <i>2970300</i>	After hours phone:
Email: <i>keppplumb@vodafone.co.nz</i>		Fax:
Product name: <i>Rain Head & 80mm d/p.</i>	Manufacturer: <i>Marley.</i>	
Concealed Fascia Installer (e.g. spouting)	Business Name:	
Address:		
Registration/qualification:		
Mobile:	Landline:	After hours phone:
Email:		Fax:
Product name:	Manufacturer:	
Concreter		
Address:		
Registration/qualification:		
Mobile:	Landline:	After hours phone:
Email:		Fax:
Product name:	Manufacturer:	
Deck / Roof Membrane Application	Business Name: <i>JOHN LUTERBUCK</i>	
Address:		
Registration/qualification: <i>BP 116691 class R2 R4 R7</i>		
Mobile: <i>021 9331 97</i>	Landline: <i>2988 799</i>	After hours phone:
Email:		Fax:
Product name: <i>1.5 layered with gutter.</i>	Manufacturer: <i>ARDEX</i>	
Plasterer / Textured Coater	Business Name:	
Address:		
Registration/qualification:		
Mobile:	Landline:	After hours phone:
Email:		Fax:
Product name:	Manufacturer:	

Registered Electrician	Business Name: <i>Oleary Electrical</i>	
Address:		
Registration/qualification: <i>E17118</i>		
Mobile: <i>0272755400</i>	Landline: <i>—</i>	After hours phone: <i>—</i>
Email: <i>o.e.s@peradur.net.nz</i>		Fax:
Product name:	Manufacturer:	
Roofer	Business Name: <i>R.A.H Roofing LTD</i>	
Address:		
Registration/qualification: <i>LBP BP116293</i>		
Mobile: <i>0272053684</i>	Landline:	After hours phone:
Email:		Fax:
Product name: <i>Coloursteel MAX</i>	Manufacturer: <i>Metal Craft</i>	
Structural Engineer	Business Name: <i>Base Consultancy LTD</i>	
Address: <i>279 Oxford St Levin</i>		
Registration/qualification:		
Mobile: <i>027449050</i>	Landline: <i>063670058</i>	After hours phone:
Email:		Fax:
Product name:	Manufacturer:	
Tanking Application	Business/name:	
Address:		
Registration/qualification:		
Mobile:	Landline:	After hours phone:
Email:		Fax:
Product name:	Manufacturer:	
Other <i>student</i>	Business/name: <i>Smiter Steel (2005) LTD</i>	
Address: <i>9 Coventry St Levin</i>		
Registration/qualification:		
Mobile:	Landline:	After hours phone:
Email:		Fax:
Product name:	Manufacturer: <i>Smiter Steel</i>	

COMPLIANCE SCHEDULE – SPECIFIED SYSTEMS

Tick applicable

<input checked="" type="checkbox"/>	There are no specified systems in the building OR	
<input type="checkbox"/>	The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performance standards set out on the building consent.	
Tick applicable		
<input type="checkbox"/>	SS1	Automatic systems for fire suppression (e.g. sprinkler systems)
<input type="checkbox"/>	SS2	Automatic or manual emergency warning systems for fire or other dangers Fire alarm type:
<input type="checkbox"/>	SS3	Electromagnetic or automatic doors or windows (e.g. ones that close on fire alarm activation) <input type="checkbox"/> SS 3.1: Automatic doors <input type="checkbox"/> SS 3.2: Accessed controlled doors <input type="checkbox"/> SS 3.3: Interfaced fire or smoke doors or windows
<input type="checkbox"/>	SS4	Emergency lighting systems
<input type="checkbox"/>	SS5	Escape route pressurisation systems
<input type="checkbox"/>	SS6	Riser mains for Fire Service use
<input type="checkbox"/>	SS7	Automatic back-flow preventers connected to a potable water supply
<input type="checkbox"/>	SS8	Lifts, escalators, travelators, or other systems for moving people or goods within a building
<input type="checkbox"/>	SS9	Mechanical ventilation or air conditioning systems
<input type="checkbox"/>	SS10	Building maintenance units for providing access to the exterior and interior walls of buildings
<input type="checkbox"/>	SS11	Laboratory fume cupboards
<input type="checkbox"/>	SS12	Audio loops or other assistive listening systems <input type="checkbox"/> SS 12.1: Audio loops <input type="checkbox"/> SS 12.2: FM radio frequency systems and infrared beam transmission systems
<input type="checkbox"/>	SS13	Smoke control systems <input type="checkbox"/> SS 13.1: Mechanical smoke control <input type="checkbox"/> SS 13.2: Natural smoke control <input type="checkbox"/> SS 13.3: Smoke curtains
<input type="checkbox"/>	SS14	Emergency power systems for, or signs relating to, a system or feature specified in any clauses 1-13 <input type="checkbox"/> SS 14.1: Emergency power systems <input type="checkbox"/> SS 14.2: Signs

<input type="checkbox"/>	SS15	Other fire safety systems and features <input type="checkbox"/> SS 15.1: Systems for communicating information to facilitate evacuation <input type="checkbox"/> SS 15.2: Final exits <input type="checkbox"/> SS 15.3: Fire separations <input type="checkbox"/> SS 15.4: Signs for communicating information to facilitate evacuation <input type="checkbox"/> SS 15.5: Smoke separations
<input type="checkbox"/>	SS16	Cable Car (including to individual dwelling)

CODE COMPLIANCE CERTIFICATE

I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004.

The Code Compliance Certificate should be sent to: *(state which address and whether owner or agent)*

Name: MURRAY Stephen

Owner Agent

Address: 7 FOREST LANE, RAUMATI SOUTH

SIGNATURES

Signed by the owner	OR	Signed by the agent <i>(on behalf of, or with the authority from, the owner)</i>
Signature: 		Signature:
Name: <u>MURRAY Stephens</u>		Name:
Date: <u>7.6.2017.</u>		Date:

ATTACHMENTS

The following documents are attached to this application:

Tick applicable

<input checked="" type="checkbox"/>	Memorandum from licensed building practitioner(s) stating what restricted work they carried out or supervised.
<input checked="" type="checkbox"/>	Certificates from the personnel who carried out the work (other than restricted building work).
<input checked="" type="checkbox"/>	Certificates that relate to the energy work (i.e. gas, electricity)
<input checked="" type="checkbox"/>	Evidence that specified systems are capable of performing to the performance standards set out in the building consent.
<input checked="" type="checkbox"/>	Roof Cladding / Gutter / Fascia Warranty - <i>(Project specific document, signed)</i>
<input type="checkbox"/>	Wall Cladding Warranty - <i>(Project specific document, signed)</i>
<input type="checkbox"/>	Exterior Joinery Warranty - <i>(Project specific document, signed)</i>
<input type="checkbox"/>	Exterior Cladding System Warranty - <i>(Project specific document, signed)</i>
<input checked="" type="checkbox"/>	Wet Area Membranes Warranty - <i>(Project specific document, signed)</i>
<input checked="" type="checkbox"/>	As-Built Drainage - <i>(Project specific document, dimensioned and signed)</i>
<input checked="" type="checkbox"/>	Waste Water Disposal System installers declaration and service contract - <i>(Project specific document, signed)</i>
<input checked="" type="checkbox"/>	Energy Works Certificate – Gas - <i>(Project specific document, signed)</i>
<input type="checkbox"/>	Energy Works Certificate – Electricity - <i>(Project specific document, signed)</i>
<input type="checkbox"/>	Record of Restricted Building Work Memorandum - <i>(Record of Building Work)</i>
<input type="checkbox"/>	PS3 – Construction - <i>(Project specific document, signed)</i>
<input checked="" type="checkbox"/>	PS4 – Construction Review / Site Notes - <i>(Project specific document, signed)</i>
<input checked="" type="checkbox"/>	SS2 Emergency Warning System – Commissioning Certificate - <i>(Project specific document, signed by accredited body)</i>
<input checked="" type="checkbox"/>	Photographs - <i>(Project specific)</i>
<input checked="" type="checkbox"/>	Any other Installers declaration - <i>(Project specific document, signed)</i>
<input checked="" type="checkbox"/>	Other - <i>(specify)</i>

maxx

FOR EXTREME CONDITIONS

COLORSTEEL

Residential Warranty and Maintenance Requirements

SUPPLY DATE: OCTOBER 2016

PROPERTY OWNER	Murray Stevens
SITE ADDRESS	7 Forest Lane, Raumati South, Paraparaumu 5032, New Zealand
SITE ENVIRONMENT	Very Severe
BUILDING TYPE	Residential
ROLLFORMER	Metalcraft Wellington

WARRANTY THAT PRODUCT:	ROOFING	WALL CLADDING	GUTTERS/DOWNPIPES	FASCIA
Will not flake, peel or excessively fade	15 Years	-	-	-
Will not perforate through corrosion	15 Years	-	-	-

The product manufactured from COLORSTEEL® Maxx® is subject to normal wear and tear, which may include uniform fading, chalking and dirt collection. Minor white corrosion, which may appear at unwashed tension bends or cut edges, is a natural weathering phenomenon of COLORSTEEL® Maxx® and does not constitute a failure of the coating system. Testing to determine coating performance will be in accordance with the methods described in Australian Standard AS1580.

This warranty is issued by New Zealand Steel Limited and is subject to the following terms and conditions:
(Note: all New Zealand Steel literature referred to in this warranty is that which is current at the time of installation and is available from the rollformer or www.colorsteel.co.nz)

- The maintenance programme specified on the reverse **BEING STRICTLY ADHERED TO and documented.**
- The warranty periods stated above start from the date the material is supplied to site.
- The installed pitch of the roof is equal to or greater than 3°, or the minimum recommended for the profile, whichever is greater.
- The product is only used in the environments and applications as recommended in the *Environmental Categories and Product Maintenance Recommendations brochure* (or on-line *Guidelines for Use*).
- The product is designed, formed, stored, handled and installed in accordance with recommendations given in *Specifiers and Builders Guide* (on-line *Guidelines for Use*), *Information Bulletins* and *NZ Metal Roof and Wall Cladding Code of Practice*.
- This warranty covers the COLORSTEEL® Maxx® material only and no accessories supplied which include, without limitation, fasteners, soft edge and building wrap.
- All warranties, conditions, liabilities and obligations other than those specified in this warranty are excluded to the fullest extent allowed in law. In particular, where the product is supplied for the purpose of business, the guarantees contained in the Consumer Guarantees Act 1993 do not apply.
- Failure of the material or the coating partially or wholly due to one or more of the following causes is not covered by this warranty:
 - Use of the product within 50m of breaking surf on the East Coast or 100m of breaking surf on the West Coast.
 - Physical damage during or after installation, including scratching, contact with other metal items, incorrect installation of external objects such as air-conditioning units, PV/Solar energy systems, and failure to remove swarf.
 - Contact with soil, ash, fertilizer, moisture retaining substances, or sunscreen.

- Contact with or runoff from lead or copper and other dissimilar metals, chemical agents, green or wet timber or treated timber.
- Water entrapment or ponding for any reason.
- Mechanical damage, chemical attack, corrosion or other damage sustained during transport, handling, storage, installation or subsequent to installation.
- Attack from chemical or other agents, fumes, solids or liquids other than direct rain or run-off falling onto the product under warranty.
- Application of post paint treatments or systems.
- Failure to install, use and maintain the product in accordance with NZ Steel's guidelines and applicable industry standards.
- Underside corrosion as a result of high humidity, condensation or pollution generated within a building.
- Failure to replace corroded fasteners, or use of incorrect fasteners.
- Corrosion arising from lapped areas of end-lapped sheets.
- The product having been inappropriately stored prior to installation.
- Causes beyond the control of New Zealand Steel or the roofing manufacturer, including earthquakes, fires, cyclones, tornadoes, storms, hurricanes, lightning, hail, volcanic activity and other similar extreme "Acts of God".
- Actions by other persons.

If COLORSTEEL® Maxx® pre-painted steel has failed to perform as warranted, then a claim, in writing, specifying in what respect the COLORSTEEL® Maxx® has failed to perform, must be made within the applicable warranty period, to New Zealand Steel who will at its sole option repair or replace (including labour) the affected material or provide a refund equal to the cash value based on the cost of the then current New Zealand Steel equivalent product. All claims must be accompanied by this original warranty document. A new warranty will be issued to cover the balance of the original warranty offer for both the paint coating and perforation protection where repair or replacement is made, this period is not extended in case of replacement. Neither the roofing manufacturer named below nor New Zealand Steel will be liable for any consequential loss or damage except as may be required under any mandatory statutory provisions. Nothing in this warranty is intended to exclude or limit any rights consumers may have under the Consumer Guarantees Act 1993.

New Zealand Steel and/or the roofing manufacturer reserve the right to inspect a building prior to issuing of the warranty and/or to inspect and conduct tests as necessary at any time after a claim is made under this warranty and accordingly have access to the property.



For more information call 0800 100 523, visit www.colorsteel.co.nz, mail us at Private Bag 92121, Auckland 1142, or email us at info@colorsteel.co.nz



**Memorandum from licensed building practitioner:
Record of building work**
Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

Mrs Stephens

Street address:		7 Forest Lane	
Suburb:		Raukoti	
Town/City:	Paraparaumu	Postcode:	
Building consent number: 160232			
Name(s):			
Mailing address:			
Suburb:		PO Box/Private Bag:	
Town/City:		Postcode:	
Phone number:		Email address:	

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	<i>internal gutter</i>	<input type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: John Chatterback | LBP number: B P 116691

Class(es) licensed in: R2 R4 R7

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: 18 Manchester St

Suburb:

Town/City: Papakura

PO Box/Private Bag

Postcode:

Phone number: 04 2988799

Mobile: 0219 33197

After hours: 06 364 3368

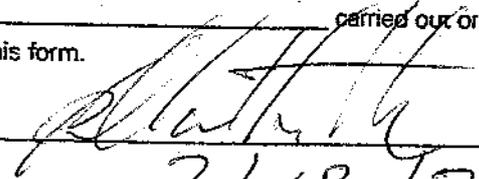
Fax: 04 2988799

Email address:

Website:

1.5 Grey Bostynol Layed
in latent gutter

carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: 2/12/2016

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: John Chatterback LBP number: B P 116691

Class(es) licensed in: R2 R4 R7

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: 18 Manchester St

Suburb: Town/City: Bradford

PO Box/Private Bag Postcode:

Phone number: 042985799 Mobile: 021933197

After hours: 063643368 Fax: 042985799

Email address: Website:

15 Grey Beaton Rd Langed
in later gutter

I carried out or supervised the restricted building work recorded on this form.

Signature: [Handwritten Signature]

Date: 2/12/2016

Nov 2016

Internal Gutting - John Clutterbuck



ENGINEERED SOLUTIONS FOR
TILING, FLOORING & WATERPROOFING

Standard Materials Warranty

Warranty Number: NZCBM-0071493

Date of Installation: 09-Oct-2016

Building/Project Address: 7 Forest Lane, Paraparaumu

Company: John Clutterbuck Roofing ("the Applicator")

Address: 18 Manchester St, Paraparaumu, Wellington 5032

Phone: 04 298 8799

Reference: 1/11/2016

Product Type and Use: 1.5mm Dark Grey Butynol, Gutter

Area Laid: 6.49 SquareMetres

Subject to the conditions appearing below, ARDEX NEW ZEALAND LIMITED ("ARDEX") warrants to 7 Forest Lane that the ARDEX Membrane stated as the Product Type will retain its waterproofing properties for the following period from the date of installation of the Membrane:

This warranty is effective for (20) twenty years years from the date of installation of the Membrane.

This Warranty is subject to the following conditions.

Extent of Liability

1. Warranty shall only apply to any defect in the Membrane which permits the entry of water due solely to the natural deterioration of the Membrane or ridges or splits not caused by structural failure of movement of or cracks in the substrate or roof base or insulation over which the Membrane is applied. This Warranty does not cover workmanship which is and shall be the sole responsibility of the approved applicator who is not an agent, servant, or employee of ARDEX.
2. Failure to follow the ARDEX Specification and Instructions of use of the Product and/or all applicable laws will render this Warranty null and void. This includes protection of the Membrane when used in below ground DPM tanking, internal waterproofing and external waterproofing applications. ARDEX advise that products may have limitations as detailed in the product datasheets.
3. This Warranty will not apply where any other product or material has been added to or used in conjunction with the product, unless approved by ARDEX in writing (permission can be given or withheld at ARDEX's discretion and is not required when using ARDEX Tile adhesives in conjunction with ARDEX Undertile Membranes).
4. ARDEX's obligations under this Warranty shall be limited to the timely repair or replacement by ARDEX of any defective Membrane which permits the entry of water at ARDEX's cost. This is ARDEX's sole and total liability under this Warranty.
5. ARDEX shall have no further liability or responsibility other than set out in this Warranty. In particular, ARDEX shall not be liable for any loss of profits or loss of revenue or for any other economic loss or for any special, indirect, incidental, consequential damage, loss or injury of any kind, including but not limited to, damage to the structure or its contents arising under any theory of law whatsoever.
6. Without limiting the generality of the preceding clauses, this Warranty shall not cover and ARDEX shall have no liability for the following acts, conditions, or circumstances or any damage or defects which may arise there from:
 - a. Wars, strikes, lock-outs, delays, acts of God, fire, earthquake, flood, hail, lightning, hurricane, tornado, windstorm, governmental or environmental interference or any other cause (whether similar or dissimilar) beyond the reasonable control of ARDEX; or
 - b. The act, omission, default or representation of any party other than ARDEX or its servants or agents; or
 - c. Exposure to a chemical or solution, fire or radiation, or contamination by radioactivity from any nuclear fuel or waste; or
 - d. Settlement, distortion, failure of the walls or foundations of the building, ponding or cracking of the roof or the deck; or
 - e. Infiltration or condensation of moisture in, through, or around the walls, copings, building structure, or underlying or surrounding materials; or
 - f. Any design defect or structural failure of any framework or material in or on which the Membrane has been installed or applied which was not supplied by ARDEX; or
 - g. Materials other than the membrane, including, but not limited to, metal work expansion or control joints, fasteners, drains, vents, vapour retarders, walkways, pitch pockets, flashing materials and rooftop units and equipment; or
 - h. Expansion or contraction of any flashing or metal work, any adjacent or abutting building, structure or improved or unimproved property, or any component thereof, including but not limited to, structural failure or damage, leakage, or drainage; or
 - i. Any new installations, repairs, or other maintenance or construction on, to or through the Membrane; or
 - j. Damage caused directly or indirectly by falling objects or traffic of any nature on the roof; or



ENGINEERED SOLUTIONS FOR
TILING, FLOORING & WATERPROOFING

- k. Improper installation of insulation or defects or failure of any material used in any roof base or insulation over which the Membrane is applied; or
- l. The failure of material or structures to conform to manufacturer's specifications as to roof slopes or other requirements; or
- m. Negligence, misuse, improper treatment or improper site preparations; or
- n. Storage, handling or installation of the Membrane otherwise than in accordance with ARDEX's published use and handling procedures and installation specifications.

Claim

- 7. This Warranty shall be invalid unless ARDEX receives the Owner's written claim within the warranty period and within fourteen (14) days after the date of reasonable discovery of any alleged defect.
- 8. This Warranty remains current for the period as specified previously in this document and is transferable should ownership of the property on which the membrane is applied change.

Access to Material and Site

- 9. In the event that it is necessary for ARDEX to repair or replace any defective Membrane, the Owner shall provide ARDEX with clear and unrestricted access to the Membrane. Nothing in this Warranty shall require ARDEX to remove and/or replace plant, equipment or any other object or substance in order to gain access to the defective Membrane. The Owner shall co-operate in all respects with ARDEX to accomplish the said repair or replacement. The cost of any site visit requested under a Warranty claim which does not reveal any problem which ARDEX has liability for under this Warranty shall be paid for, at ARDEX's sole discretion, by the party requesting the inspection at the then current trade consultancy rates.

Consumer Guarantees Act

- 10. Where the Membrane is being acquired by you in trade you agree that it is fair and reasonable in the circumstances that the Consumer Guarantees Act 1993 (CGA) not apply. Accordingly, to the maximum extent permitted by law, the CGA shall not apply.

No Other Warranty

- 12. Except as expressly set out in this Warranty, and with the exception of the relevant statutory warranties contained in the CGA that cannot be excluded, no other warranty or condition shall be implied against ARDEX by any statute, at common law or otherwise, and no representation, express condition, warranty or variation of this warranty shall be binding on ARDEX unless it is in writing and signed for or on behalf of ARDEX. This Warranty shall prevail despite any indication to the contrary by any person acting or purporting to act on ARDEX's behalf and shall replace all or any other alleged rights or remedies contained in any other document or representation whether issued or made prior to or subsequent upon the granting of this Warranty by ARDEX.

Validity of Warranty

- 13. This Warranty is valid and enforceable on the condition that ARDEX has been paid in full for the Membrane supplied.

Applicable Law

- 14. This Warranty is governed by the laws of New Zealand.

By:

DJ [Signature]

Date: 01-Nov-2016

WARRANTY

STANDARD WARRANTY

Your Kent wood fire is warranted for 10 years on the firebox with the exception of the following Kent parts: glass, glass seal, door seal, fire bricks, flue, secondary air system and removable baffle which will all have a 12 month warranty (parts only) provided they have been installed by an approved installer. The warranty does not apply to normal wear and tear, misuse or neglect, nor if parts of the wood fire are replaced with non genuine Kent parts. Kent recommends an annual service and flue sweep with replacement of parts if recommended to obtain maximum life out of your wood burner. Please note that with everyday use you must expect some visual signs of wear on the surface of this product.

CONDITIONS

Your Kent wood fire must be installed in accordance with the manufacturer's instructions and all applicable standards, regulations and by-laws. Your Kent wood fire must be installed with an approved flue system. Failure to do so may void your warranty in its entirety. The company is not liable for any consequential damage by a failure or defect covered in this warranty. All claims against the warranty must be directed in the first instance to the retail outlet from which you made your purchase. Any repairs undertaken without the express authority of Kent will invalidate this warranty. This warranty does not cover damage caused by wetbacks/water boosters, burning improper fuels (driftwood/treated wood/coal or plastic-based waste), or installation, plumbing and sweeping work done by others (the installer is liable for any incorrect procedures or poor workmanship).

TRANSFERABILITY

Your Kent wood fire warranty is transferable on the sale of the home where the wood fire is installed. Nothing in this warranty is intended to limit any conditions of the warranty right or remedy pursuant to the Consumer Guarantee Act 1993, except to the extent permitted under the Act. Your Kent wood fire is intended for domestic use only and the warranty is not valid for wood fires to be used for business purposes. Kent reserves the right to alter or amend specifications or designs of its product without prior notice.

EASY ONLINE OPTION

Go to www.kent.co.nz to complete your registration online.

KENT WARRANTY REGISTRATION

Please keep this copy for your records.

MODEL: KWF295-6961 Oxford Woodfire

SERIAL NUMBER:

RETAILER: Plumbing World

PURCHASE DATE: 4/4/17

INVOICE NUMBER: 18097

(Please keep your invoice attached to your warranty record)

INSTALLER NAME: Plumbing, Gasfitting, Drainlaying

DATE INSTALLED:

NZ HOME HEATING ASSOCIATION NUMBER: 2724

INSTALLER SIGNATURE: [Signature]





Building Code Clause(s).....

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on page 2)

ISSUED BY: BASE CONSULTING ENGINEERS LTD.....
(Construction Review Firm)

TO: MRS. S. STEPHENS
(Owner/Developer)

TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL.....
(Building Consent Authority)

IN RESPECT OF: STEPHENS DWELLING – Foundations
(Description of Building Work)

AT: ... 7 FOREST LANE, RAUMATI.....
(Address)
..... LOT DP ... SO

BASE CONSULTING ENGINEERS LTD..has been engaged by MRS. S. STEPHENS
(Construction Review Firm)
To provide CM1 CM2 CM3 CM4 CM5 (Engineering Categories) or observation as per agreement with owner/developer
or other services
(Extent of Engagement)

in respect of clause(s) B1 VM1..... of the Building Code for the building work described in documents relating to Building Consent No. and those relating to Building Consent Amendment(s) Nos. issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variations(s) No. CONSTRUCTION MONITORING REPORTS # 1-3 : Job No:16018 (copies attached)

or by the attached Schedule have been issued during the course of the works.

On the basis of this these review(s) and information supplied by the contractor during the course of the works and on behalf of the firm undertaking this Construction Review, I believe on reasonable grounds that All Part only of the building works have been completed in accordance with the relevant requirements of the Building Consent and Building Consent Amendments identified above, with respect to Clause(s) B1..... of the Building Code. I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I, PETER BOLTON..... am: CPEng No. 56179.....
(Name of Construction Review Professional) Reg Arch No.

I am a Member of: IPENZ NZIA and hold the following qualifications: BE CIVIL.....

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.
The Construction Review Firm is a member of ACENZ:

SIGNED BY ...PETER BOLTON..... ON BEHALF OF / BASE CONSULTING ENGINEERS LTD ...

Date: ... 05/10/16..... Signature:

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Forms 6 or 8 of the Building (Form) Regulations 2004 for the issue of a Code Compliance Certificate

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suit of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent.

PS2 Design Review Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent.

PS3 Construction Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 Construction Review Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

*Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5 for Engineers³). The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design firm's engagement.

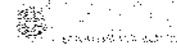
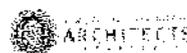
Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- 1 Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- 2 NZIA Standard Conditions of Contract SCC 2011
- 3 Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)
- 4 PI Guidelines on Producer Statements

www.acenz.org.nz
www.ipenz.org.nz
www.nzia.co.nz



SITE VISIT RECORD # (

Sheet No. 6/1

Site: 7 Forest Lane Rasmati South
Builder: Tim (021 413 014)

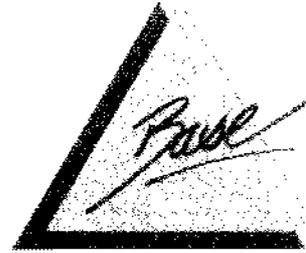
Day & Date of Visit: Tuesday 06 Sept 2016	Arrival Time: 11:10	Departure Time: 11:25
Weather and Site Conditions: Fine sunny conditions		
Builder on Site: Yes	No. People On Site: 2	

Builders Activities & Plant On Site (Employees, Subcontractors, idle and working plant etc)
Various builders small plant / equipment on site setting out for pile locations Piling & Drilling due on site 13 September 2016

Site Records/Observations

<p>Photos taken 160906-01 through to 160906-04</p> <p>Phone call had been received from shell stephens requesting contact be made with Builder (Tim) to discuss issues on site</p> <p>Phone call made to Tim 09:00hrs - agreed to come down to site late morning to look at issue - Tim advised easier to look at on site as opposed to discussing on phone.</p> <p>Site inspection - advise with orientation of carbet piles and subsequent spacing of pile for deck.</p> <p>Advise Tim I would need to check with Base as to whether carbet piles can be reorientated</p>
Signature: 

CONSTRUCTION MONITORING
REPORT



PROJECT: **Stephens Dwelling**

16018

CONTRACTOR :

CONTRACTORS SITE REPRESENTATIVE:

DATE: **13:09:16**

TIME: **9:30am**

INSPECTION No: **# 2**

WEATHER CONDITIONS: **fine**

LOCATION: **7 Forest Lane**

Raumati

NOTES & PHOTOGRAPHS:

1.1 General Project Overview

Site visit as requested to consider existing construction

1.2 Specific Elements Inspected

Met Tim McArthurs on site

existing subfloor construction has been exposed which shows difficulty in constructing as drawn for detail FD4

Agreed that location of FD4 may be shifted to assist with construction

Also new bearer line may be moved to 800 from the existing dwelling

Next visit to be prepour for concrete

1.3 Miscellaneous

PeterBolton
CPEng
Base Consulting Ltd
peter@basecon.co.nz
06-367 0088

CONSTRUCTION MONITORING REPORT



PROJECT: **Stephens Dwelling**

16018

CONTRACTOR :

CONTRACTORS SITE REPRESENTATIVE:

DATE: **27:09:16**

TIME: **9:30am**

INSPECTION No: **# 3**

WEATHER CONDITIONS: **fine**

LOCATION: **7 Forest Lane**

Raumati

NOTES & PHOTOGRAPHS:

1.1 **General Project Overview**

Site visit to check construction to date

1.2 **Specific Elements Inspected**

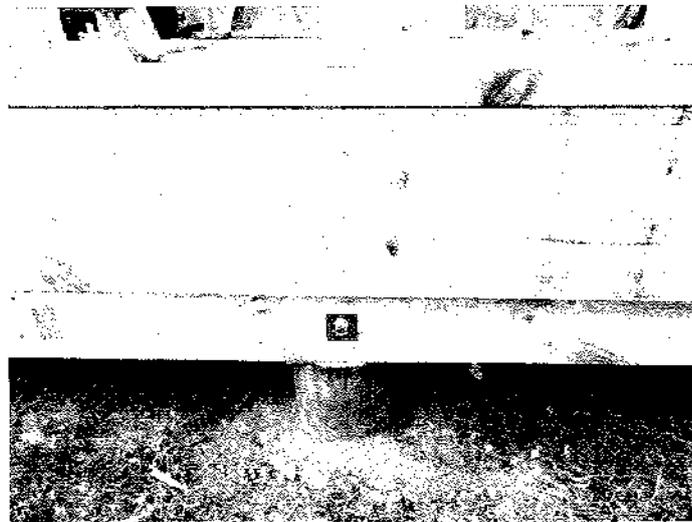
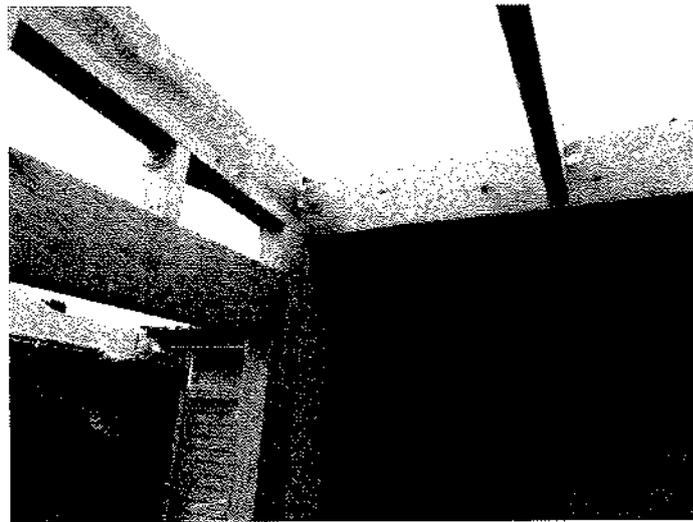
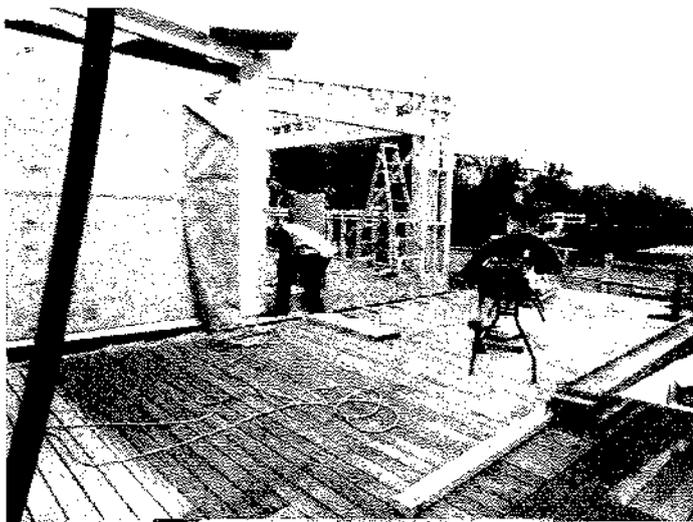
Timber construction underway

Detail SD4 refers , all reo correct

Steel portal in place , all members correct and fixing to SD3 correct

OK to issue PS4

1.3 **Miscellaneous**



PeterBolton
CPEng
Base Consulting Ltd
peter@basecon.co.nz
06-367 0088



Engineering Council of New Zealand



ARCHITECTS



Now

had it

Building Code Clause(s).....

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on page 2)

ISSUED BY:.....BASE CONSULTING ENGINEERS LTD.....

(Design Firm)

TO:.....MRS. S. STEPHENS.....

(Owner/Developer)

TO BE SUPPLIED TO:.....KAPITI COAST DISTRICT COUNCIL.....

(Building Consent Authority)

IN RESPECT OF:.....STEPHENS EXTENSION TO DWELLING.....

(Description of Building Work)

AT: 7 FOREST LANE, RAUMATI

(Address)

..... LOT..... DP..... SO.....

We have been engaged by the owner/developer referred to above to provide THE STRUCTURAL DESIGN FOR:-

Portals & Foundations services in respect of the requirements of
(Extent of Engagement)

Clause(s) ...B1: VM1.....of the Building Code for
All or Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

Compliance Documents issued by the Ministry of Business, Innovation & Employment B1 VM1: AS/NZS: 1170:
NZS: 3101; NZS: 3404 or

(verification method / acceptable solution)

Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the drawings titled STEPHENS

DWELLING and numbered 16018.....;
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions ASSUMED UNSATISFACTORY
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

CM1 CM2 CM3 CM4 CM5 (Engineering Categories) OR as per agreement with owner/developer (Architectural)

I,PETER BOLTON..... am:
(Name of Design Professional)

CPEng56179..... #

Reg Arch #

I am a Member of : IPENZ NZIA and hold the following qualifications:BE CIVIL.....

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ:

SIGNED BYPETER BOLTON..... ON BEHALF OF BASE CONSULTING ENGINEERS LTD
(Design Firm)

Date...22/08/16..... (signature).....

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.



Combined Certificate of Compliance and Electrical Safety Certificate

Unique ID: 5622

Note: If you are using this form to provide only an Electrical Safety Certificate, then only complete sections 1, 3 and 5

1. Customer Information

Customer Name: Murray Stephens
 Customer Phone / Email: 0275555622 kapticomms@slc.co.nz
 Location of Installation: 7 Forest Lane, Raumati South

2. Certifier Information

Certifier Name: Shawn O'Leary Registration / Practising Licence Number: F17118
 Organisation: O.E.S. ELECTRICALS Telephone Number: 027-2755400
 Email: o.e.s@paradise.net.nz
 Name and Registration Number of person(s) involved in work and supervised by certifier: _____

3. Details of work to which certificate applies

The work is: an entire installation a specific part of an installation
 The work is: High Risk General Low Risk (Certificate of Compliance not required)

Indicate the number of each item installed or altered:

Number of lighting outlets: 10
 Number of socket outlets: 4
 Number of ranges: _____
 Number of water heaters: _____

General Description of Work

Lounge extension

Tick (✓) if work includes:

- Mains
- MEN switchboard closest to point of supply
- Main Earthing System
- Electric Lines

Period within / Date on which the work was done: 30/11/16

The work is safe to be connected to: 230/400V MEN System Other (specify) _____

4. Certificate of Compliance

I am satisfied that the work to which this Certificate of Compliance applies has been done lawfully and safely and the information in this certificate is correct. The work:

- complies with Part 1 of AS/NZ 3000 complies with Part 2 of AS/NZ 3000
- complies with the following standard(s): _____
- has been installed in accordance with a certified design (attach or reference*)
- has an earthing system that is correctly rated
- contains fittings which are safe to connect to a power supply
- relies on supplier's Declaration of Conformity (attach or reference*)
- relies on manufacturer's instructions (attach or reference*)
- has been satisfactorily tested in accordance with Electricity (Safety) Regulations 2010
- is safe to connect

Test Results:

	Electrical Worker	Inspector
Polarity (independent earth):		
Insulation resistance:		
Earth continuity:		
Bonding:		
Other (specify):		

Electronic reference: www.stewarts.co.nz

Certifier's Signature: [Signature]

Date: 30/11/16

* If it is impractical to attach a copy of any relevant certified design, manufacturer's instruction or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, through electronic means.

5. Electrical Safety Certificate

Date on which the connection was done: 30/11/16

I am satisfied that the work to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use

Name: Shawn O'Leary

Registration / Practising License Number: F17118

Signature of Connector: [Signature]

Date: 30/11/16

Bill Francis
PO Box 65
Paraparaumu 5254

15 June 2016

Dear Building Consent Applicant / Building Owner

Approval of Building Consent: 160232

Location: 7 Forest Lane, Raumati South
Legal Description: LOT 2 DP 76027 CT F1/217
Description: Extension to living room.

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of Consent.
- that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 296 4700.

Building Consent
160232
Section 51, Building Act 2004

The building

Street address of building: 7 Forest Lane, Raumati South
Legal description of land where building is located: LOT 2 DP 76027 CT F1/217
Valuation number: 1529212300
Building name:
Location of building within site/ block number: Centre of site
Level/unit number:

The owner

Name of owner: Murray and Shelley Stephens
Contact person:
Mailing address: 7 Forest Lane, Raumati South, Paraparaumu 5032
Street address/registered office:
Email address: m-stephens@xtra.co.nz
Website:
Phone numbers:
Landline: *Mobile:* 021 455 448
After hours: *Fax number:*
First point of contact for communications with the council/building consent authority:
Full Name: Bill Francis
Mailing Address: PO Box 65, Paraparaumu 5254
Phones: 296 1248

Building work

The following building work is authorised by this building consent:
Extension to living room.

Residential Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Build conditions

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

- Building Consent Addendum
- List of required inspections
- Plans and specifications


Signature


Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 15/06/16

Addenda to Application

Application

Bill Francis PO Box 65 Paraparaumu 5254	No.	160232
---	-----	--------

Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stage Extension to living room.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential Dwelling
Estimated Value	\$30,000
Location	7 Forest Lane, Raumati South
Legal Description	LOT 2 DP 76027 CT F1/217
Valuation No.	1529212300

Designer: Coastal Architecture Ltd - Bill Francis 11 Kodex Place,
Paraparaumu: 296 1248

General Requirements

- a) The Building Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. Site
 2. Foundations
 3. Subfloor
 4. Pre Wrap
 5. Pre Clad
 6. Weathertightness
 7. Preline - Building
 8. Postline
 9. Final Inspection
- b) To arrange for any of the above required inspections by Building Control Team, please contact the Call Centre on (04) 296 4700 between the hours of 8am and 5pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. Note and comply with endorsements on approved plans.
4. Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with the current NZS3604.
5. Contractor to leave site clear of all demolition materials and in a tidy state.
6. As this site is located in the Severe Coastal Corrosion Zone, all exposed fixings and cladding fixings need to be stainless steel.
7. If cladding is to have pre-finished colour coating, that coating shall be appropriate for the designated coastal conditions of that site.
8. Restrictor stays, limiting sash opening to max 100mm must be fitted wherever sill height is less than 760mm and the difference in levels are 1 metre or greater. Refer F4.NZBC
9. Exterior cladding system to be previously completed and inspected by Council's Inspector prior to any subsequent prelining inspection/approval being granted for the fixing of internal linings.
10. This project contains elements specifically designed by an engineer. The Owner/Builder is required to ensure the Engineer inspects the work and provides KCDC with written evidence of the inspections.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date:

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre-site Inspection**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **12 April 2016 9:39 a.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Fail
Contours match application	Pass
Datum point identified	Pass
Boundaries identified	Pass
Ground conditions checked	Pass
Fences only	
Footpath checked	N/A
Kerb and channel checked	N/A
Grass berm checked	N/A
Existence damage	N/A
Vehicle crossing installed	Pass
Dogs	N/A
Further investigation	Pass
Conforms with approved drawings	Pass
Resource consent	Pass
Producer statement	Pass
Driveway checked	Pass
Position of boundaries and datum height checked	Fail
Surveyor	Pass
N/A	
Engineer supervision required	Pass
Bolton	



Taken at 9:39 AM on Tuesday 12/04/2016



Taken at 9:39 AM on Tuesday 12/04/2016



Taken at 9:39 AM on Tuesday 12/04/2016

Building Consent Number: 160232

Street Address: 7 Forest Lane, Raumati South

Tick indicates documents (s) included in this Building Consent							✓
Building Consent Documentation							✓
Application Workflow Coversheet							✓
Application for a Building Consent Form							✓
Application for a Building Consent Checksheet							✓
Proof of ownership							✓
Costing Schedule							✓
Building plans and specifications							✓
Production Checklist							✓
GoGet Processing Summary							✓
Scope of Inspection Sheet and Inspection Checksheets							✓
<u>1-47</u>							✓
Building consent and memorandum							
Inspection reports							
Application for CCC							
Site Plan							
PIM							
Certificate of Design Work							
Copy of electrical certificate							
Copy of gas certificate							
An "as-built" drainage plan							
Plumbing (Form 125) for pressure test and installation piped services							
Drainage (Form 126) for stormwater installation							
Drainage (Form 127) for private sewer installation							
A Construction Review (PS4) statement for structural engineering							
A Construction Review (PS4) statement for fire engineering							
A Construction Review (PS4) statement for geo-technical engineering							
Roof cladding warranty							
Solar water heating technical specifications							
Wall cladding/texture coating installation applicator warranty							
A copy of the lift certificate							
A certificate from the fire alarm installer							
A certificate from the sprinkler certifier							
A copy of wet-area membrane installers warranty							
A copy of deck membrane manufacturer's installers warranty/guarantee							

BUILDING CONSENT PRODUCTION CHECKLIST



Proposal: Extension to living area	BC: 160232
Address: 7 Forest Lane Raumoti South	Category: 1
Officer:	Residential: <input checked="" type="checkbox"/> Commercial: <input type="checkbox"/>
	Date:

Key	
N/A <input type="checkbox"/>	Not Applicable to this application. (The deletion of whole sections as N/A is permitted. For alternatives comment below each section).
No <input type="checkbox"/>	Plans, specifications & documentation not complying with the Building Code &/or Bld Act (The reason specified alongside each prompt)
Yes <input type="checkbox"/>	Plans, specifications & documentation complying with Category Bld Code &/or Bld Act (The reason specified alongside each prompt)

Site Plan (NZS 3604 Sec 3.4, 4, 5 Code clB1, B2, E1, E2, F1 & F2 Sect. 72, 75 BA04)			
N/A	No	Yes	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wind zone High V/ High Specific (GIS) Site specific (3604)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Flooding / ponding hazards (GIS)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Slippage / fault line hazards (GIS)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Erosion, river & coastal hazards (GIS)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Subsidence / soft soil hazards (Site inspection notes)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Corrosion zone Zone D or Zone C
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soil contamination (F1 GIS)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Distances to boundaries / siting (District plan)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floor levels / contours (E2/AS1 & NZS 3604 E1)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Two or More Allotments (Sec 75 – 83 Bld Act)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Noise / sound insulation (airport & highway)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CT/221 notice reviewed
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outstanding Building Consents, No CCC
			BC:
			BC:
			BC:
Additional comments:			

Ambiguity / Contradictions			
N/A	No	Yes	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Manufacturers Specs
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Engineer compared with Designer/Arch
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Any Other contradictions
Additional comments:			

Commercial Fire report (C/VM1, C/As1, C/AS2, C/AS3, C/AS4, C/AS5, C/AS6, C/AS7, F6, F7, F8)			
N/A	No	Yes	Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Referral to NZFS Fire Engineering unit
Additional Comments:			

Notes

GIS checked no Council services shown within the lot
stormwater to existing.

General stamp prompts:

- | | |
|-------------------------------|----------------------------------|
| Wind Zone | Set Status |
| Corrosion | Complete checklist |
| Cladding and Roofing | Addendum and note re fire report |
| Electrical | Section 72 / ponding |
| Compliance Schedule | Set inspections |
| Boundary setting out | Glazing |
| Engineers design and addendum | Sec 72 |
| Slip resistance | Hazard Assessment |

Change of Use – Sec 114: (Record decisions and basis for decisions – confirm whether sec 115 applies)

Date:		

Alteration to Existing Building - Sec 112 (Record decisions and basis for decisions – confirm whether sec 118 applies and if so, has it been complied with?). List conditions / communications / actions:

Date:	Moeff continue to comply	

Hazards – Sec 71-74: (Record decisions and basis for decisions – see under "site plan above already done")	Letter Sent	
	Yes <input type="checkbox"/>	No <input type="checkbox"/>

Date:		

Compliance Schedule – Sec 100 - 107: (Record if new / amended compliance schedule required, and attach copy of replica compliance schedule. Ensure that note is recorded on building consent that new / amended compliance schedule will be issued).

Date:		

Declaration of Owner-builder

N/A	Yes	Comments
<input type="checkbox"/>	<input type="checkbox"/>	Declaration of Owner-builder
<input type="checkbox"/>	<input type="checkbox"/>	Design
<input type="checkbox"/>	<input type="checkbox"/>	Building

Owner-builder register – Edocs: 406692

Inspections

No of inspections estimated on application	No of inspections estimated at processing	Additional fees actioned if required

CODE COMPLIANCE CERTIFICATE REVIEW CHECKSHEET

Criteria: All building work except for minor works or major projects.
Refer QAS: B14, B15, B16



Address of Project:	
Date:	BC No:

	N/A	Yes	No
Application for Code Compliance Certificate (Form 278) completed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Confirm all required inspections and been completed and passed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If inspections have been missed, what supporting information and method of verification has been provided to compensate for missed inspections?

For consents issued after change to inspection fees on 1 July 2015	
Inspections estimated at time consent issued (number)	
Inspections undertaken (number)	
Number of extra inspections to be invoiced and paid before CCC issued	
<input type="checkbox"/> Invoice actioned Date:	

	N/A	Yes	No
Work in accordance with approved consent and approved amendments	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If no, has NTF been issued?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Have items of non-compliance been resolved and NTF uplifted?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: If work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate.

Supporting documentation required in Building Consent addenda. Form completed during BC Approval process

<i>Tick indicates yes, N/A indicates considered – but not applicable</i>	Req'd	Supplied	Accept
Copy of electrical certificate	✓		
Copy of gas certificate			
An "as-built" drainage plan			
Plumbing (Form 125) for pressure test and installation piped services			
Drainage (Form 126) for stormwater installation			
Drainage (Form 127) for private sewer installation			
A Construction Review (PS4) statement for structural engineering	✓		
A Construction Review (PS4) statement for fire engineering			
A Construction Review (PS4) statement for geo-technical engineering			
Roof cladding warranty	✓		
Solar water heating technical specifications			
Wall cladding/texture coating installation applicator warranty			
A copy of the lift certificate			
A certificate from the fire alarm installer			
A certificate from the sprinkler certifier			
A copy of wet-area membrane installers warranty			
A copy of deck membrane manufacturer's installers warranty/guarantee	✓		
FPIS (verifier) Fire Systems Certification	<i>Original letter</i>		
Specified Systems – Make - Model - Location			
A copy of windows	✓		
A copy of water tank warranty			
A copy of septic tank warranty			
Record of work	✓		
Owner Builder Statutory Declaration			
Building Consent Amendment Documentation Filed			

If specified supporting documentation has not been provided, what alternative information or verification method has been provided to compensate? *(Describe)*

Compliance Schedule	Yes	No
Is a new or amended compliance schedule required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If "Yes" Has it been issued? (Refer note below)	<input type="checkbox"/>	<input type="checkbox"/>
If the new/revised compliance schedule has not been issued, what action has been taken to ensure it will be issued? (Outline)		

Note: If the draft/ revised compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Suspend issuing CCC until this matter is addressed.

Building Consent Requirements	Yes	No
Are there any items specified in the Building Consent or PIM that have not been completed? (If yes, outline below)	<input type="checkbox"/>	<input type="checkbox"/>
Are there any development impact fees to be paid outstanding? (if Yes, CCC cannot be issued)	<input type="checkbox"/>	<input type="checkbox"/>
Are there any other outstanding fees? (if Yes, CCC cannot be issued)	<input type="checkbox"/>	<input type="checkbox"/>

Decision
Issue Code Compliance Certificate? <input type="checkbox"/> or Refuse Code Compliance Certificate? <input type="checkbox"/>
Give reasons for decision:
<input type="checkbox"/> On review of the inspection notes and supporting documentation it can be considered on reasonable grounds that all work has been completed in compliance with the Building Consent.
OR
<input type="checkbox"/> Other

Building officer:	Co-reviewer:	
Signature:	Signature:	
Date:	Date:	
Name:	Name:	
Copies	Yes	No
File: Compliance Schedule, Compliance Schedule Statement, and CCC placed on file.	<input type="checkbox"/>	<input type="checkbox"/>
Applicant: Copies of Compliance Schedule, Compliance Schedule Statement sent out with the CCC	<input type="checkbox"/>	<input type="checkbox"/>
Inspection Pack: Add copies of Compliance Schedule, Compliance Schedule Statement and CCC	<input type="checkbox"/>	<input type="checkbox"/>

This page is intentionally left blank

VEHICLE CROSSING INSPECTION FORM

Building Consent: _____

Date: _____

To: Building Inspectors

Owner: _____

Address: _____

Can you please inspect the above Vehicle Crossing, footpath and berm and return the completed form to me signed.

Thank you

Inspected by:	_____
Date Inspected:	_____
Approved:	<input type="checkbox"/> YES <input type="checkbox"/> NO

COMMENTS:

Leaflets undersized &
Calculation for internal gutter

16 May 2016

COPY

Bill Francis
PO Box 65
Paraparaumu 5254

Dear Building Consent Applicant/Building Owner

Request for Further Information – Building Consent: 160232

Site Address: 7 Forest Lane, Raumati South
Legal Description: LOT 2 DP 76027 CT F1/217
Project Description: Extension to living room.

Following checking of your Building Consent it is apparent that further information is required.

Information needed:

BUILDING

1. Internal gutter calculations required as laid out in E1/AS1.
2. Where different claddings abut, details of the junction are required.
3. Lintels are undersized

We have suspended your application and will not proceed any further with its processing until the above information is received. Please send it to us by 16 June 2016. If we do not receive it by this date, we may not be able to issue your Building Consent.

If you have any questions or you would like to discuss this matter, please contact me on (04) 296 4700 or 0800 486 486 referencing Building Consent No 160232.

Yours sincerely

Stuart Nepia
Building Officer

Stuart Nepia

From: Bill Francis <billfrancis@paradise.net.nz>
Sent: Thursday, 19 May 2016 2:09 p.m.
To: Stuart Nepia
Subject: 7 Forest Lane BC 160232
Attachments: Pg 5.pdf; Pg 6.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Stu,

Requested info attached

Regards

Bill

APPLICATION WORKFLOW COVERSHEET (Blue Folder)

Department	For Referral	Comments	Approving Officer / Date
Site Inspection	✓	Refer to Form 241 for completion of Site Inspection & sign off this form when completed.	
Resource Consents (refer PIM Sheet)	✓		
Plumbing and Drainage	✓		
Building	✓	<i>[Signature]</i>	<i>[Signature]</i> 27/4/2016 15-06-16
Fire Design			
Compliance Schedule			
Environmental Health			
Other.....			
Attachments: <input type="checkbox"/> PIM <input type="checkbox"/> DIF <input type="checkbox"/> CS <input type="checkbox"/> Sec 37/ <small>Building work related to this consent may not yet commence because you need to obtain resource consent/s under the Resource Management Act 1991 or the proposal must be amended to comply with the requirements of the District Plan.</small> Other: <input type="checkbox"/> <input type="checkbox"/>		NOTES:	

Building Consent No.	160032
Building Project	Extension to Living Room
Location (Site Address)	7 Forest Lane, Raumati South
Building Category	Circle appropriate category 0 (R1) R2 R3 C1 C2 C3

Received:
08 APR 2016
BY: *[Signature]*

RBW

Note: A signature confirms that the application contains sufficient information to enable compliance with the building code to be assessed.

	Name and signature	Date
# Note: Checked, date stamped and initialled by TO/BCO. Select and circle appropriate category above & identify allocation to appropriate technical groups and if required to go to "site inspection" BC1	<i>[Signature]</i>	11/04/16
Payment taken and receipted (details entered inside this cover sheet) by CSO BC1		
Data entered and invoiced by CSO BC1	Angie	11/04/16
Pages numbered by CSO BC1	<i>[Signature]</i>	11/04/16
BC Application and documentation scanned, checked & status update by CSO BC1	Angie	11/04/16
BC Application signed over to BC BC1	Angie	11/04/16
Application reviewed by Technical Officers who sign off at back of this form BC2 & BC5	<i>[Signature]</i>	15-06-16 27/4/2016
Once Technical review complete, passed to CS for Plan Production and Invoicing BC3	<i>[Signature]</i>	15-06-16
CSO checks data entry input, including required inspections BC3		
BC, plans and other appropriate paperwork produced by CSO BC3	Angie	15/06/16
BC, Approved plans and appropriate paperwork sent to applicant or agent with receipt by CSO BC3		
Inspection envelope prepared by CSO with endorsed plans and other appropriate paperwork and filed to cabinet. BC3		

CONSENT DATA INPUT REQUIREMENTS

✓ Required Inspections	✓ Required Inspections	✓ Required Inspections	✓ Required Inspections
✓ Foundation/Piles	Drainage	Pre-lining (Plumbing)	✓ Final (Dwelling)
Block	✓ Pre-Wrap	Wet Areas – Membrane	Final (Commercial)
Pre-Slab (Plumbing)	✓ Pre-Clad	✓ Post Lining	Chimney (Inbuilt Fire)
Pre-Slab (Building)	✓ Weathertightness	Brick Veneer	
✓ Sub-Floor	✓ Pre-lining (Building)	Retaining Wall	

Office use	✓	Office use	✓
32	✓	Lapse and cancellation after 12mths of consent	23A
2	✓	Engineer design specific components	25
3		Foundations to solid bearing of 200mm	30
4		NZS3604 as acceptable solution in terms of NZ Building Code	31
6		Not approved as Habitable Room	33
9	✓	Note and comply with all endorsements on approved plans	34
10		Names and Registration of plumber and drain-layer required	38
11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	39
12		Hot & Cold water pipes tested to 1500kPa	40
13		Roof stormwater to be connected to existing	43
15		Owner/builder to ensure prop foundation height will allow satisfactory connection	44
21	✓	Minimum FFL to comply with NZS3604	
23		Installation of solid fuel appliance (wood burner) comply and secured	

Act Ref	✓	Standard Consent Conditions	Comment
37		Resource Consent has not yet been obtained	
72 - 73		Land subject to natural hazard	
75-80		Construction on two or more allotments	

Non-Standard Addenda

Yes/No	NO	Compliance Schedule
Yes/No		Office - please see additional consent data comments on next page

Attach Receipt	
✓	This project contains elements specifically designed by an engineer. The Owner/Builder is required to ensure the Engineer inspects the work and provides KCDC with written evidence of the inspections.
	The attached fire report constitutes an essential part of this Building Consent and must be read and fully implemented on site - refer to the fire report for full details that are not necessarily indicated on the architectural drawings. It is the responsibility of the owner and contractor to ensure the full fire precautions, systems and construction are incorporated in the building.
	Ground bearing must be reconfirmed on site following excavation but prior to placing of concrete and reinforcing. Soft ground may be encountered requiring engineer specific design.
	Other:
Office Use Only: Fees	
Building Consent Fee	\$ 985.00
Inspection Fee	\$ 892.00
Sewer Connection	\$
Water Connection	\$
Building Research Levy	\$ 30.00
Vehicle Crossing Damage Deposit	\$
Certificate of Title Charge	\$
MBIE Building Levy	\$ 60.30
Compliance Schedule	\$
Code Compliance Certificate	\$ 72.00
Accreditation Levy	\$ 30.00
Photocopying District plan check	\$ 143.00
SUBTOTAL	\$
Less Fee Paid	\$
Total	\$ 2212.30
Application Fee	\$ 2212.30
Invoice No: 12867	Date: 11/04/16.
Receipt No:	Date:
Fees Paid By:	
Building Consent Number: 160232	
Date Issued: 11/04/16.	
AUTHORISATION FOR REFUND OF DEPOSITS	
Deposit Held	\$
Cost to Repair Damage Caused During Construction	\$
Total Balance to be Refunded	\$
Authority Number:	
Authorised:	Date:
Deposit Held	\$

RECEIVED
08 APR 2015
BY: SM1-10

Endorsements made on any single page apply equally to the entire project.

APPROVED
BY BUILDING
Stuart Nepia
15/06/2016

APPROVED
BY
PLUMBING
AND
DRAINAGE
Simon C
27/4/2016

RBW

PROPOSED ADDITION

FOR STEPHENS 7 FOREST LANE, RAUMATI SOUTH

CAUTION
Plans have been digitally reproduced and may not be to scale.

CONTENTS:

- 1 - SITE PLAN
- 2 - EXISTING & PROPOSED FLOOR PLANS
- 3 - FOUNDATION PLAN
- 4 - ROOF PLAN
- 5 - ELEVATIONS
- 6 - SECTION
- 7 - DETAILS
- 8 - DETAILS
- 9 - E2 MATRIX

BOUNDARY LINES
The Owner/Builder is responsible for clearly defining the site boundary lines and pegs. This may require a survey.
NOTE: established fences are not necessarily on the site boundary.

Noisy Equipment

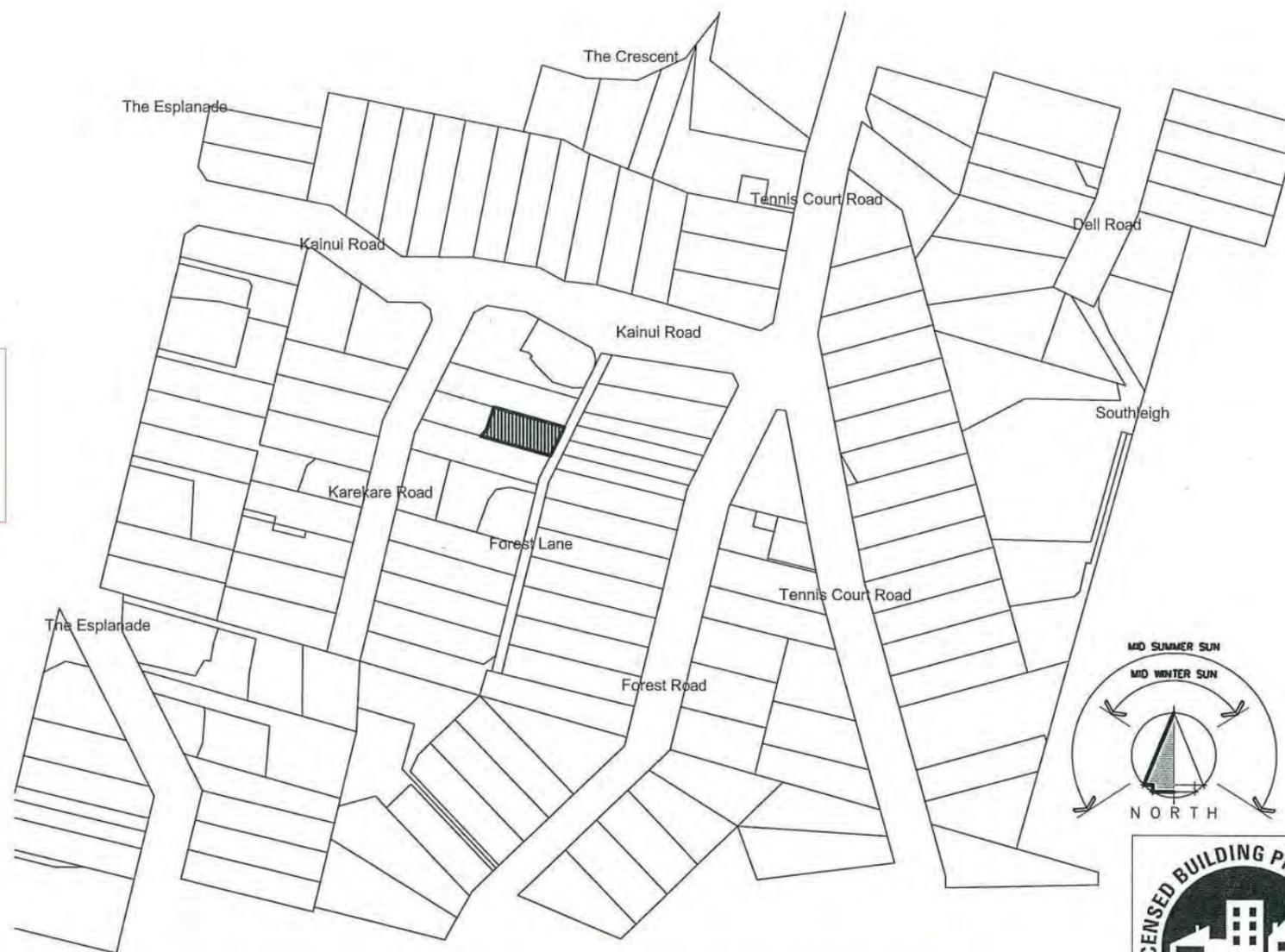
It is the responsibility of the owner to ensure that no work with noisy equipment shall be carried out before 7:30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6:30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays or public Holidays.

NOTES:

CAUTION - PLANS HAVE BEEN DIGITALLY REPRODUCED & MAY NOT BE TO SCALE.

ALL WORK CARRIED OUT TO CONFORM TO RELEVANT BUILDING CODE & STANDARDS FOR LIGHT TIMBER FRAMED CONSTRUCTION.

ALL WORK CARRIED OUT UNDER JURISDICTION OF PRODUCER STATEMENT TO MEET THE ENGINEER REQUIREMENTS FULLY.



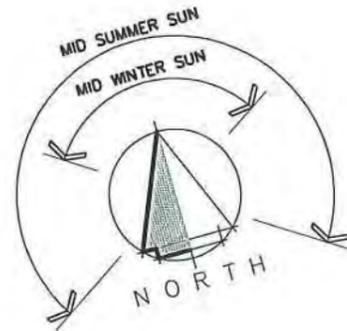
COASTAL
ARCHITECTURE LTD.

Ensure that waste disposal facilities are provided as part of the the building project and met the requirements of G15



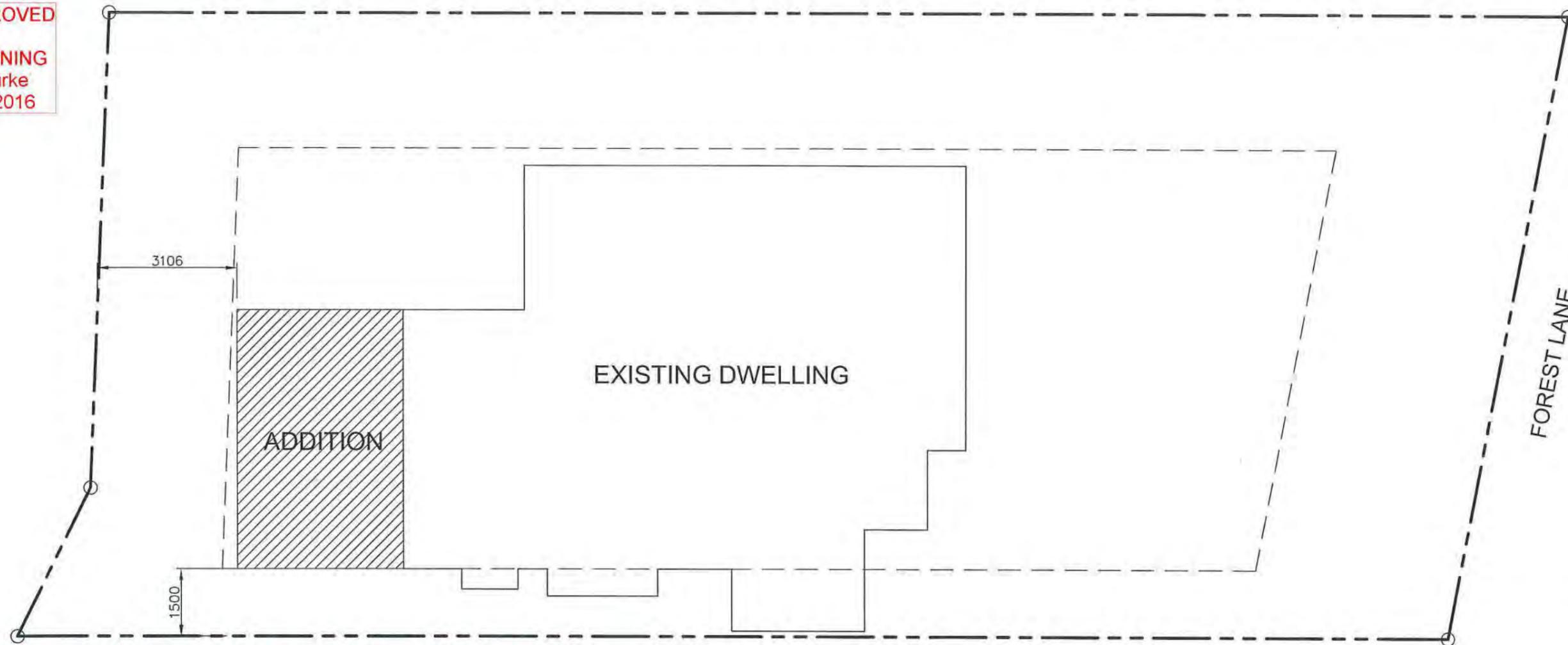
7
LOT 2
DP 76027
SITE AREA = 436m²
DWELLING = 106m²
ADDITION = 21m²
COVERAGE = 29%

VERY HIGH WIND ZONE
COASTAL CORROSION ZONE



Revisions:
MARCH 2016 rev A
RECEIVED
08 APR 2016
BY:

APPROVED
BY
PLANNING
Jill Burke
6/05/2016



Project:
**PROPOSED
ADDITION**

7 FOREST LANE,
RAUMATI SOUTH

Client:
STEPHENS

Drawing Title:
SITE PLAN

Designer:
**COASTAL
ARCHITECTURE LTD.**
11 Kodex Place
Paraparaumu
New Zealand
Tel: 04 296 1248
e-mail : billfrancis@paradise.net.nz

Design: Bill Francis
Drawn: bf
Scale: as shown

Job: 147
Page of: 1
Rev: A



The Council has no record of any services in the vicinity of of the proposed work. Take care.

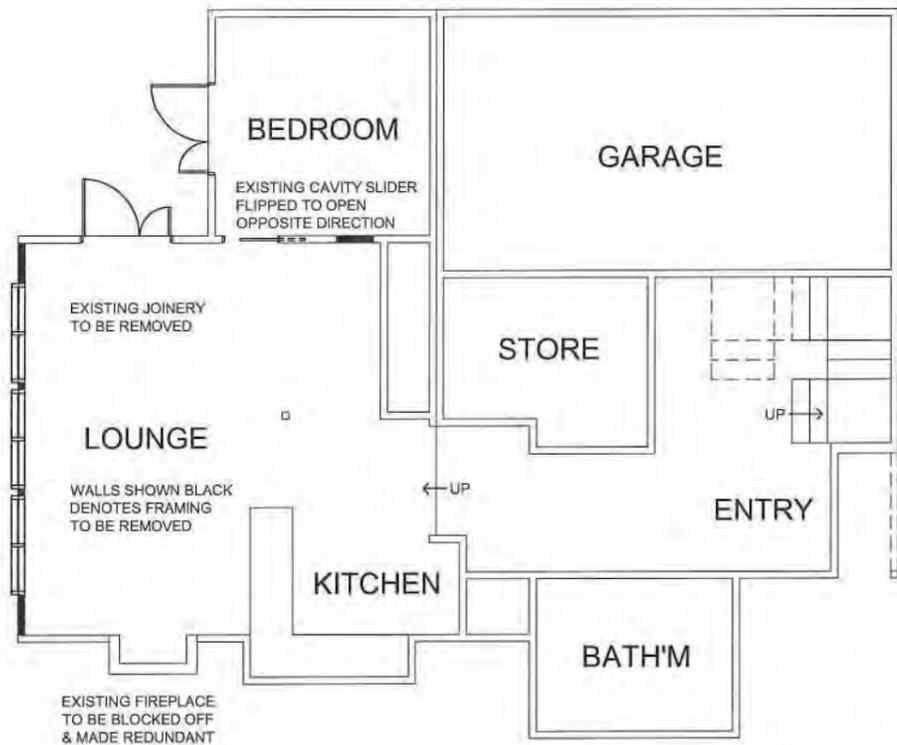
Ensure that any services are sited clear of the proposed work.

SITE PLAN

SCALE 1:100

All work shall be in accordance with the NZBC. If in doubt ASK
The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified.
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Revisions:
 MARCH 2016 rev. A
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EXISTING FLOOR PLAN

SCALE 1:100
 AREA = 106m²

NOTES:

GENERAL NOTES:

- All work must be carried out to conform to relevant sections of the New Zealand Building Code and New Zealand Standards - in particular NZS 3604, NZS 3602 & NZS 4218. All references to Standards shall be taken as reference to the latest revision including amendments.
- Ground bearing must be reconfirmed on site following excavation but prior to placing concrete and reinforcing.
- Confirm site boundaries with licenced surveyor. Fences may not necessarily be on the legal boundary.
- All work to be carried out to best trade practice
- Do Not Scale off Building Consent Documentation issued from TA's as the plans may have been scanned and the scale distorted.
- All habitable rooms to have 5% of their floor area as opening windows or approved alternative to achieve ventilation requirements

- Window openings to be 20mm larger than window sizes (10mm tolerance each side)
- Allow for dwangs to fix fittings as required by owner.
- Wall junctions shall be framed up with not less than 2 studs blocked and nailed.
- Maximum diameter hole in 90mm stud to be 25mm or 35mm diameter where not more than 3 consecutive studs are drilled.
- Lintels supporting rafters or trusses shall be secured against uplift as per clause 8.6.1.8 & figure 8.12, NZS 3604:2011. 25x1mm strap with 6/30x2.5mm nails into both lintel & stud & 25x1mm strap taken under plate & up 150mm each side of stud fixed with 6/30x2.5mm nails into each side of stud
- Confirm building wrap is able to be used with timber treatment.

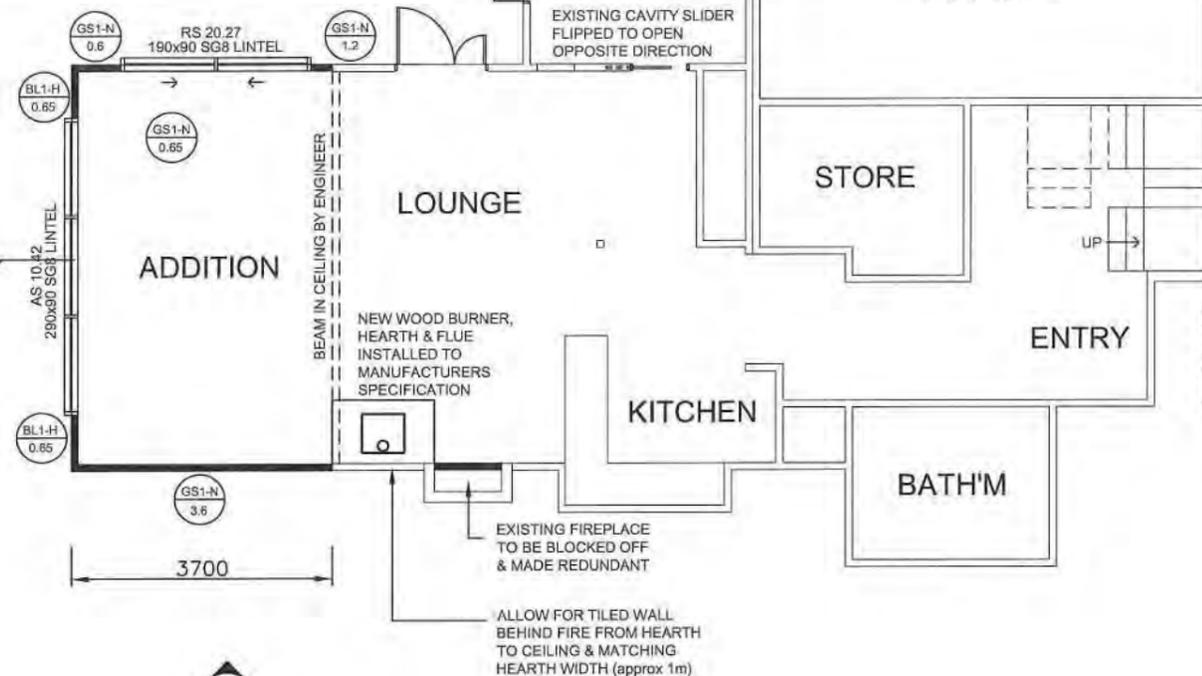
BRACING VALUES
 2 x BL1-H 0.65m = 132W / 132E
 MIN REQUIRED = 86

NOTE: ALLOW FOR SMOKE DETECTORS TO BE INSTALLED IF NOT ALREADY THERE IN ENTRY & MIN 3m FROM ANY BEDROOM DOOR

BRACING VALUES
 GS1-N 0.6m = 34W / 35E
 GS1-N 1.2m = 83W / 72E

BRACING VALUES
 GS1-N 3.6m = 248W / 216E

WALLS SHOWN BLACK DENOTES NEW 90x45 TIMBER FRAMING



PROPOSED FLOOR PLAN

SCALE 1:100
 AREA = 127m²

Provide electrical certification after completion and prior to Code Compliance Certificate being issued

FRAMING

Exterior Walls & Internal Load Bearing Walls:
 • Up to 2.7m - 90x45 SG8 at 300 crs H1.2

INTERNAL LININGS

WALLS:
 • Generally - 10mm Standard Gib Board

CEILING:

• Generally - 13mm Standard Gib
 • Back block sheet joints and allow for control joints as required by manufacturer

Top Plate Fixing

The fixing of top plates supporting roof trusses to wall studs or lintels shall be in accordance with figure 8.14, 8.15 & 8.18 NZS 3604:2011. Joints in top plates to comply with clause 8.7.3 NZS 3604:2011

Bottom Plate Fixing

10mm Ø cast in @ max 900 crs
 12mm Ø cast in @ max 1400 crs
 Approved anchors (fixed to manufacturers specific instructions)
 • Holes in plates to comply with clause 8.5.1.6 & figure 8.4, NZS 3604:2011
 • Refer to Bracing Plan and Manufacturers specifications for additional framing fixings.

COASTAL ARCHITECTURE LTD.
 11 Kodex Place
 Paraparaumu
 New Zealand
 Tel: 04 296 1248
 e-mail : billfrancis@paradise.net.nz

Design: Bill Francis
 Drawn: bf
 Scale: as shown

Job: 147
 Page of: 2
 Rev: A



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BASE BOARDS WITH 10mm VENTILATION GAPS
ALLOW FOR SUBFLOOR VENTILATION TO
COMPLY WITH NZS 3604 2011 CLAUSE 6.14

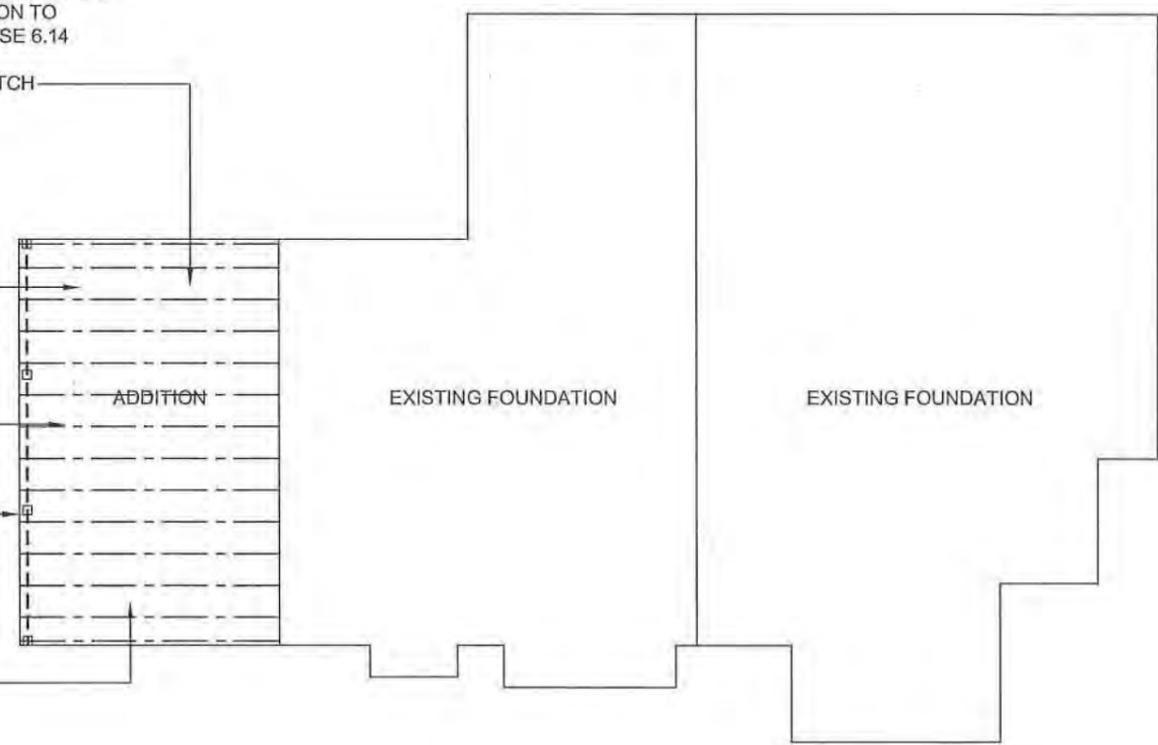
ALLOW FOR SBFLOOR ACCESS HATCH

20mm HD PARTICLE
BOARD FLOORING

240x45 H1.2 JOISTS
@ 450mm CRS ON
140x90 H1.2 BEARER

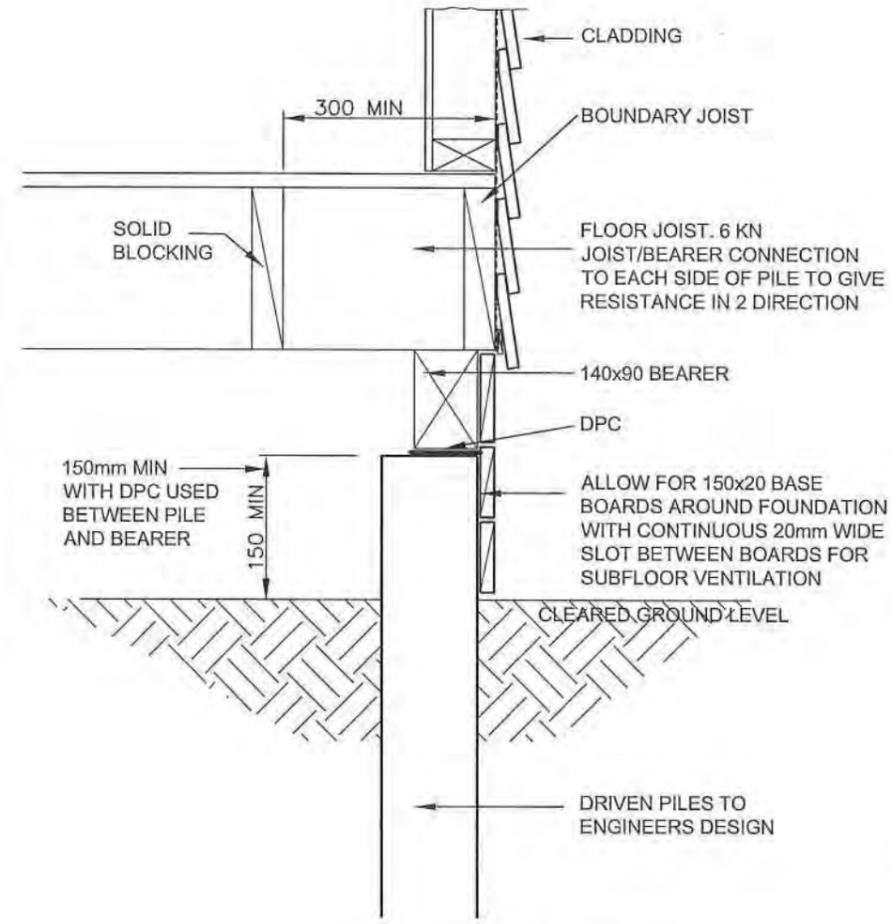
PILES DESIGNED
BY ENGINEER

ALLOW FOR EXPOL UNDER
FLOOR INSULATION



SUBFLOOR BRACING BY ENGINEER

FOUNDATION PLAN SCALE 1:100



PILE DETAIL SCALE 1:10

Project:
**PROPOSED
ADDITION**

7 FOREST LANE,
RAUMATI SOUTH

Client:
STEPHENS

Drawing Title:
FOUNDATION

Designer:

COASTAL
ARCHITECTURE LTD.

11 Kodex Place
Paraparaumu
New Zealand

Tel: 04 296 1248
e-mail : billfrancis@paradise.net.nz

Design: Bill Francis
Drawn: bf
Scale: as shown

Job: 147 Page of: 3 Rev: A

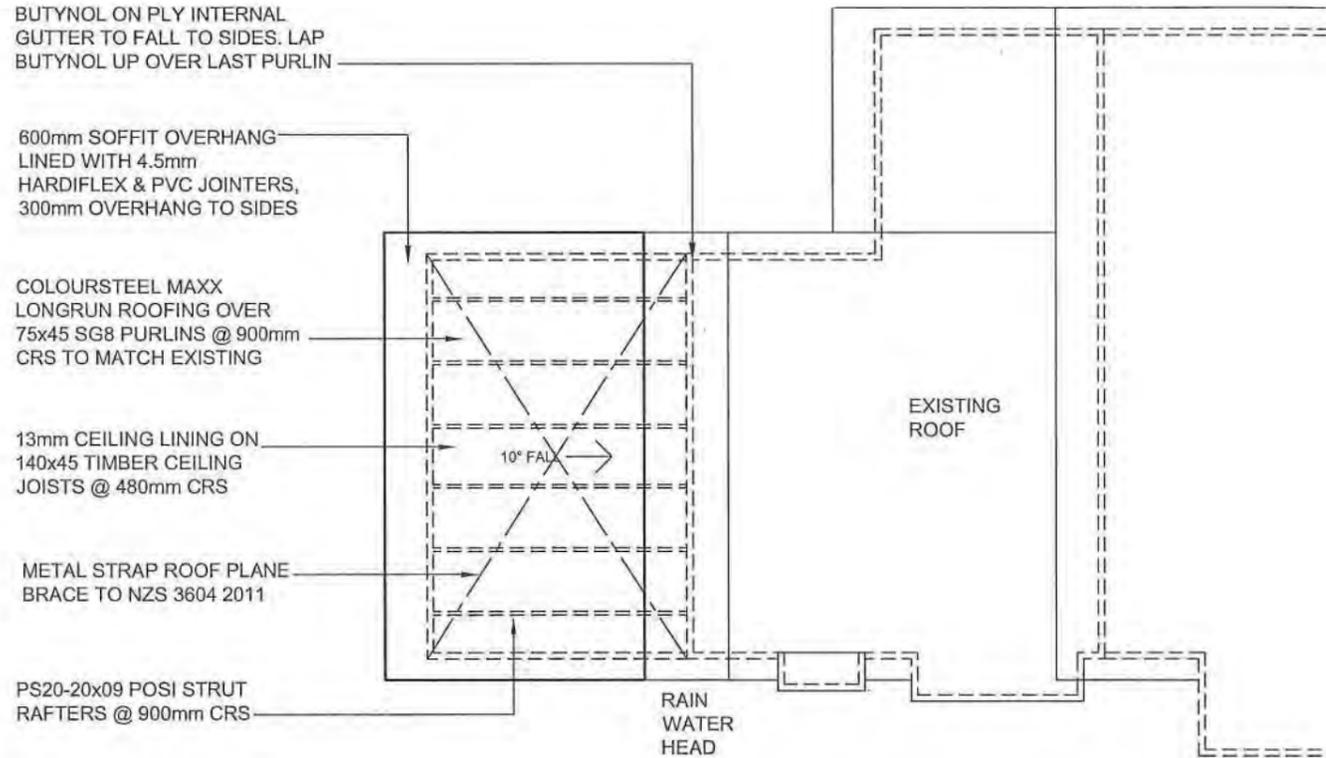


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Ensure that there are sufficient down pipes installed to cope with the new roof area.

BC 160232

Revisions: 00005
 MARCH 2016 rev A
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 BY:



DOWNPIPE TO CONNECT INTO EXISTING STORMWATER PIPE

TRUSSES

WHERE THE BOTTOM CHORD OF A TRUSS CROSSES AN INTERNAL WALL CONTAINING ONE OR MORE WALL BRACING ELEMENTS, THE TRUSS SHALL BE CONNECTED TO THE TOP PLATE OF THE WALL EITHER DIRECTLY OR BY A CEILING BATTEN RUNNING PARALLEL TO THE PLATE AND FIXED TO BOTH THE PLATE AND THE BOTTOM CHORD. AS PER CLAUSE 10.4.1.2 NZS 3604:2011

DO NOT SUPPORT BOTTOM CHORD OF TRUSS AT POINTS OTHER THAN THOSE DESIGNATED BY THE TRUSS MANUFACTURER

ALL ROOF FRAMING TO BE H1.2

ROOF FRAMING FIXINGS

TRUSSES

FIXINGS FOR A ROOF TRUSS AT ITS SUPPORT SHALL BE AS GIVEN BY THE TRUSS MANUFACTURERS DESIGN BUT **SHALL BE NOT LESS THAN:** 2/90x3.15 SKEWED NAILS & STRAP FIXING (see figure 10.6 NZS 3604:2011)

PURLINS TO TRUSSES

1/10g SELF DRILLING SCREW, 80mm LONG (2.4kN FIXING CAPACITY)

SUPPLY COPY OF RELEVANT WARRANTIES FOR ROOFING, MEMBRANE SYSTEMS & FASCIA / GUTTER SYSTEMS AS APPROPRIATE TO COUNCIL

ROOFING MATERIAL TO BE INSTALLED TO MANUFACTURERS REQUIREMENTS IN PARTICULAR, FIXING & MINIMUM PITCH (REFERENCE ALSO SECT 8 OF E2 NZ BUILDING CODE)

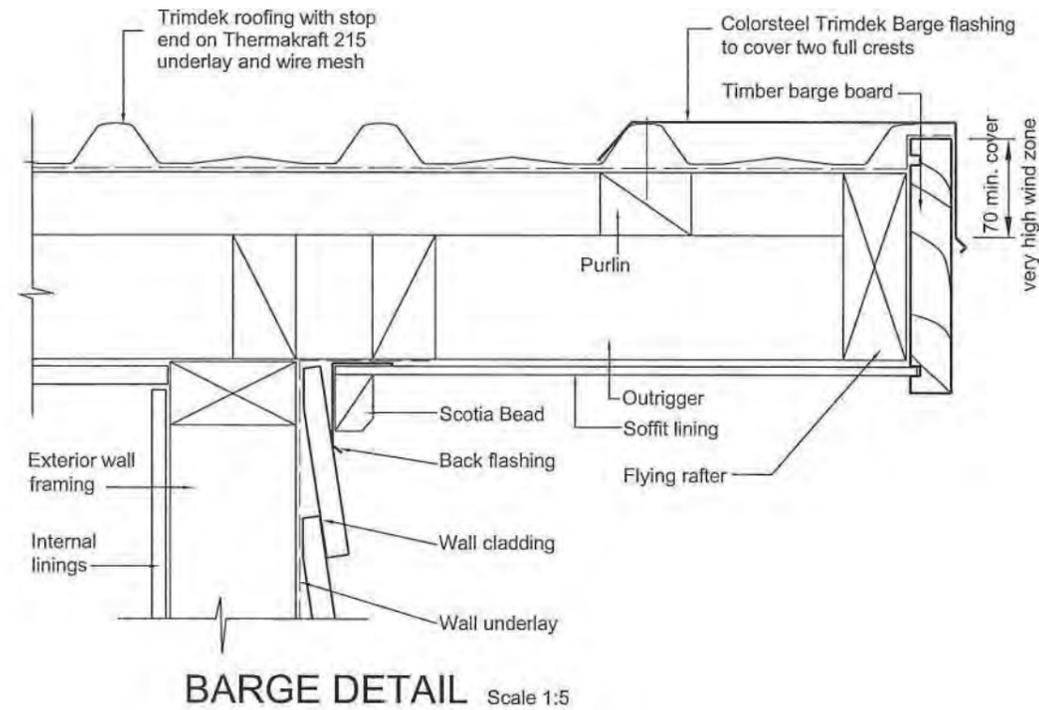
SOFFITS

UNFINISHED HARDIES SOFFITS MUST BE PAINTED TO COMPLY WITH NZBC DURABILITY REQUIREMENTS

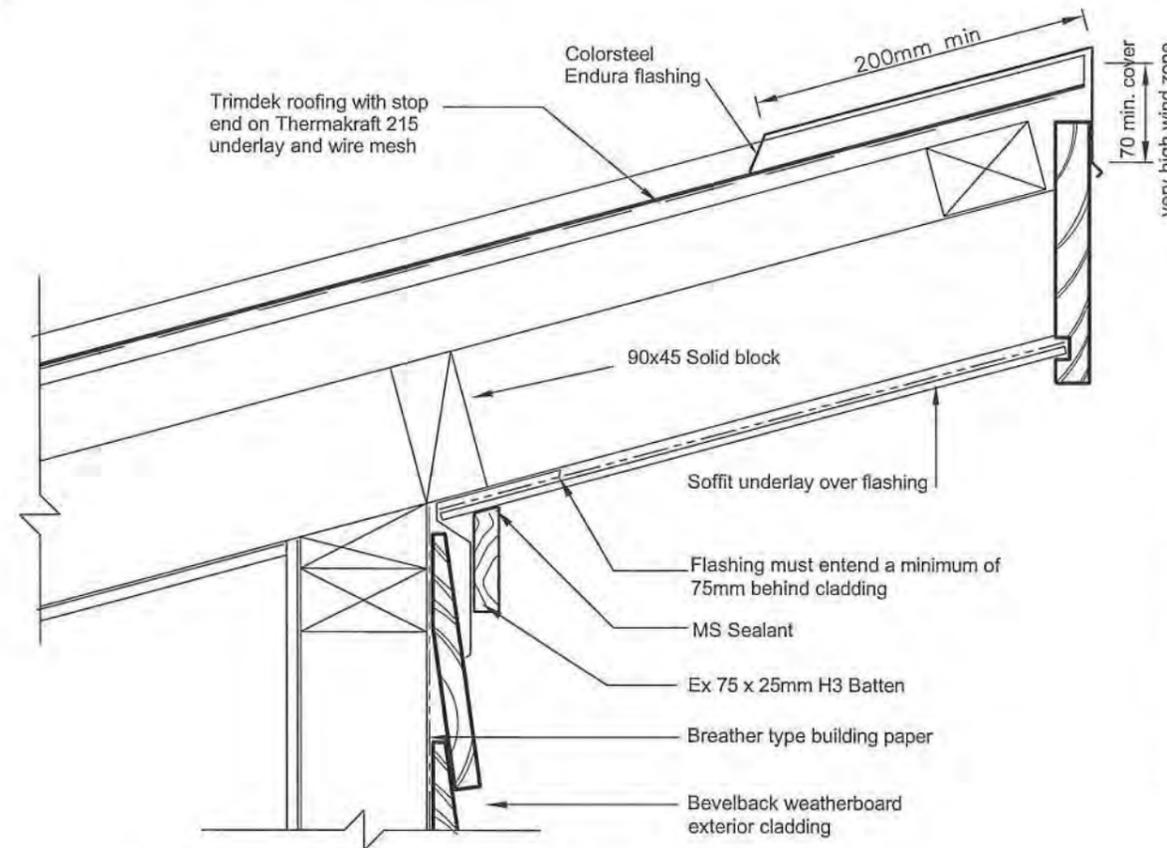
SPOUTING

FRONT EDGE OF SPOUTING TO BE 20mm BELOW TOP EDGE OF FASCIA

ROOF PLAN SCALE 1:100



BARGE DETAIL Scale 1:5



REVERSE SOFFIT DETAIL SCALE 1:5

Project:
PROPOSED ADDITION
 7 FOREST LANE,
 RAUMATI SOUTH
 Client:
 STEPHENS
 Drawing Title:
ROOF PLAN

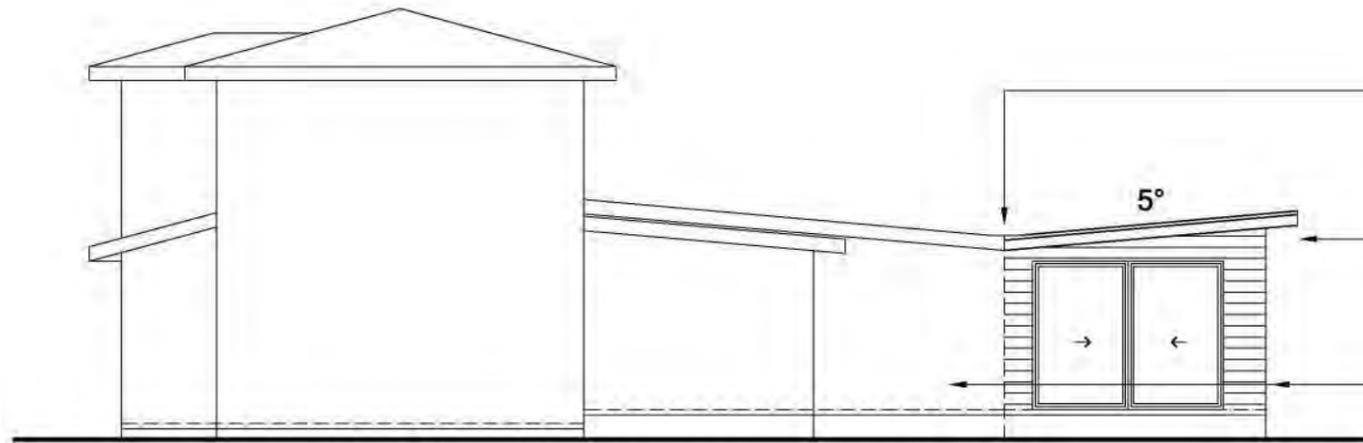
Designer:
COASTAL ARCHITECTURE LTD.
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Design: Bill Francis
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Job: 147
 Page of: 4
 Rev: A



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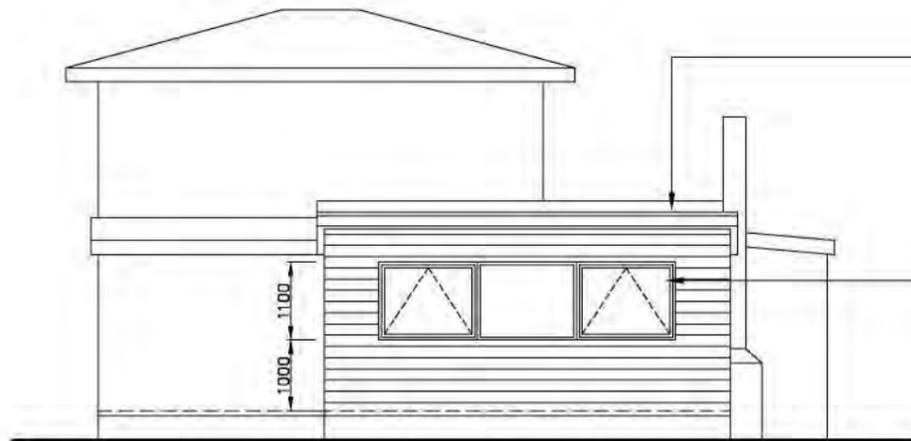
NORTH ELEVATION 2 SCALE 1:100

BUYNOL ON PLY INTERNAL GUTTER
LAYED TO FALL TO RAINWATER HEAD

5°

450mm SOFFIT OVERHANG LINED WITH
4.5mm HARDIFLEX & PVC JOINTERS

LINEA WEATHERBOARD EXTERIOR
CLADDING WITH BOXED CORNERS
& FACINGS AROUND JOINERY TO
MATCH EXISTING
NOTE: RECLAD EXISTING WALL TO
MATCH NEW CLADDING

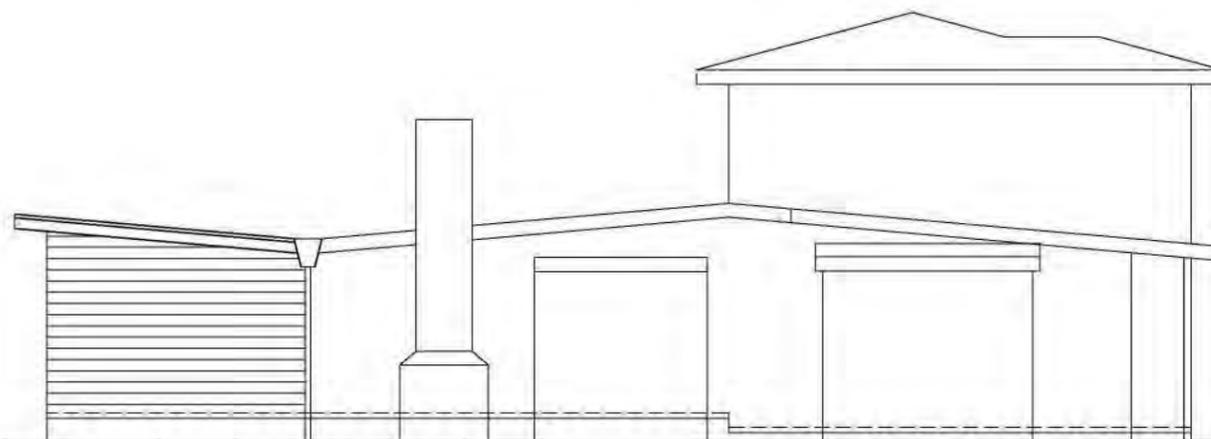


WEST ELEVATION 3 SCALE 1:100

TRIMDEK COLOURSTEEL MAXX ROOFING
OVER 70x45 H1.2 SG8 PURLINS @ 900mm CRS

POWDER COATED ALUMINIUM JOINERY
WITH SUITABLE HEAD FLASHINGS

NOTE:
ALL CLADDINGS, ROOFING & SPOUTING SYSTEMS TO BE MAINTAINED BY
OWNER IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS &
WARRANTEE REQUIREMENTS.
CLADDING TO BE INSTALLED TO MANUFACTURERS REQUIREMENTS IN
PARTICULAR FIXING & GROUND CLEARANCE.
ALSO REFER TO NZBC, CLAUSE E2/AS1, EXTERNAL MOISTURE FOR CLARITY
ALL JUNCTIONS TO CLADDINGS & OTHER EXTERNAL MOISTURE
PROTECTION AREAS TO HAVE CAPILLARY GAPS/BREAKS & INSEALS WHERE
RELEVANT, STOPPING WIND DRIVEN OR SURFACE TENSION WATER



SOUTH ELEVATION 4 SCALE 1:100

ALL WINDOWS HAVE DOUBLE GLAZING

RESTRICTOR STAYS TO LIMIT SASH OPENING TO MAX 100mm MUST BE
FITTED WHERE EVER SILL HEIGHT IS LESS THAN 760mm & THE DIFFERENCE
IN LEVELS ARE 1m OR GREATER. REFER F4 NZBC

SAFETY GLASS AS REQUIRED BY NZS 4223 PT 3 1999 VERSION TO BE
PROVIDED TO ALL WET AREA JOINERY, GLAZED DOORS, SIDE PANELS, FULL
HEIGHT WINDOWS & WINDOWS WITH SILLS LESS THAN 500mm FROM FFL.

SILL SUPPORTS TO MANUFACTURERS SPECIFICATIONS & DETAILS

THE SUPPLIER AND THE MAIN CONTRACTOR SHALL CHECK ALL DIMENSIONS
ON SITE AND CONFIRM PRIOR TO MANUFACTURE.

EXTERIOR JOINERY TO COMPLY WITH NZS 4211, DESIGN TO VERY HIGH
WIND PRESSURE AND SUITABLE HEAD FLASHINGS TO BE FITTED TO ALL
UNITS.

GLAZING TO CONFORM NZS 4223 PT 1, 2 & 3 1999 VERSION
HIGH WIND 1100pa DWP
VERY HIGH WIND 1550pa DWP

Project:
**PROPOSED
ADDITION**

7 FOREST LANE,
RAUMATI SOUTH

Client:
STEPHENS

Drawing Title:
ELEVATIONS

Designer:

COASTAL
ARCHITECTURE LTD.
11 Kodex Place
Paraparaumu
New Zealand
Tel: 04 296 1248
e-mail : bffrancis@paradise.net.nz

Design: Bill Francis
Drawn: bf
Scale: as shown

Job: 147
Page of: 5
Rev: B



All work shall be in accordance with the
NZBC. If in doubt ASK
The Contractor must verify all dimensions on
the job before commencing any work or shop
drawings. Figured dimensions are to be used,
scaled dimensions must be verified.
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document is prohibited from disclosing its
content for any purpose without the prior
written consent of Coastal Architecture Ltd

Project:
PROPOSED ADDITION

7 FOREST LANE,
 RAUMATI SOUTH

Client:
 STEPHENS

Drawing Title:
SECTION A

Designer:

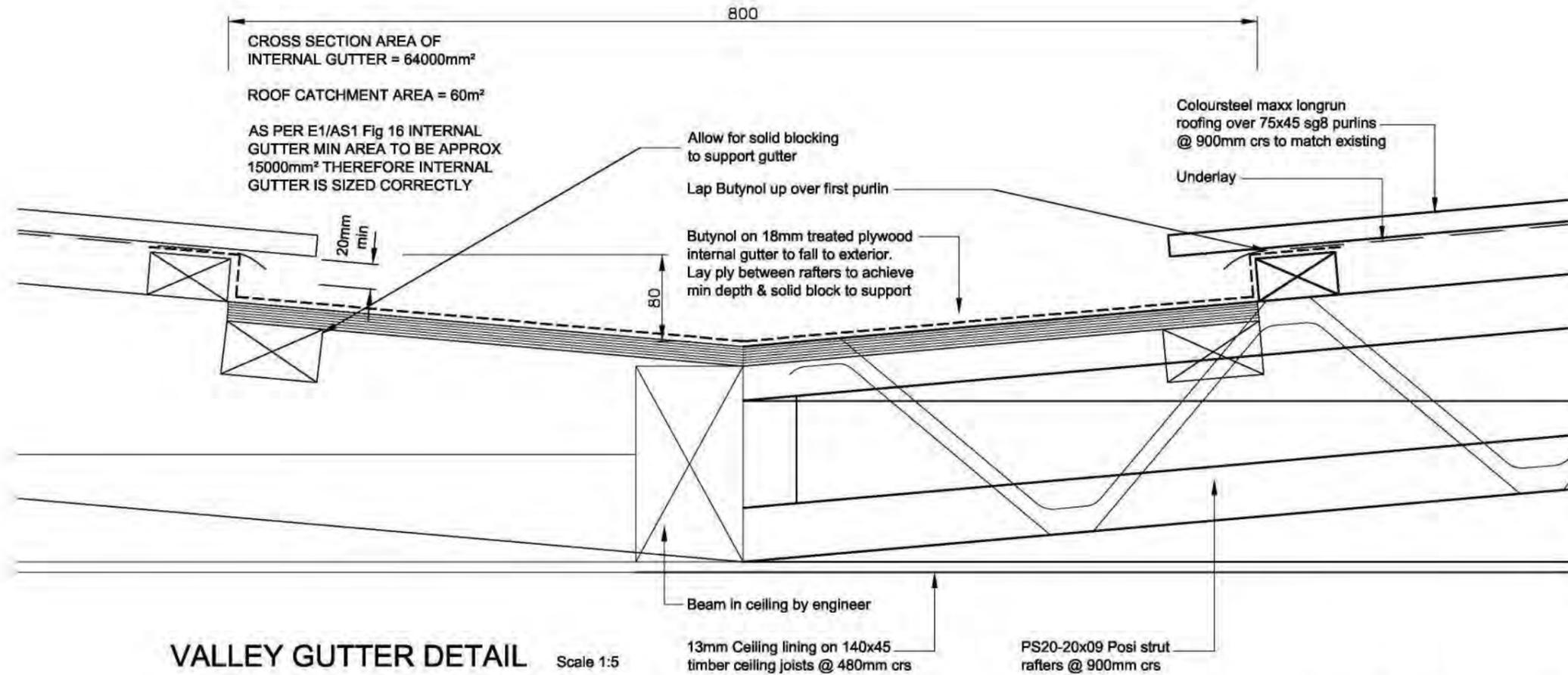
COASTAL
 ARCHITECTURE LTD.
 11 Kodex Place
 Paraparaumu
 New Zealand
 Tel: 04 296 1248
 e-mail: bflfrancis@paradise.net.nz

Design: Bill Francis
 Drawn: bf
 Scale: as shown

Job: 147
 Page of: 6
 Rev: B



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VALLEY GUTTER DETAIL Scale 1:5

INTERNAL LININGS

- WALLS:**
- Generally - 10mm Std Gib Board
 - Bathrooms - 10mm Gib Aqualine

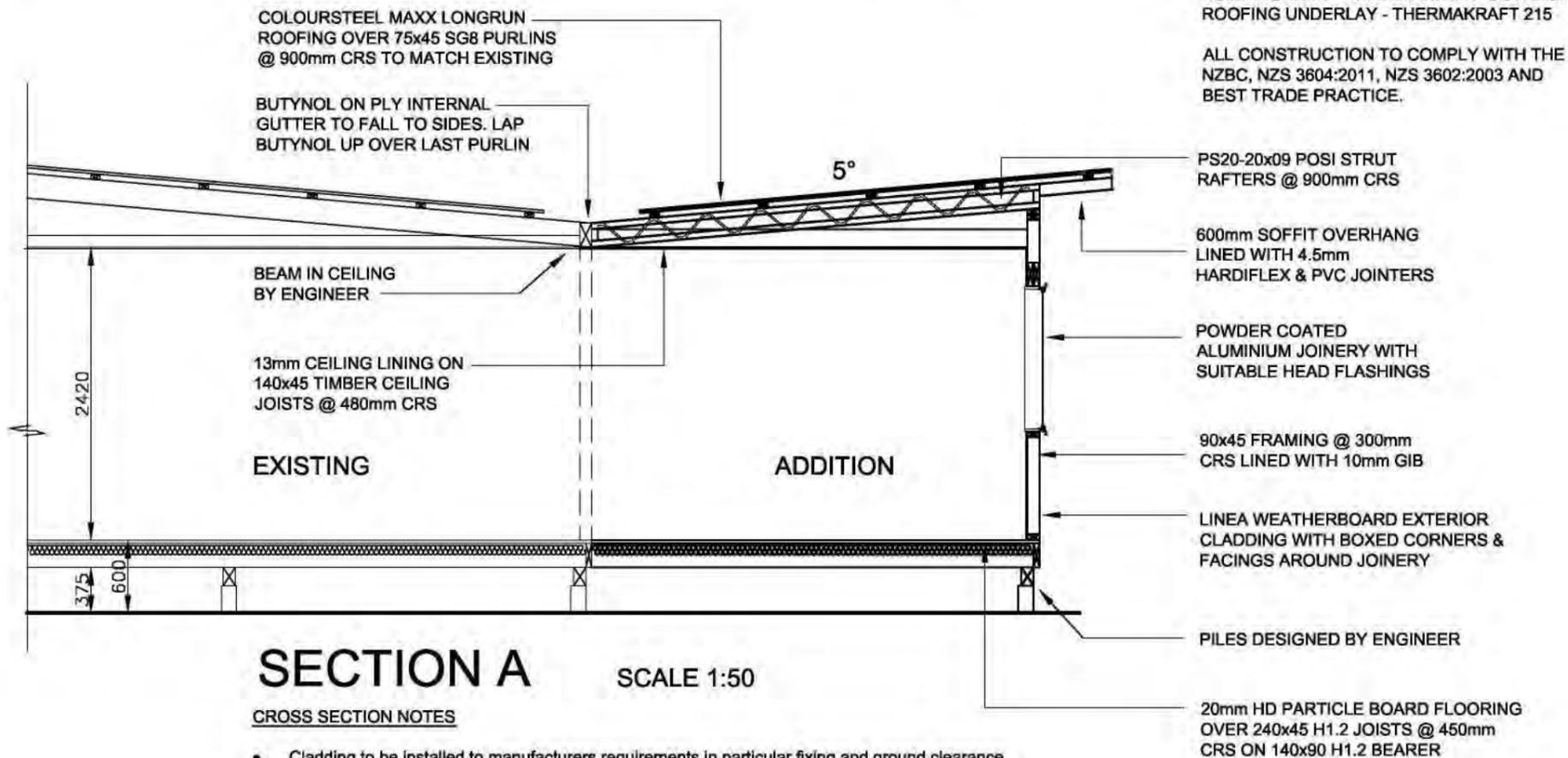
- CEILINGS:**
- Generally - 13mm Std Gib
 - Bathrooms - 13mm Gib Aqualine
 - Back block sheet joints and allow for control joints as required by manufacturer

BUILDING WRAP - THERMAKRAFT 'COVERUP' ROOFING UNDERLAY - THERMAKRAFT 215

ALL CONSTRUCTION TO COMPLY WITH THE NZBC, NZS 3604:2011, NZS 3602:2003 AND BEST TRADE PRACTICE.

INSULATION:

ROOF - R3.2 BATTS
 WALLS - R2.2 BATTS
 FLOOR - EXPOL POLYSTYRENE



SECTION A SCALE 1:50

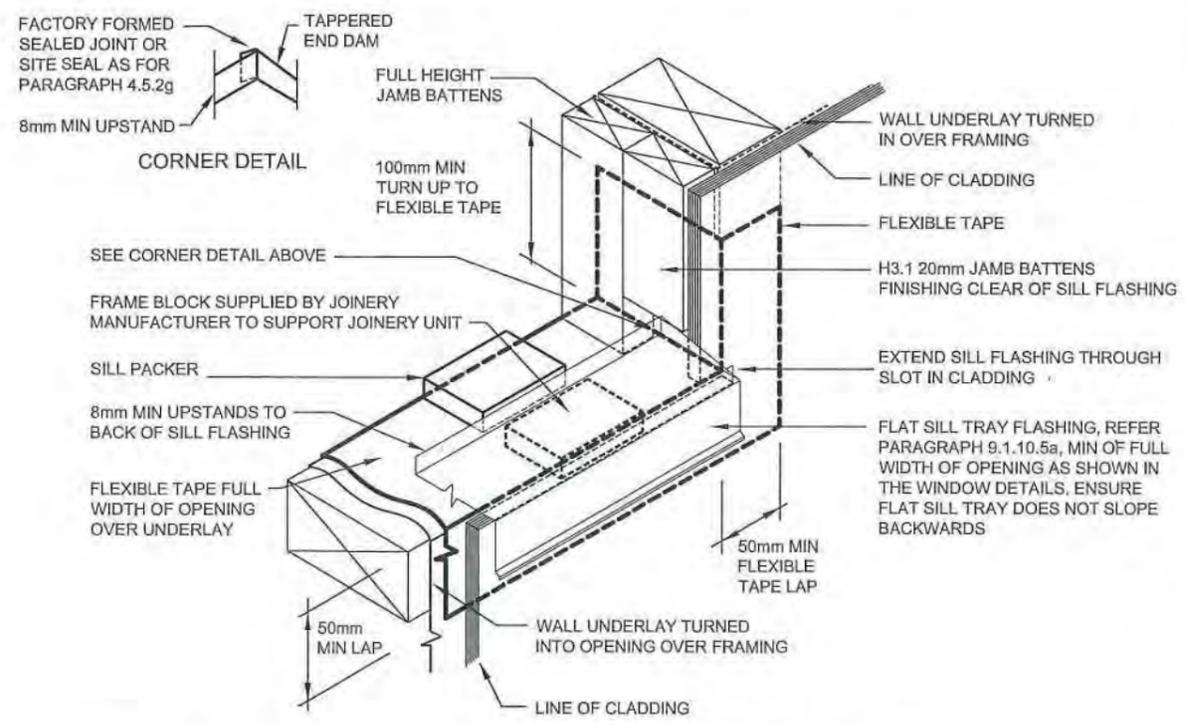
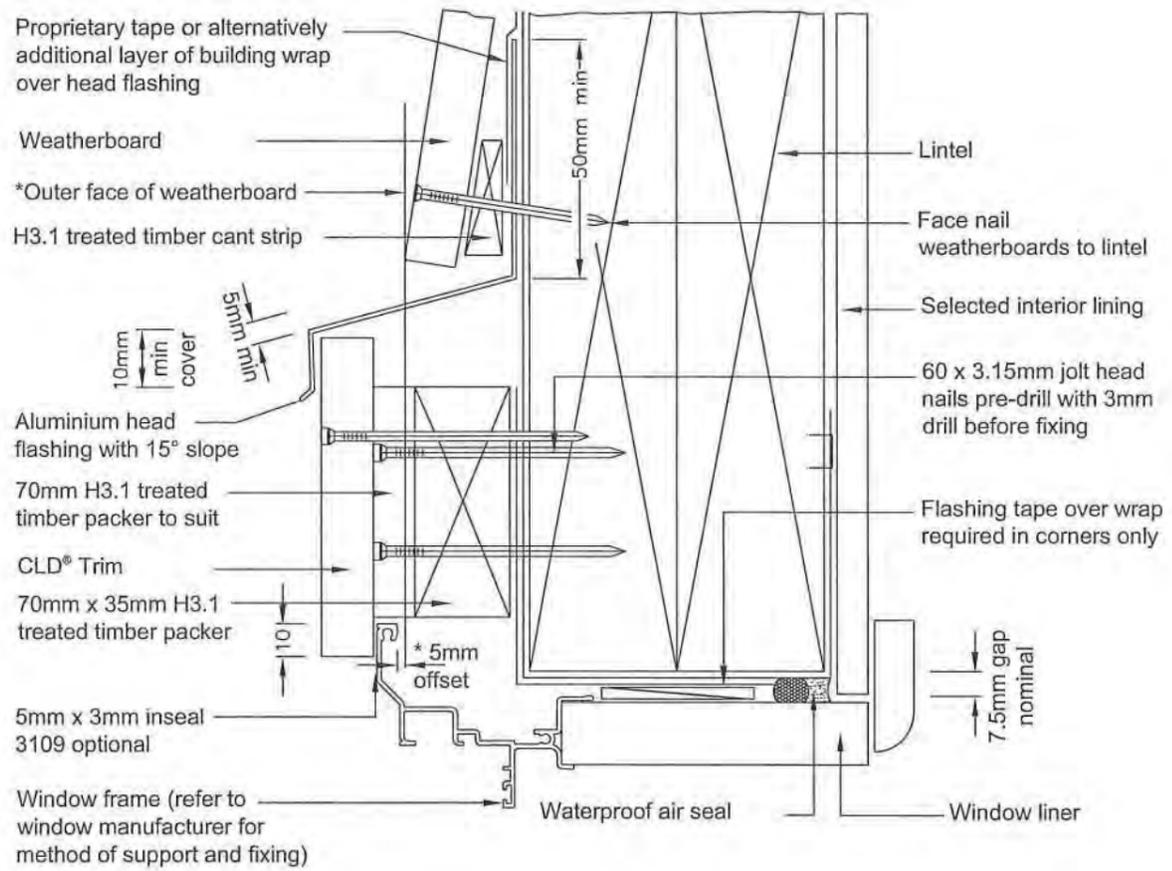
CROSS SECTION NOTES

- Cladding to be installed to manufacturers requirements in particular fixing and ground clearance
- Also refer to NZBC, clause E2/AS1, external moisture: third edition for clarity
- Direct fix cladding systems, fit head flashing and proprietary sill tray to external joinery and sill. Fit airseals to inner edge of joinery reveals (refer to details)
- All junctions to claddings and other external moisture protection areas, to have capillary gaps/breaks and in seal where relevant, stopping wind driven or surface tension water

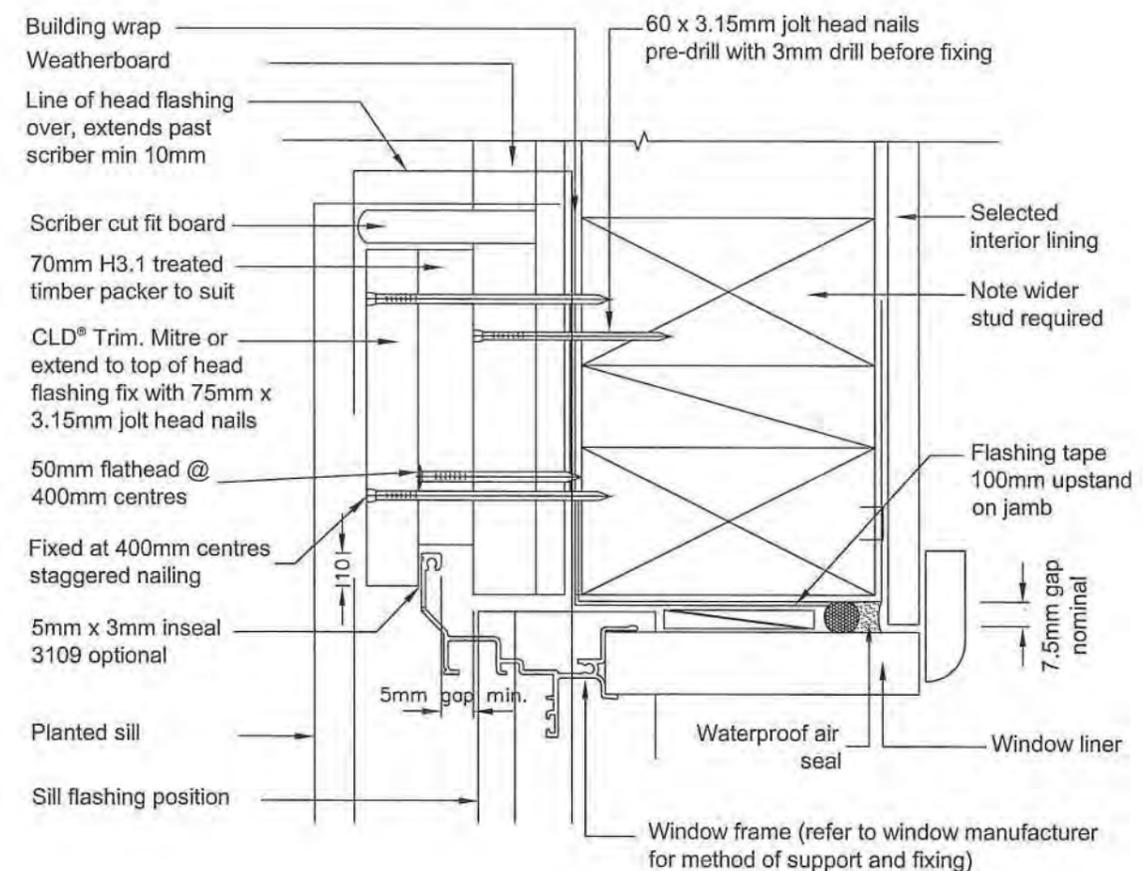
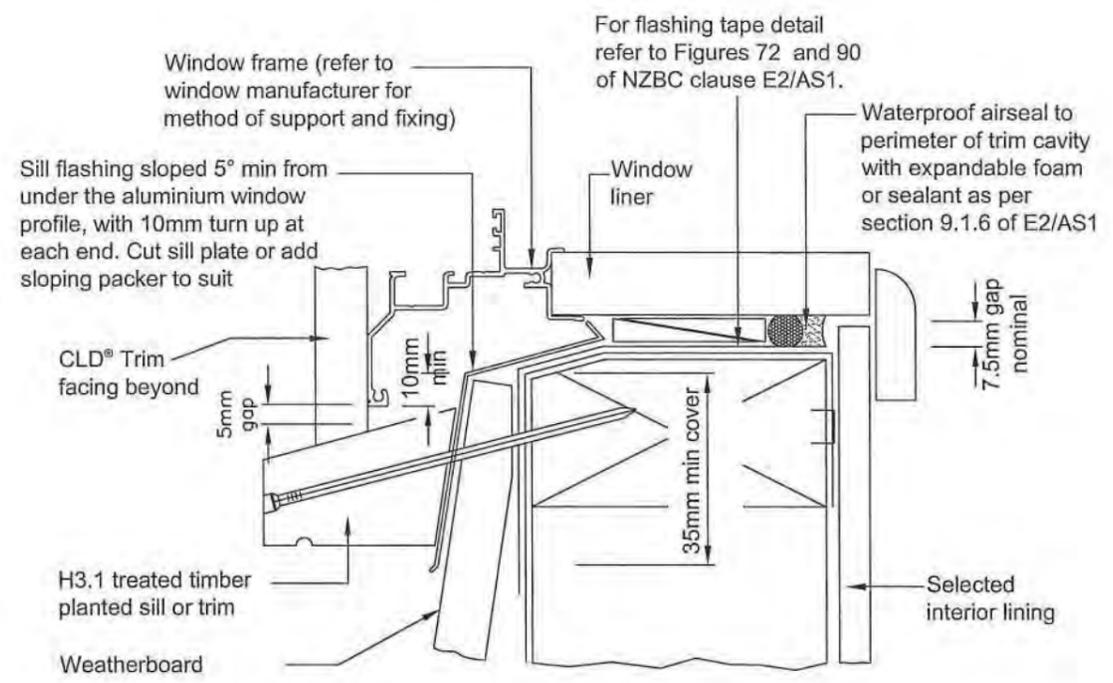
Revisions:
MARCH 2016 rev A



- NOTE:
- 1 DETAILED CLADDING OMITTED FOR CLARITY, REFER TO SPECIFIC CLADDINGS.
 - 2 SILL FLASHING SHALL EXTEND BACK PAST THE CONDENSATION CHANNEL OF THE WINDOW
 - 3 HEAD TO BE TREATED SIMILARLY WITH CONTINUOUS WALL UNDERLAY & FLEXIBLE TAPE AT CORNERS
 - 4 REFER INDIVIDUAL CLADDING DETAILS FOR JAMB FLASHINGS & SILL TRAY RETURN REQUIREMENTS



BUILDING WRAP OPENING DETAIL n.t.s



Project:
PROPOSED ADDITION

7 FOREST LANE,
RAUMATI SOUTH

Client:
STEPHENS

Drawing Title:
DETAILS

Designer:
COASTAL ARCHITECTURE LTD.
11 Kodex Place
Paraparaumu
New Zealand
Tel: 04 296 1248
e-mail: billfrancis@paradise.net.nz

Design: Bill Francis
Drawn: bf
Scale: as shown

Job: 147
Page of: 7
Rev: A



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Revisions:
MARCH 2016 rev A

RECEIVED
08 APR 2015
BY:

Project:
**PROPOSED
ADDITION**

7 FOREST LANE,
RAUMATI SOUTH

Client:
STEPHENS

Drawing Title:
DETAILS

Designer:

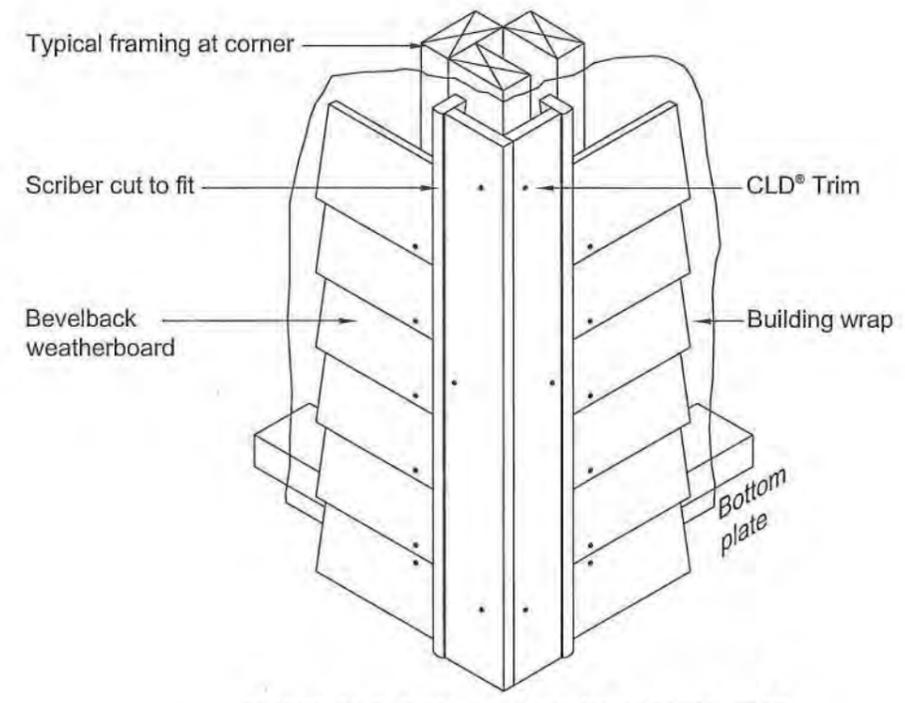
COASTAL
ARCHITECTURE LTD.
11 Kodex Place
Paraparaumu
New Zealand
Tel: 04 296 1248
e-mail: billfrancis@paradise.net.nz

Design: Bill Francis
Drawn: bf
Scale: as shown

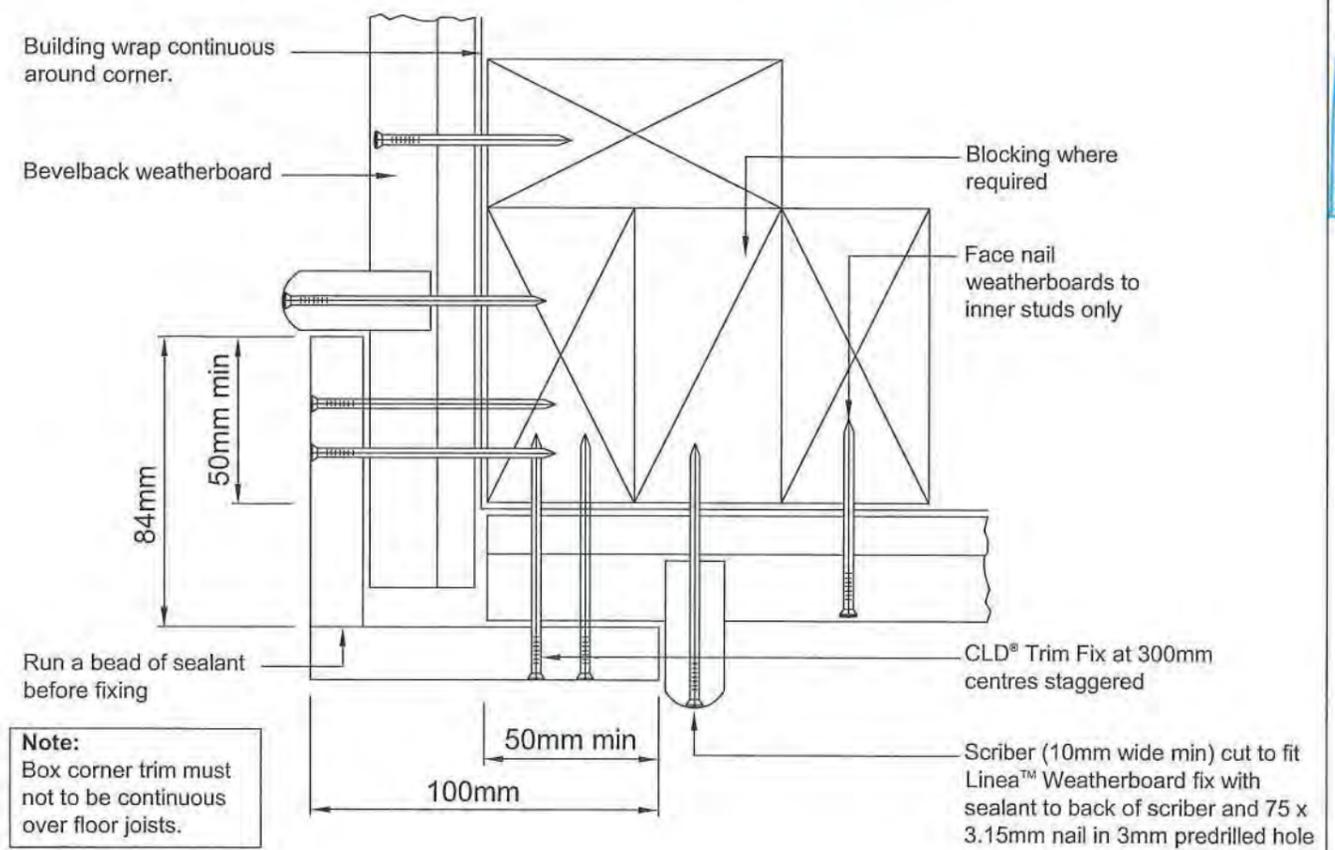
Job: 147
Page of: 8
Rev: A



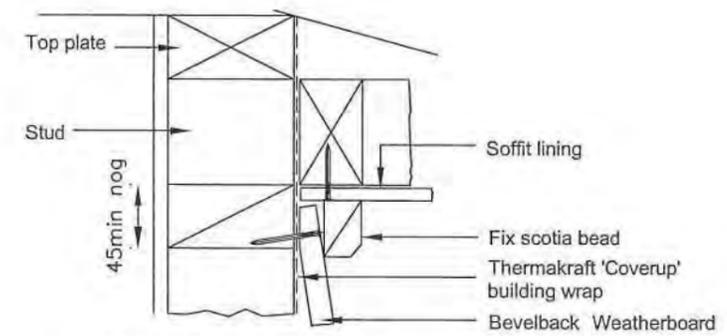
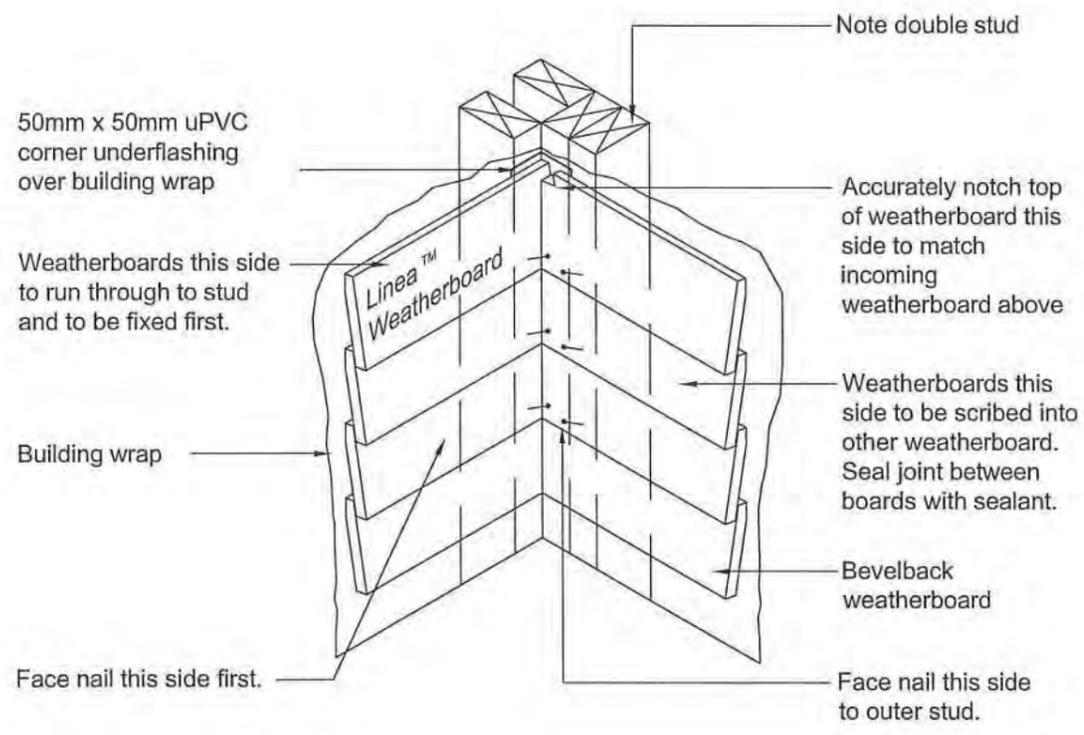
All work shall be in accordance with the NZBC. If in doubt ASK. The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified. This drawing and concept are copyright of Coastal Architecture Ltd. The recipient of this document is prohibited from disclosing its content for any purpose without the prior written consent of Coastal Architecture Ltd.



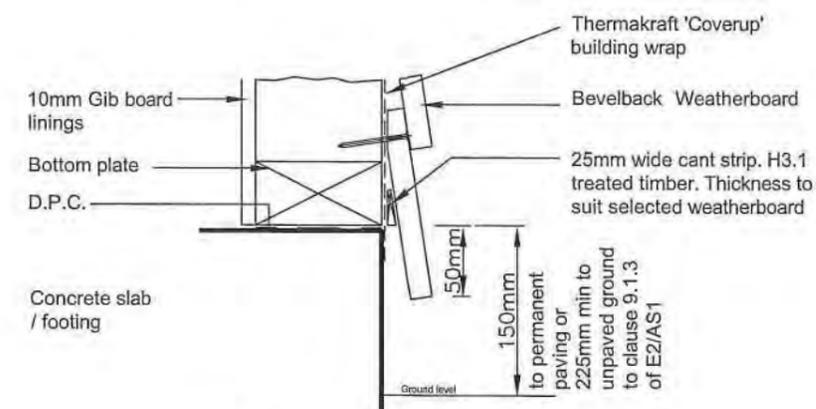
DIRECT FIX BOXED CORNER
Scale 1:10



Scale 1:2



W/Board Soffit Detail



W/Board Base Detail

Revisions: **10010**
 MARCH 2016 rev A
RECEIVED
 08 APR 2016
 BY:

E2/AS1 : Building Envelope Risk Matrix.

Project Details.

Name NAME STEPHENS
 Street/No. STREET 7 FOREST LANE
 Lot/DP/No. LOT LOT 2 DP 76027
 City/Town/District. CITY RAUMATI SOUTH

Definition of Risk [table 1 from E2/AS1]

Factor	Risk	Detail
A Wind Zone	LOW	LOW wind zone as described by NZS 3604
	MEDIUM	MEDIUM wind zone as described by NZS 3604
	HIGH	HIGH wind zone as described by NZS 3604
	V.HIGH	VERY HIGH wind zone as described by NZS 3604
B No. of storeys	LOW	One storey
	MEDIUM	Two storey in part
	HIGH	Two storey's
	V.HIGH	More than two storey's
C Roof / Wall Intersection Design.	LOW	Roof / wall intersection - Fully protected. [eg. hip / gable roof with eaves.]
	MEDIUM	Roof / wall intersection - Partly exposed. [eg. hip / gable roof with NO eaves.]
	HIGH	Roof / wall intersection - Fully exposed. [eg. Parapets or eaves greater than 90° vertical with soffit linings.]
	V.HIGH	Roof elements finished within the boundaries formed by exterior walls [eg. lower ends of aprons, chimney's etc.]
D Eaves width (1.)	LOW	Greater than 600mm at first floor level.
	MEDIUM	450 - 600mm at first floor level, or 600mm at second floor level
	HIGH	100-450mm at first floor level, or 450-600mm at second floor level
	V.HIGH	0 -100mm at first floor level, or 100-450mm at second floor level or 450 - 600mm at third floor level
E Envelope Complexity	LOW	Simple rectangular,L,T, or boomerang shape with single cladding type
	MEDIUM	Complex angular or curved shape [eg. Y or arrow head] with single cladding type.
	HIGH	More complex angular or curved shape [eg. Y or arrow head] with multiple cladding type.
	V.HIGH	As for high risk, but with junctions not covered in C or F on this Table [eg. box windows, pergola's, multi storey re - entrant shapes etc.]
F Deck design.	LOW	None or timber slat deck or porch at ground level
	MEDIUM	Fully covered in plan by roof, or timber slat deck attached at first or second floor level.
	HIGH	Enclosed deck exposed in plan or cantilevered at first floor level
	V.HIGH	Enclosed deck exposed in plan or cantilevered at second floor level or above.

NOTES
 1. Eaves width measured from external face of the wall cladding to outer edge of overhang including gutters and fascias
 2. Balustrades and parapets count as 0 mm eaves.

Risk Severity by Face

North Elevation.									
RISK FACTOR	LOW	Score	MED	Score	HIGH	Score	V.HIGH	Score	Sub totals for each risk factor.
Wind Zone as NZS 3604	0		0		1		2	✓	2
No. of storey's	0	✓	1		2		4		0
Roof / Wall Intersection	0	✓	1		3		5		0
Eaves width.	0	✓	1		2	✓	5		2
Envelope Complexity	0	✓	1		3		6		0
Deck design.	0	✓	2		4		6		0
Total Risk Score for this Elevation									4

South Elevation.									
RISK FACTOR	LOW	Score	MED	Score	HIGH	Score	V.HIGH	Score	Sub totals for each risk factor.
Wind Zone as NZS 3604	0		0		1		2	✓	2
No. of storey's	0	✓	1		2		4		0
Roof / Wall Intersection	0		1		3	✓	5		3
Eaves width.	0	✓	1		2		5		0
Envelope Complexity	0	✓	1		3		6		0
Deck design.	0	✓	2		4		6		0
Total Risk Score for this Elevation									5

West Elevation.									
RISK FACTOR	LOW	Score	MED	Score	HIGH	Score	V.HIGH	Score	Sub totals for each risk factor.
Wind Zone as NZS 3604	0		0		1		2	✓	2
No. of storey's	0	✓	1		2		4		0
Roof / Wall Intersection	0	✓	1		3		5		0
Eaves width.	0		1		2	✓	5		2
Envelope Complexity	0	✓	1		3		6		0
Deck design.	0	✓	2		4		6		0
Total Risk Score for this Elevation									4

Selected Cladding Resulting from Risk Assessment

	Risk score from tables above.	Cladding Selected from table 3 [from tables on page 30 E2/AS1]	TICK SELECTED OPTION	
			DIRECT FIXED	DRAINED CAVITY
North Elevation.	4	Linea Weatherboard	✓	
South Elevation.	5	Linea Weatherboard	✓	
West Elevation.	4	Linea Weatherboard	✓	

Project:
PROPOSED ADDITION
 7 FOREST LANE,
 RAUMATI SOUTH
 Client:
 STEPHENS
 Drawing Title:
E2 MATRIX
 Designer:
COASTAL ARCHITECTURE LTD.
 11 Kodex Place
 Paraparaumu
 New Zealand
 Tel: 04 296 1248
 e-mail : billfrancis@paradise.net.nz
 Design: **Bill Francis** Drawn: **bf**
 Scale: **as shown**
 Job: **147** Page of: **9** Rev: **A**



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00011



Building Code Clause(s).....

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on page 2)

ISSUED BY:.....BASE CONSULTING ENGINEERS LTD.....
(Design Firm)

TO:.....MRS. S. STEPHENS
(Owner/Developer)

TO BE SUPPLIED TO:.....KAPITI COAST DISTRICT COUNCIL
(Building Consent Authority)

IN RESPECT OF:.....STEPHENS DWELLING - EXTENSION..
(Description of Building Work)

AT:.....7 FOREST LANE, RAUMATI.....
(Address)

..... LOT..... DP SO

We have been engaged by the owner/developer referred to above to provide THE STRUCTURAL DESIGN FOR:-

Portal & Foundations services in respect of the requirements of
(Extent of Engagement)

Clause(s) ...B1: VM1.....of the Building Code for
All or Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

Compliance Documents issued by the Ministry of Business, Innovation & Employment B1 VM1: AS/NZS: 1170:
NZS: 3404: NZS: 3101 or
(verification method / acceptable solution)

Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the drawings titled STEPHENS

DWELLING and numbered 16018.....;
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions ASSUMED UNSATISFACTORY
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

CM1 CM2 CM3 CM4 CM5 (Engineering Categories) Or as per agreement with owner/developer (Architectural)

I,PETER BOLTON..... am: CPEng56179.....#
(Name of Design Professional)

Reg Arch #

I am a Member of: IPENZ NZIA and hold the following qualifications:.....BE CIVIL.....

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of AGENZ:

SIGNED BYPETER BOLTON..... ON BEHALF OF BASE CONSULTING ENGINEERS LTD
(Design Firm)

Date...08/03/16..... (signature).....

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suit of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 Design Review Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 Construction Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 Construction Review Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

*Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5 for Engineers³). The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- 1 Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- 2 NZIA Standard Conditions of Contract SCC 2011
- 3 Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)
- 4 PN Guidelines on Producer Statements

www.acenz.org.nz
www.ipenz.org.nz
www.nzia.co.nz



ARCHITECTS



ARCHITECTS



Memorandum from licensed building practitioner: Certificate of design work
Section 45 and Section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 7 FOREST LANE

Suburb:

Town/City: RAUMATI

Postcode:

THE OWNER

Name: MRS. S. STEPHENS

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
<input type="checkbox"/>	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
<input type="checkbox"/>	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
<input type="checkbox"/>	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
<input checked="" type="checkbox"/>	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I, Peter Bolton, carried out the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
Tick (✓) if included Cross (X) if excluded	[If appropriate, provide details of the restricted building work]	[Specify whether you carried out this design work or supervised someone else carrying]	[If appropriate, specify references]

		<i>out this design work]</i>	
--	--	------------------------------	--

Primary structure

All RBW Design work relating to B1	()		() Carried out () Supervised	
Foundations and subfloor framing	()		() Carried out () Supervised	
Walls	()		() Carried out () Supervised	
Roof	()		() Carried out () Supervised	
Columns and beams	()		() Carried out () Supervised	
Bracing	()		() Carried out () Supervised	
Other	(√)	Portal & Foundations	(√) Carried out () Supervised	16018

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2	()		() Carried out () Supervised	
Damp proofing	()		() Carried out () Supervised	
Roof cladding or roof cladding system	()		() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity)	()		() Carried out () Supervised	
Wall cladding or wall cladding system	()		() Carried out () Supervised	
Waterproofing	()		() Carried out () Supervised	
Other	()		() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or	()		() Carried out () Supervised	
--	-----	--	-----------------------------------	--

control systems, or other			
---------------------------	--	--	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required Yes No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

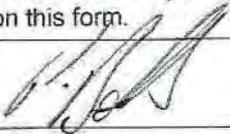
Name: Peter Bolton	LBP or Registration number: 56179
The practitioner is a:	<input type="checkbox"/> Design LBP <input type="checkbox"/> Registered architect <input checked="" type="checkbox"/> Chartered Professional Engineer
Design Entity or Company (optional): Base Consulting Engineers Ltd	
Mailing address (if different from below):	
Street address / Registered office: 279 Oxford Street	
Suburb:	Town/City: Levin
PO Box/Private Bag:	Postcode:
Phone number:	Mobile: 0274 444 080
After Hours:	Fax:
Email address: peter@basecon.co.nz	Website:

DECLARATION

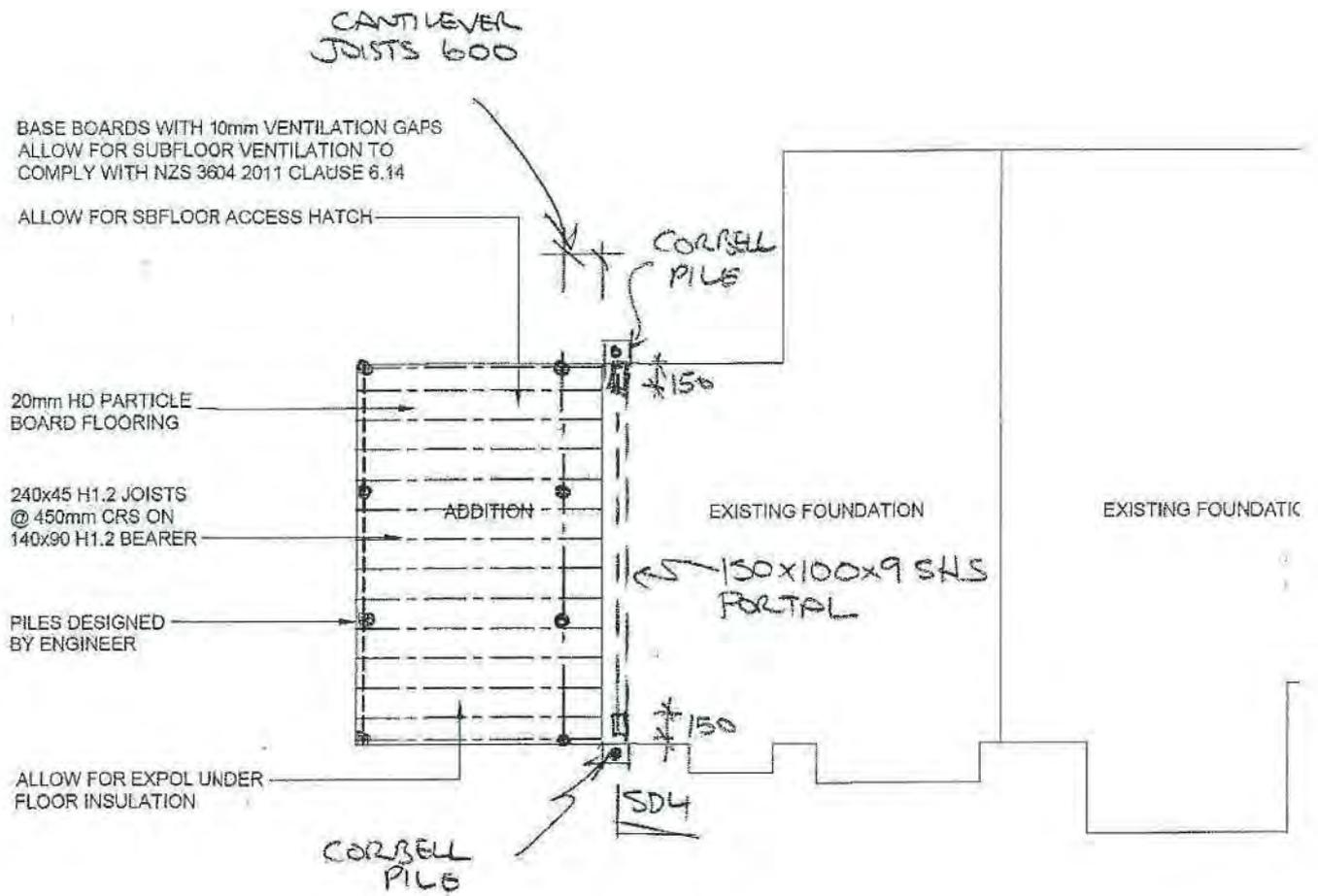
I Peter Bolton *[name of practitioner]*, CPEng,

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature: 

Date: 08 March 2016



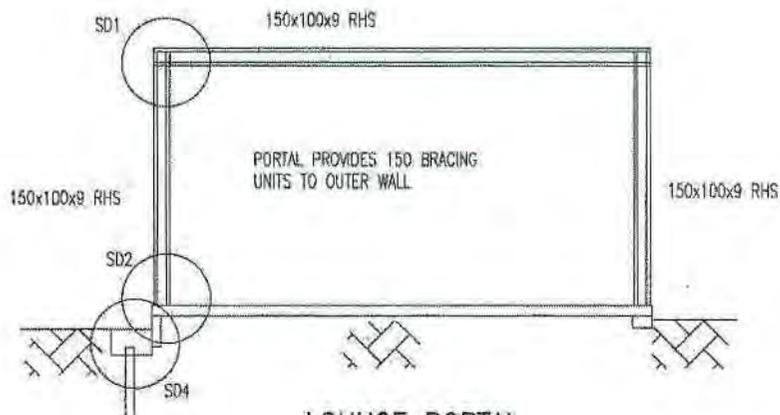
SUBFLOOR BRACING BY ENGINEER

14081 - SK1
PILE LAYOUT

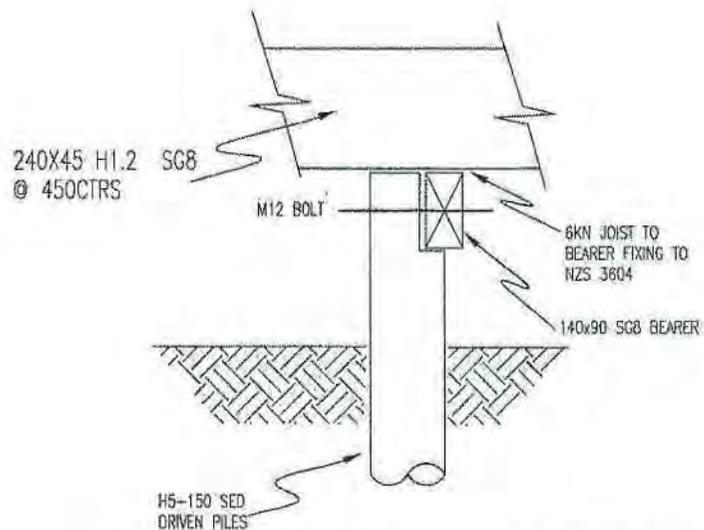
Base Consulting
Engineers Ltd
9/3/16

FOUNDATION PLAN

SCALE 1:100

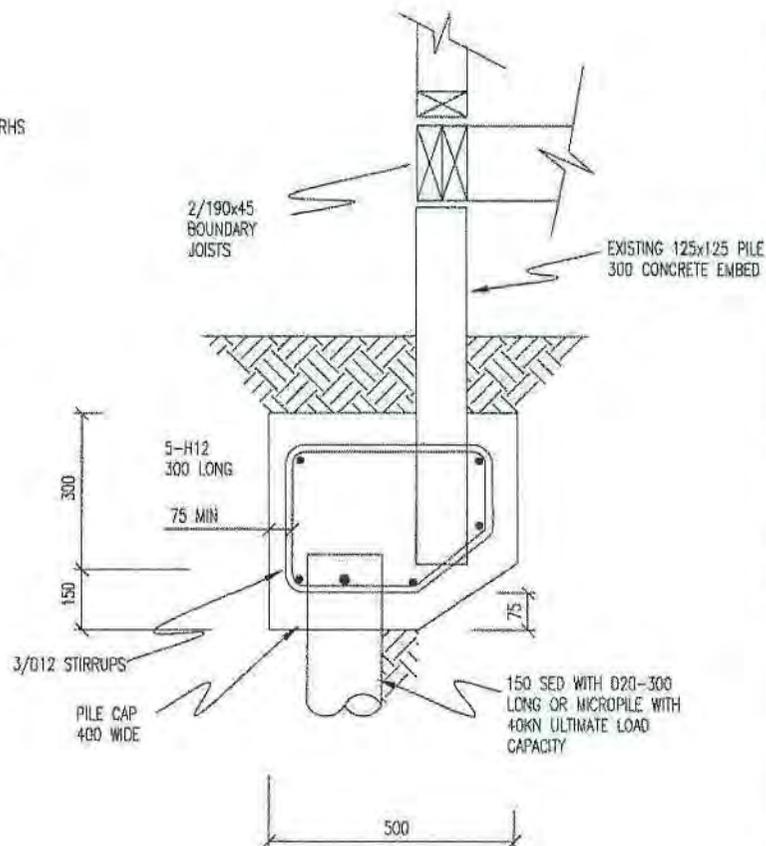


LOUNGE PORTAL



SD5

PROVIDE 12KN CAPACITY CONNECTIONS FOR ALL CORNER PILES



SD4 CORBELL DETAIL

No.	AMENDMENT	NAME	DATE

NOTES:

REFER TO COASTAL ARCHITECTURE PLANS FOR DETAILS AND DIMENSIONS

ANY DISCREPANCIES WITH THE ENGINEERS' AND ARCHITECTS' DRAWINGS SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING

ANY VARIATION FROM THESE DRAWINGS OR SUBSTITUTION OF SPECIFIED PRODUCTS SHALL REQUIRE ENGINEERS APPROVAL PRIOR TO PROCEEDING

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT CODE OF PRACTICE

THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

THE CONTRACTOR TO PROVIDE 24 HOURS NOTICE FOR ALL INSPECTIONS AT WHICH TIME ALL WORK TO BE INSPECTED SHALL BE COMPLETE

CONTRACTOR SHALL DETERMINE FROM THE TERTIARY AUTHORITY WHAT INSPECTIONS ARE REQUIRED BY THE ENGINEER

Base Consulting Engineers Limited



278 Oxford Street
P.O. Box 454
Levin 5540

Telephone Levin 06-387 0088
Paraparaumu 04-297 0088
Mobile 027 44 44 080

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STRUCTURAL DETAILS

STEPHENS DWELLING
7 FOREST LANE
RAUMATI

SCALE
AS SHOWN

FIELDWORK	NAME	DATE	DRAWING NUMBER 14081 SS1
DESIGNED	PB	23/2/16	
DRAWN	PB	9/3/16	
CHECKED	PB	9/3/16	

SHEET 1 OF 2 SHEETS

No.	AMENDMENT	NAME	DATE

NOTES:

PILES TO BE DRIVEN TO A SET NOT EXCEEDING 100mm PER 10 BLOWS FOR 480kg HAMMER FALLING 1000mm.

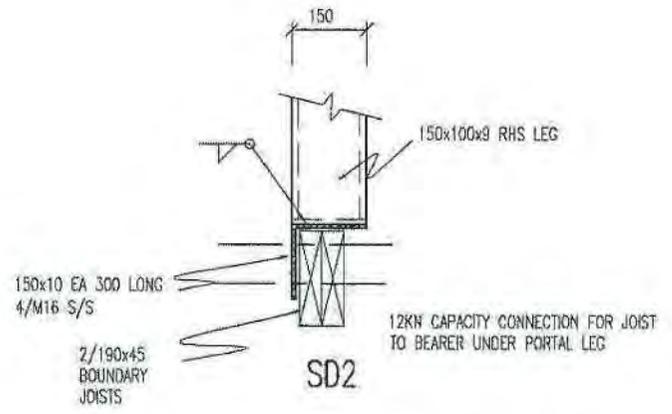
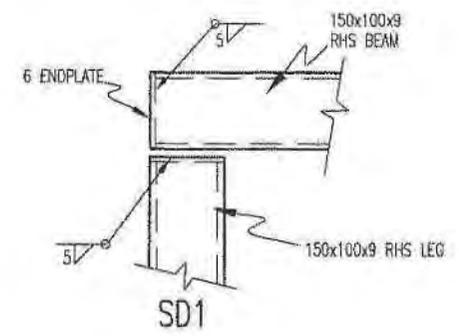
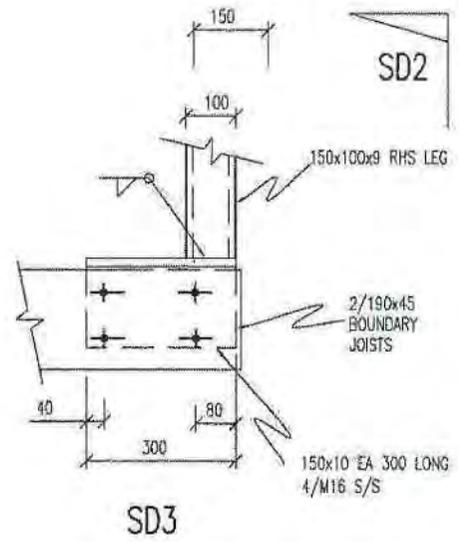
RECORD ALL PILE SETS AND LENGTHS AND SUBMIT COPY TO KDC

REINFORCING:
 D DENOTES GRADE 300 DEFORMED
 H DENOTES GRADE 500 DEFORMED

MINIMUM COVER 50mm EXCEPT WHERE SHOWN OTHERWISE, ENSURE 50mm SIDE COVER TO REQ;

CONCRETE STRENGTH TO BE 25MPa AT 28 DAYS.

PROVIDE 24 HOURS NOTICE FOR INSPECTIONS
 A PS4 CAN ONLY BE ISSUED IF INSPECTIONS HAVE BEEN CARRIED OUT BY BASE CONSULTING ENGINEERS LTD



Base Consulting Engineers Limited

279 Oxford Street
 P O Box 454
 Levin 5540

Telephone Levin: 06-357 0888
 Papearuaumu: 94-297 0386
 Mobile: 027 44 44 080

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STRUCTURAL DETAILS

STEPHENS DWELLING
 7 FOREST LANE
 RAUMATI

SCALE
 AS SHOWN

FILEWORK	NAME	DATE	DRAWING NUMBER
DESIGNED	PB	23/2/16	14081 SS2
DRAWN	PB	9/3/16	
CHECKED	PB	9/3/16	

SHEET 2 OF 2 SHEETS



Job STEPHENS DWELLING
7 FOREST LANE RAUMATI

By P. BORTON

Date 23/2/16

PREMISES

To provide the structural design for portal and foundations for proposed extension to dwelling.

Ground conditions assumed to comprise loose sand which is unsatisfactory.

Design to be in accordance with
AS/NZS 1170 Structural Design Actions
NZS 3101 Concrete Code
NZS 3404 Steel Code

LOADINGS

Roof	ply	dead	0.45 kN/m ²
		live	0.25 kN/m ²
Walls	w/b	dead	0.40 kN/m
Floor	20 pb	dead	0.40 kN/m ²
		live	1.50 kN/m ²

Wind

$$V_s = V_z M_H M_T$$

$$= 50.1 \text{ m/s}$$

$$V_z = S \text{ m/s}$$

$$M_T = 0.91$$

$$P = 0.5 \rho V_s^2 C_{fj}$$

$$= 1.81 \text{ kN/m}^2$$

$$M_H = 1.05$$

$$C_{fj} = 1.2$$

Consider LAUNGE PORTAL

Loadings

dead

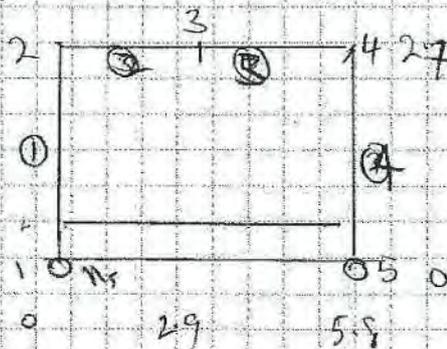
$$W_d = W_u = 0.4 \times 7.2 \times 1.5 + 0.3$$

$$= 2.0 \text{ kN/m}$$

live

$$W_l = W_u = 0.25 \times 3.6$$

$$= 0.9 \text{ kN/m}$$





Job _____

By _____

Date _____

Wind portal to provide 150 bu for wind

$$R_x = \frac{150}{20} \times 27 \times 2.4 = 8.4 \text{ kN}$$

$$R_L = R_R = R_x = 4.2 \text{ kN} @ (2) \text{ \& } (4)$$

From Printout

$$\frac{1.26 + 1.50}{0.9 + W}$$

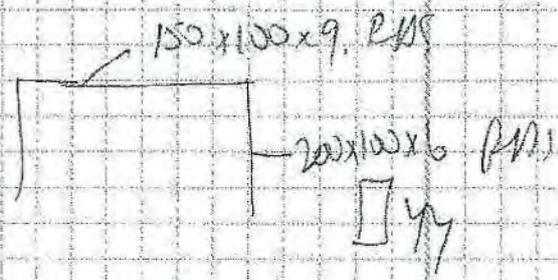
For 0.9W + W - deflection governs

For 90x5 SWS legs } $\delta = 74$ - excessive
150 RFE beam

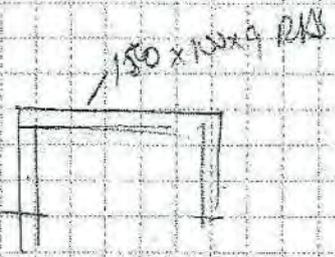
or 100x6 SWS legs } $\delta = 56$ - ok
150x100x6 RWS beam

100x9 SWS } $\delta = 40$ - excessive
150x100x9 RWS

Try 200x100x6 legs } $\delta = 32$ - ok



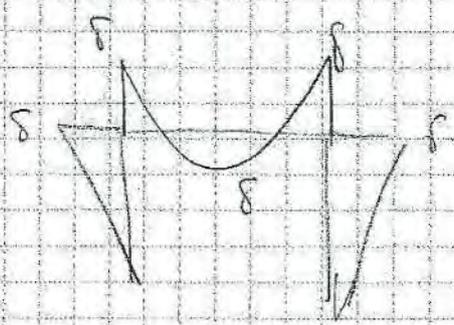
or all 150x100x9 RWS } $\delta = 21$ - ok



For 1.26 + 1.50

Design Moment M^D

$$M^D = 8 \text{ kNm}$$



S T R U C T U R E I N P U T D A T A

 Description : LOUNGE BRACING P[ORTAL
 Client : STEPHENS
 Comments : 150BU
 Time : 8:52 am
 Date : Wednesday 9 March 2016
 File Name : STEPHANS.DAT
 Num of Nodes : 5
 Num of Members : 4
 Num of Memb Props: 5
 Max Node Diff : 1
 Solution time : 0.7 sec

LOADING DATA

Case	Load Title	Node Load	Memb UDLs
1	DEAD	0	2
2	LIVE	0	2
3	WIND	0	0
4	****	0	0
5	****	0	0
6	****	0	0
7	****	0	0
8	****	0	0
9	****	0	0
10	****	0	0

* NODAL DATA

XCoord: +ve to right[m], YCoord: +ve Upwards[m]
 Xrestr, Yrestr, Zrestr... 1:Node Restrained, 0:Node Un-Restrained

* MEMBER DATA

EndFixity.. 1:Fixed-Fixed, 2:Fixed-Pinned, 3:Pinned-Fixed, 4:Pinned-Pinned

* MEMBER PROPERTIES

Elasticity: Member Elasticity[KN/m²], XArea: Member Cross Section Area[m²]
 Inertia: Member Moment of Inertia[m⁴], SectMod: Member Section Modulus[m³]

* NODAL LOADS

XLoad:+ve to Right[KN], YLoad:+ve Upwards[KN], ZMoment:+ve AntiClockwise[KNm]

* MEMBER UDLS

UDLs are +ve Upwards when viewed with LNode on the left

Direction : 0: Gravity/Vertical, 1: Normal/Perpendicular

* DEFLECTIONS AND SUPPORT REACTIONS

XDefln:+ve to Right[m], YDefln:+ve Upwards[m], ZRotn:+ve AntiClockwise[Rad]

XReact: +ve to Right, YReact: +ve Upwards, ZReact: +ve AntiClockwise

* MEMBER FORCES AND MOMENTS

Axial Ld, Shear, and Moment are the forces applied BY THE NODE TO THE MEMBER

Axial: +ve to Right[KN], Shear: +ve for Clockwise sense of rotn in member[KN]

Moment:+ve AntiClockwise about Node [KNm]

* MEMBER STRESSES

Axial: +ve for Compression in member [MPa] = AxialForce/XArea [MPa]

Shear: +ve for +ve Shear Force = ShearForce/XArea [MPa] - IS INDICATIVE ONLY

Bending: Bending Stress always shown +ve = BendingMoment/SectModulus [MPa]

S T R U C T U R E I N P U T D A T A

STRUCTURE DATA

NODAL DATA

Node	Xcoord	Ycoord	Xrestr	Yrestr	Zrestr
1	0.000	0.000	1	1	0
2	0.000	2.700	0	0	0
3	2.900	2.700	0	0	0
4	5.800	2.700	0	0	0
5	5.800	0.000	1	1	0

MEMBER DATA

Member	LHNode	RHNode	PropRef	EndFixity	Length
1	1	2	3	1	2.700
2	2	3	3	1	2.900
3	3	4	3	1	2.900
4	4	5	3	1	2.700

PROPERTY DATA

Ref	Elasticity	XArea	Inertia	Secr-Mod	Description
1	2.000E+08	3.460E-03	4.850E-06	9.540E-05	102x102x9.5-SUS-XY
2	2.000E+08	2.650E-03	1.340E-05	1.500E-04	178x76-RSC-21-XX
3	2.000E+08	4.430E-03	1.330E-05	1.750E-04	152x102x9.5-RHS-XX
4	2.000E+08	3.050E-03	5.070E-06	9.990E-05	152x102x6.3-RHS-YY
5	2.000E+08	3.690E-03	6.540E-06	1.290E-04	203x102x6.3-RHS-YY

STRUCTURE INPUT DATA

LOAD Case: 1 Title: DEAD

MEMBER UDLs				
Num	Member	St-UDL	Fin-UDL	Direction
1	2	-2.000	-2.000	1
2	3	-2.000	-2.000	1

STRUCTURE INPUT DATA

LOAD Case: 2 Title: LIVE

MEMBER UDLs				
Num	Member	St-UDL	Fin-UDL	Direction
1	2	-0.900	-0.900	1
2	3	-0.900	-0.900	1

STRUCTURE INPUT DATA

LOAD Case: 3 Title: WIND

NODAL LOADS				
Num	Node	XLoad	YLoad	ZMoment
1	2	4.200	0.000	0.000
2	4	4.200	0.000	0.000

STRUCTURE OUTPUT DATA

LOAD COMBINATION 1

Number: 1 2
 Title: DEAD + LIVE
 Factor: 1.20 1.50

NODAL DEFLECTIONS & SUPPORT REACTIONS

Node	X-Defln	Y-Defln	Z-Rotn	X-React	Y-React	Z-React
1	0.000	0.000	0.001	2.970	10.875	0.000
2	0.000	-0.000	-0.003	0.000	0.000	0.000
3	0.000	-0.000	0.000	0.000	0.000	0.000
4	-0.000	-0.000	0.003	0.000	0.000	0.000
5	0.000	0.000	-0.001	-2.970	10.875	0.000

MEMBER AXIAL LOADS, SHEARS, & MOMENTS

Memb	Node	Axial	Shear	Moment	Node	Axial	Shear	Moment
1	1	10.875	-2.970	-0.000	2	-10.875	2.970	-8.020
2	2	2.970	10.875	8.020	3	-2.970	0.000	7.749
3	3	2.970	-0.000	-7.749	4	-2.970	10.875	-8.020
4	4	10.875	2.970	8.020	5	-10.875	-2.970	0.000

MEMBER STRESS AXIAL, SHEAR, & BENDING

Memb	Node	AxialStr	ShearStr	BendStr	Node	AxialStr	ShearStr	BendStr
1	1	2.455	-0.671	0.000	2	2.455	-0.671	45.829
2	2	0.671	2.455	45.829	3	0.671	-0.000	41.278
3	3	0.671	-0.000	44.278	4	0.671	-2.455	45.829
4	4	2.455	0.671	45.829	5	2.455	0.671	0.000

EQUILIBRIUM SUMMARY

	Horizontal	Vertical
Applied Loads	0.000	-21.750
Support Reactions	-0.000	21.750

S T R U C T U R E O U T P U T D A T A

LOAD COMBINATION 2

Number: 1 3
 Title: DEAD + WIND
 Factor: 0.90 1.00

NODAL DEFLECTIONS & SUPPORT REACTIONS

Node	X-Defln	Y-Defln	Z-Rotn	X-React	Y-React	Z-React
1	0.000	0.000	-0.009	2.774	1.310	0.000
2	0.022	-0.000	-0.005	0.000	0.000	0.000
3	0.021	-0.004	0.002	0.000	0.000	0.000
4	0.021	-0.000	-0.003	0.000	0.000	0.000
5	0.000	0.000	-0.011	-5.626	0.130	0.000

MEMBER AXIAL LOADS, SHEARS, & MOMENTS

Memb	Node	Axial	Shear	Moment	Node	Axial	Shear	Moment
1	1	1.310	2.774	0.000	2	-1.310	-2.774	7.490
2	2	1.426	1.310	-7.490	3	-1.426	3.910	3.719
3	3	1.426	-3.910	-3.719	4	-1.426	9.130	-15.190
4	4	9.130	5.626	15.190	5	0.130	-5.626	0.000

MEMBER STRESS AXIAL, SHEAR, & BENDING

Memb	Node	AxialStr	ShearStr	BendStr	Node	AxialStr	ShearStr	BendStr
1	1	0.296	0.626	0.000	2	0.296	0.626	42.802
2	2	0.322	0.296	42.802	3	0.322	-0.883	21.253
3	3	0.322	-0.883	21.253	4	0.322	-2.061	86.798
4	4	2.061	1.270	86.798	5	2.061	1.270	0.000

EQUILIBRIUM SUMMARY

	Horizontal	Vertical
Applied Loads	8.400	-10.440
Support Reactions	-8.400	10.440



Job _____

By _____

Date _____

1.26 + 1.50 - Moment Capacity

$$\phi M_{bs} = \alpha_s \alpha_m M_{ys}$$

$$= 0.95 \times 1.13 \times 58$$

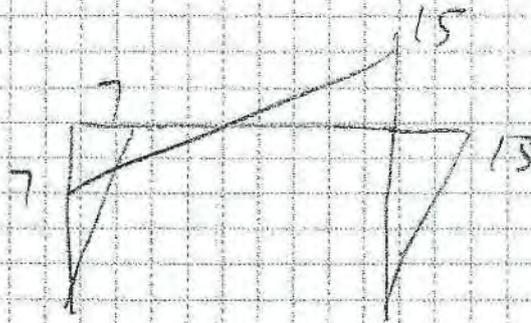
$$= 62.6 \text{ kNm}$$

For 0.96 + L.

Design Moment M^d

$$M^d = 15 \text{ kNm}$$

accept





Job _____

By _____

Date _____

CONSIDER FOUNDATIONS

Determine pile load R^*

$$R^* = 1.26 + 1.5Q$$

$$= \left((2 \times 0.4) + 1.5(1.5) \times 3.7 \right) \frac{1}{2} + 1.2(0.4) \frac{2.4}{2} + 0.4 \times 3.7 \times \frac{1.5}{2} \left. \vphantom{\frac{1}{2}} \right\} 5.75$$

kN

$$= 9.2 \text{ kN}$$

Pile Capacity ϕR_u

$$\phi R_u = \frac{\eta \sqrt{Nk}}{S + \frac{L}{4}}$$

480 kg Hammer
1000 ft Fall
10 set

$$= \frac{480 \times 9.8}{1000} \times \frac{0.58 \times 0.8 \times 1000}{25 \times 4}$$

$$= 40 \text{ kN OK}$$

From Pile load for partial

$$R^* = 1.26 + 1.5Q = 10.9 \text{ kN } \uparrow$$

$$R^* = 0.96 + 1.5Q = 9.1 \text{ kN } \uparrow$$

00012



ARDEX Butynol®

**BRANZ Appraised,
E2/AS1 Acceptable Solution**

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ARDEX Butynol®

BRANZ Appraised, E2/AS1 Acceptable Solution



BUTYNOL® SYSTEM SPECIFICATION

A synthetic rubber with properties which resist ageing from heat, sunlight and ozone. It has excellent gas impermeability and toughness and remains flexible at low temperatures.

Butynol® is manufactured by combining the petroleum gases isobutylene and isoprene at the extremely low temperature of -100°C. (Rubber Technology-Morton)

Butynol® is marketed by Ardex as a warranted roofing, decking and tanking product and fixed by their trained and experienced approved Applicators.

BUTYNOL® MATERIAL SPECIFICATIONS

Our requirements for long term warranty necessitate that Butynol® meets these typical technical requirements:

Specific Gravity to ASTM D297	1.20±0.05
Hardness IRHD to ASTM D1415	65±5
Tensile Strength to ASTM D412	8.3 MPa min
Modulus at 300% elongation to ASTM D412	4.15 MPa min
Elongation at break to ASTM D412	300% min
Heat Ageing (7 days at 115° C)	
Tensile Retention to ASTM D412	70% min
Elongation Retention to ASTM D412	70% min
Tear Strength to ASTM D624	26kN/m
Ozone Resistance to ASTM D1149 (7 days at 40°C in 50pphm ozone)	No visible cracks
Water Absorption to ASTM D471	
1.65% (by mass)	0.72% (by volume)
Water Permeability to ASTM E96-92	
Vapour Flow Resistance (MNs/g)	12414
Vapour Flow Rate (g/m²d)	0.013

Note: Interesting comparable figures for water permeability are –
Polythene 156, Asphalt 1830, P.V.C. 4900.

K Values on 1mm Butynol sheeting

K Value (Thermal Conductivity) 7.4×10^3
Cal/cm/sec/deg C.

Conductivity Data on 1mm Butynol sheeting

Resistance/m² $\Omega / m^2 = 0.6816$ on 9.3 volts.

SEAM TAPE PERFORMANCE

Tests on the seam tape bonding method, by an

independent testing laboratory, have shown average values equivalent to 90% of unwelded material. It is considered impossible for the test methods used to be duplicated in normal service ie. 400% elongation.

BUTYNOL® PROTECTION

Butynol® protects against water, moisture vapour, gases, sun, ozone, frost, acids, chemicals and bacteria.

BUTYNOL® RESISTANCE

Butynol® resists tearing, flex cracking, bubbling and abrasion. It is extremely strong, has a long life and is versatile.

STAINING OF LIGHT COLOURED BUTYNOL®

To avoid staining care must be taken during design stage to ensure that water running off unpainted treated timber and some metals (eg copper) do not run over light coloured Butynol®.

BUTYNOL® GAUGES

Standard 1.0mm and 1.2mm-For roofs, gutters and decks with protection.

1.2mm-For roofs.

1.5mm-For roofs, gutters and walk out decks.

2.25mm Heavy Duty

Factory welded panels in all gauges can be custom made.

BUTYNOL® IS PACKAGED

In rolls of nominal 1.4m width and 17.86m long. Each roll is packed in polythene wrapper trademarked Butynol® with thickness identified. Coverage 25m² except 2.25mm gauge which is 12m²

Gauges available are:

1.0mm black. Weight: nominal 30kg

1.5mm black. Weight: nominal 45kg

2.25mm black. Weight: nominal 32kg

1.2mm dove grey. Weight: nominal 32kg

1.5mm all colours. Weight: nominal 47kg

ADHESIVES AND SOLVENTS

Specially formulated for all Butynol® applications. Available in solvent and water based. Supplied in 20L steel/plastic pails (approx. 20kg). 4 and 1 litre cans.

BUTYNOL® SEALANT

Available in tubes for caulking guns.

ARDEX Butynol®

BRANZ Appraised, E2/AS1 Acceptable Solution

SEAM PRIMER

Seam Primer is specially formulated for use with Seam Tape. Applied with scrubber pads. Available in 4 and 1 litre cans.

SEAM TAPE

Recommended for all Butynol® laps.

Supplied by Ardex in 50mm x 30.5m rolls (6 to a carton).

DETAIL TAPE (uncured)

A malleable exterior tape for flashing exterior corners etc. 150mm x 30.5m rolls.

FLASHING TAPE

A malleable tape for moulding in gussets, pipe flashings and awkward situations. Supplied in 100mm x 5m rolls. Flashing tape must not be left exposed. A cover strip of Butynol® or detail tape must be applied over flashing tape to finish.

PLYWOOD TREATMENT

To be in accordance with Acceptable Solution E2/AS1 plywood substrate must be treated to H3.2 with Waterborne CCA treatment and kiln dried after treatment. All plywood joints should be taped with Ardex Release tape.

Plywood must not be LOSP treated.

DURABILITY

Butynol® when fixed according to Ardex instruction will meet the NZBC requirements of B2.3.1(b) 15 years. Refer BRANZ Appraisal Certificate No 436 (2011).

EXTERNAL MOISTURE

New Zealand Building Code Acceptable Solution E2/AS1 requirements recommend membrane clad roofs have a minimum pitch of 2° (1:30).

BUILDING TO NZBC ACCEPTABLE SOLUTION E2/AS1

NZBC Acceptable Solution E2/AS1 limits the size of decks to 40m² as covered by the scope of Appraisal No. 436 (2011). Butynol® Roofing Membrane is suitable for use on decks larger than 40m². These decks are the subject of specific design and are outside the scope of E2/AS1.

CLEANING WEATHERED BUTYNOL®

Use sugar soap to remove oxidation and restore surface. Wind blown dirt is more noticeable on low slope roofs, particularly on black Butynol®.

DAMP AND WEATHERPROOFING

The Building Code of Australia Deemed-to-Satisfy Provisions F1.9 and F1.10 are met by Butynol as an acceptable damp-proof course.

Butynol® when used as described in ABSAC Technical Opinion 188 August 1994 complies with the Building Code of Australia Deemed-to-Satisfy Provision F1.7(b) and Acceptable Construction Manual Part 3.8.1.0, or AS 3740 for "Water Proofing of Wet Areas in Buildings".

PAINTING OVER BUTYNOL®

Use Ardex WPM 908. Wash with Sugar Soap. Beware of using non Ardex primers as this may effect your Butynol® Warranty.

FIRE RATING

The Butynol® roofing system must be considered combustible but may be used on buildings for all purpose groups, subject to the requirements of NZBC Acceptable Solution C/AS1 Part 7, Paragraph 7.11.1.

When used for roofs in Purpose Groups SC and SD a non-combustible substrate or timber 18mm thick is acceptable. Refer 7.11.1.

Building Code of Australia allows use in all building types under Specification C1.10, Clause 7(e), except in bush fire prone areas.

PRODUCT WARRANTY

When laid by an approved Applicator in accordance with Ardex's specifications, a material warranty for up to 20 years (covering the Membrane, adhesive and tape) is available.

WORKMANSHIP

A warranty for workmanship shall be provided directly by the approved Applicator. The period and terms of the workmanship warranty shall be determined by the conditions of contract or the approved Applicator.

ADHESIVES AND SOLVENTS FOR USE WITH BUTYNOL®

- WA98 - The Standard contact brushing, spray grade and rolling adhesive for fixing to the substrate and for laps not subject to periodic ponding.
(Pitch 5° and above)
- WA98S - Solvent for clean up of WA98 adhesive.
- WPM 09A - Solvent free spray/brush adhesive.
(for use with Eco Butynol®)
- WPM 09C - Solvent free catalyst used in conjunction with WPM 09A
(for use with Eco Butynol®)
- Seam Primer - A water resistant primer, used with seam tape for general lap bonding.

Note: Temperature and Humidity

The evaporation of any solvent adhesive system causes a drop in temperature at the interface. At times of high humidity this can result in a micro molecular water layer at the interface which will result in a failure to bond, falsely attributed to Adhesive failure. Fixing should not proceed under these circumstances.

NOTES

1. In cases of extreme absorbency, a priming coat of 50/50 WA98 adhesive and solvent may assist water shedding and absorption. However, a follow up of full strength adhesive for full bonding should not be proceeded with under four hours, thus allowing full evaporation of solvents absorbed into the substrate. Primers must be time dried not touch dried.
2. As new substrate materials continually appear on the market, consult Ardex for approval of their use with Butynol®.
3. Seam tape and seam primer must be used for all Butynol® joints.
4. Do not use in temperatures less than 6°C.

ARDEX Butynol®

BRANZ Appraised, E2/AS1 Acceptable Solution

SUBSTRATE SPECIFICATION (Plywood)

To conform with Acceptable Solution E2/AS1 plywood shall be:

A minimum of 17mm complying with AS/NZS 2269, at least CD Structural Grade plywood with the sanded C face upwards, and H3.2 with Waterborne CCA treatment and kiln dried after treatment.

Substrates must be dry when Butynol® is applied. The plywood and the timber substructure shall have a maximum moisture content of 20% when Butynol is adhered.

Plywood panels shall be laid with staggered joints (brick bond), the edge of sheets shall be supported with dwangs or framing, unless a structurally tested tongue-in-groove edge provides equivalent support. The maximum recommended span in E2/AS1 is 400mm. However specific design may allow 17.5mm plywood or greater to be laid on 400mm purlins with nogs or dwangs at 600mm or even 1200mm centres. Plywood shall be laid with the face grain at right angles to the supports. A 20mm triangular fillet shall be used at the base of any 90° upstand. External edges shall be chamfered with a minimum radius of 5mm.

Plywood shall be fixed with 10 gauge x 50mm stainless steel countersunk head screws with 3mm gaps between all sheets, at 150mm centres on edges, and 200mm in the body of the sheets.

All joints in the plywood and junctions of plywood with other materials shall have 25mm Ardex Release tape applied before application of Butynol®.

PLYWOOD QUALITY

Plywood to be installed in accordance with the plywood manufacturer's recommendation to provide a suitable surface for membrane.

Problems with plywood quality may effect long term membrane performance.

Please check with your plywood supplier.

We have duplicated the position of one supplier below.

- Face checks in plywood do not affect the structural integrity of the panel as they are confined to the surface veneer and are strictly aesthetic in nature.
- As face checking occurs naturally Carter Holt Harvey Woodproducts does not consider them to be a manufacturing or product fault.

Source: Specifications and Installation Guide Carter Holt Harvey.

Laying on plywood with face checking as above should be avoided and surface corrected if possible.

NOTE: The use of LOSP (Light Organic Solvent Preservative) treated plywood must NOT be used under Butynol® in any circumstances or conditions.

SUBSTRATE SPECIFICATION (Concrete)

New concrete

Must be cured for a minimum of 28 days and all curing compounds removed prior to application.

A reduction in cure time can be achieved by utilising the Ardex HydrEpoxy System (consult Ardex Technical Department for details).

Old concrete

Must be clean from any contaminants prior to application.

For further substrate types please consult Ardex Technical Department.

ROOF VENTILATION

The most important precaution to observe with low slope roofs is that no construction moisture is enclosed. Low slope or flat roof structures are generally slow drying because of their impermeable cladding. All timbers should be below 20% moisture before being enclosed.

No amount of ventilation will cope with moisture problems created by drying timbers.

If there is a reason to believe that there is moisture trapped in the roof structure Ardex can provide our standard one way substrate ventilators or our lo rise one way ventilators to provide a better visual appearance.

Soffit ventilation is the most effective way to provide effective roof cavity ventilation. Careful placement of the soffit ventilation to avoid gutters etc, will provide a natural airflow as well as cooling to a low slope membrane clad roof.

Closed-in construction spaces under Butynol® roofs and decks shall have adequate ventilation to prevent the accumulation of moisture under Butynol®. There should be a minimum gap of 20mm between the underside of the substrate and any insulation.

SUBSTRATE VENTILATION

Substrate ventilation should be used to release moisture trapped under the Butynol® on concrete surfaces. Substrate ventilators are used in conjunction with vent tapes. Tapes should be laid in a grid pattern spaced at 600mm venting to the roof perimeter. On plywood substrates ventilators are used at the junction of the ply. Ventilators are not required in most applications for cavity ventilation - seek advice from an Ardex Representative. One way substrate ventilators prevent moisture vapour build up and if required can be installed every 90 square metres. Not designed to ventilate roof cavities. (Refer Diagram page 20).

TYPICAL ARCHITECTURAL BUTYNOL® RUBBER ROOFING SPECIFICATION

1. Preliminary

Refer to the Preliminary and General Clauses of this specification and to the General Conditions of Contract which are equally binding on all trades. This section of the specification shall be read in conjunction with all other sections.

2. Scope

This section of the contract consists in general of the provision and laying of all the Butynol® rubber, for the roofs, decks, gutters and flashings on the buildings. Refer to Clause 12 hereafter for Extent of Work.

3. Workmanship

The whole of the work shall be carried out by skilled tradesmen using adequate and proper equipment and methods in accordance with best trade practice, and following the specifications methods and recommendations as laid down by the manufacturers.

4. Sub-contractors

The work included in this section of the contract shall be carried out by a firm of roofing experts conversant with and specialising in the supply and fixing of this material and shall be a firm approved by Ardex.

5. Warranty

When laid by an approved Applicator in accordance with Ardex's specifications, a written material warranty of up to 20 years is available. It is the responsibility of the approved Applicator to confirm proper installation and to request Ardex to issue a material warranty on behalf of the customer following completion of installation.

6. Materials

6.1 Butynol® Rubber

(a) Shall be 1.0mm thick standard Black Butynol® rubber to all roof surfaces, gutters and fascias and walk out decks where membrane is to be overlaid with tiles or timber.

(b) Shall be 1.5mm thick Butynol® to all walk out decks.

6.2 Adhesives

Shall be as recommended by Ardex specially formulated for Butynol® rubber and suitable for the particular application and the relevant temperature and conditions applicable.

Generally Ardex WA98 adhesive (or WPM 09A) is used for substrate bonding.

Ardex seam primer shall be used in conjunction with Ardex seam tapes for all laps.

When conditions are experienced that are outside the temperature and/or moisture ranges recommended by the manufacturers for the above standard adhesives work will cease.

6.3 Seam Tapes

Shall be 50mm wide seam tape provided by Ardex.

6.4 Substrate Joint Tape

All Plywood joints shall be taped with a 25mm wide pressure sensitive Ardex Release tape.

7. Roof Deckings

Shall be 1.5mm Butynol® or 1mm with a protective covering for all deck surfaces.

All decks to which Butynol® is to be fixed shall be clean, smooth, dry and free from dirt, grit or sharp objects.

Deck substrates may be primed with 50/50 WA98 adhesive/solvent.

The Butynol® roofer shall co-operate with the other trades laying the decking to ensure that the final surface is in first class condition for the laying of the Butynol® rubber roofing.

The Butynol® roofer shall check the deck before laying any Butynol® to ensure that the surface is completely sound, screw fixed to specifications: screw heads flush, sheets spaced to provide for thermal movement or shock.

NZBC Acceptable Solution E2/AS1 limits the size of decks to 40m² as covered by the scope of Appraisal No. 436 (2011). Butynol® Roofing Membrane is suitable for use on decks larger than 40m². These decks are the subject of specific design.

Full Ardex specifications also available on Masterspec.

ARDEX Butynol®

BRANZ Appraised, E2/AS1 Acceptable Solution

8. Laying of Butynol® Roofing

It is the responsibility of the Applicator to ensure that the substrate surface to be covered by the Butynol® is in fit and proper condition, suitable for the laying of the material.

Tape all joints in substrate sheets with 25mm wide pressure sensitive tape approved by Ardex.

All Butynol® sheeting shall be laid out on the roof to "relax" the sheeting before fixing. A period of at least 20 minutes is usually required. Do not finally position sheeting with a tension exceeding 2%.

Apply adhesive to the substrate and the underside of the Butynol® rubber sheeting by brush, spray or an approved type roller at a spreading rate of generally not less than 2.5 square metres per litre. Leave to tack dry before bonding the two surfaces together.

Lay sheeting by drawing back halfway either longitudinally or transversely. Thoroughly roll or work over the surface of the sheet to exclude all air and to obtain a full bond.

All Butynol® shall be "lap bonded" as detailed below.

Bonding Laps with Ardex Seam Tape and Seam Primer

1. The top lap is positioned and the bottom sheet marked to indicate the edge of the top sheet.
2. The top sheet is folded back.
3. The Ardex Seam Primer is then applied to the Butynol® in the area marked on the bottom sheet and 50mm in from the edge on the top sheet. The Ardex Seam Primer is applied to the mating surfaces using a synthetic scrubbing pad. Scrubbing pads should be replaced as they become dirty. Allow the primer to become 'dry to the touch'.
4. Position and unroll the 50mm Ardex Seam Tape along the seam. The edge of the release paper should be aligned to the mark on the bottom membrane sheet.
5. Roll the length of the seam with the release paper still in place.
6. Remove the release paper from the Ardex Seam Tape by pulling at a 45° angle away from the seam. Keep the release paper low to the roof surface as it is removed.
7. Fold into place the primed edge of the top sheet.
8. Roll the completed seam.

9. Tiling Over Butynol®

To direct fix tiles to Butynol, ABA Optima two part adhesive should be used. Ensure the Butynol® surface is clean and dry before applying the adhesive. All laps must have seam tape.

Tiles may also be adhered to a removeable layer of Ardex DS60 to comply with (E2 7.3.1.1) with the ability to lift the top surface off when necessary.

(Refer Optima page 41)

10. Protection of Laid Butynol® Sheeting

The Butynol® roofing contractor shall ensure that his fixers only work on the Butynol® roofing with soft sole shoes.

The Butynol® roofer shall co-ordinate with the main contractor who shall ensure that any other trades who work over the completed roof wear soft sole shoes.

Upon completion of each area the roofer shall get the main contractor to inspect the area and the main contractor will sign off that the area was free from any defects or damage. It is then the responsibility of the main contractor to ensure the Butynol® roofing is in no way damaged by other trades.

11. Completion

On completion carefully and thoroughly clean off and remove all scraps and other rubbish from finished surfaces and leave in tidy order.

12. Extent of Work

Observe the foregoing specification and supply and lay Butynol® rubber sheeting to all roofs, decks, gutters and flashings as shown and detailed in the Ardex specification.

Failure to comply with the above specifications will result in all warranties being null and void.

LAYING SPECIFICATION

The Sub contractor for the work called for in this trade will be a Company or Person approved by Ardex.

The approved Applicator (hereafter called the Applicator) shall examine all drawings and provide for the flashing, caulking and sealing of all vents, stacks and pipes penetrating the roofing membrane. Also all flashings at walls, parapets, verges, gutters etc., unless otherwise instructed in the specifications.

The surface to which Butynol® is to be fixed shall be clean, smooth, dry and free from sawdust, grit or sharp objects. Membrane laying shall not start until defects have been corrected.

To avoid staining care should be taken to avoid water runoff from copper downpipes or guttering on to light coloured Butynol®.

When CCA plywood is used in conjunction with a light coloured membrane it is advisable to prime any plywood that will not be covered the same day.

It is the responsibility of the Applicator to ensure that the surface to be covered by the Butynol® is in fit and proper condition, suitable in all respects for the laying of the material.

On completion the Applicator will provide the owner with a Workmanship Warranty and obtain from Ardex a Materials Warranty.

Failure to comply with the above specifications will result in all warranties being null and void.

LAYING THE BUTYNOL®

Before applying the Butynol®, it shall be unrolled for twenty minutes to relieve stresses induced by manufacture and storage. The Butynol® sheet shall be set out in the exact position in which it will be finally required and while it is held in place, it shall be folded back lengthwise to expose half the underside. To the now exposed underside and the area of roof also left exposed, apply an even coat of WA98 Adhesive or WPM 09A (solvent free). When the adhesive has become touch dry, work the sheet back into its original position avoiding wrinkles and the inclusion of air bubbles.

Repeat the process with the other half of the sheet and when completed, roll the whole sheet with hand press rollers or the like.

When applying the next sheet, it shall be lapped over the first sheet by 50mm. All turn ups and downs shall be neatly formed and cut to a straight line if required.

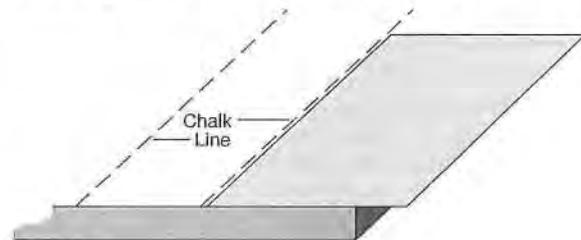
Butynol shall not be laid under tension.

When the whole area has been covered or as work progresses, the applicator has to seal the laps.

BUTYNOL® LAYING METHOD

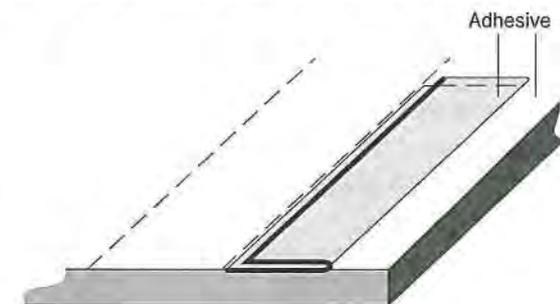
STEP 1

Accurately place sheet. Mark spacing with chalk line.



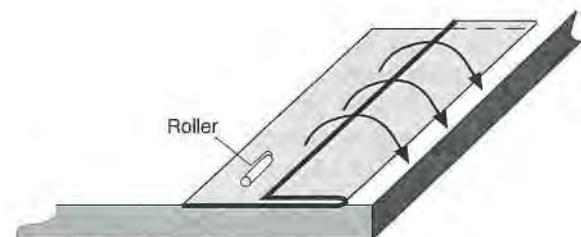
STEP 2

Fold back half sheet. Apply adhesive to both faces.



STEP 3

After flash off, fold membrane into place. Roll thoroughly.



STEP 4

Treat 2nd half of Butynol® similarly.

ARDEX Butynol®

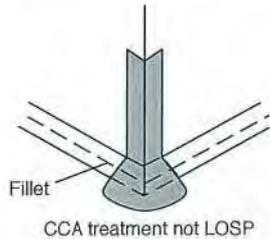
BRANZ Appraised, E2/AS1 Acceptable Solution

EXTERNAL CORNERS

To comply with Acceptable Solution E2/AS1 Figure 57.

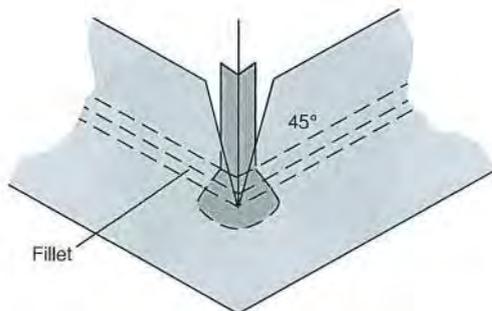
STEP 1

Bond 100mm flashing to corner as shown.



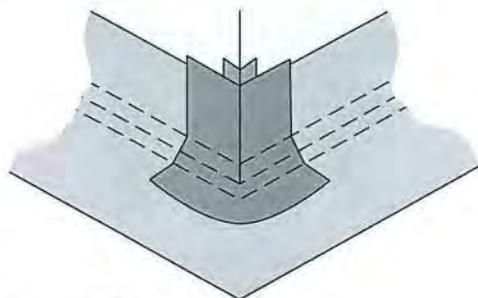
STEP 2

Bond Butynol® to deck and up wall 150mm minimum. Cut sheet from corner at 45° as shown.



STEP 3

Cover corner point with layer of detail tape.

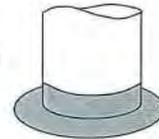


NOTE: Fillets must be used on all internal corners.

FLASHING - EXISTING PIPE

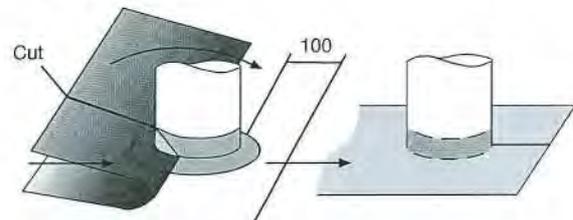
STEP 1

Under flash pipe with 100mm Butynol® flashing tape.



STEP 2

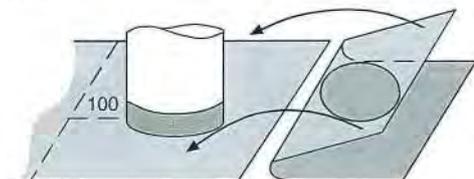
Bond Butynol® to 100mm past pipe. N.B. When flashing black Butynol® use Butynol® or detail tape.



STEP 3

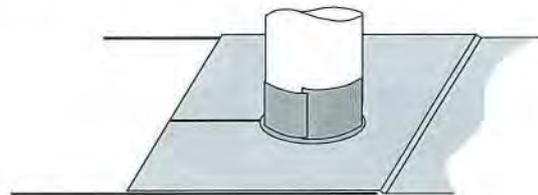
Bond continuation of Butynol® to overlap base sheet and beyond pipe 100mm.

Cut a smooth round hole 20mm smaller than diameter of penetration.



STEP 4

Apply collar of detail tape or Butynol® cover strip. DO NOT STRETCH STRIP.

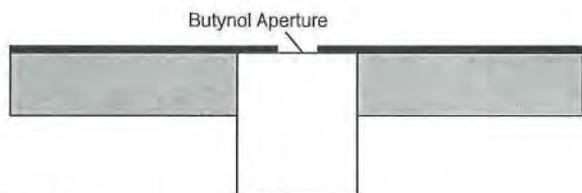


N.B. Flashing tape MUST NOT be left exposed. Cover strip must be Butynol®. When detail tape is used a cover strip of Butynol® is not required.

FLASHING - NEW PIPE

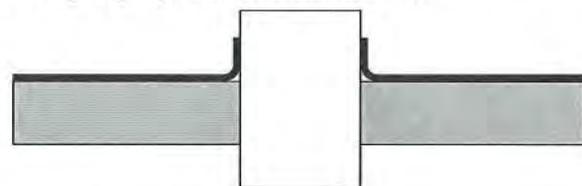
STEP 1

Cut smaller diameter hole than pipe.



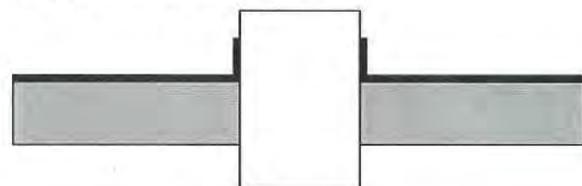
STEP 2

Pipe is raised through smaller diameter hole in Butynol®, forcing edge upwards to create upstand.



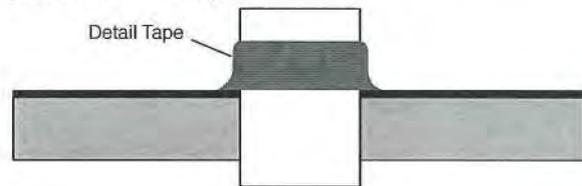
STEP 3

Pull pipe down to eliminate void.



STEP 4

After pulling pipe down approximately 1cm to sharpen corner, tape upstanding Butynol® to pipe using seam primer and detail tape.

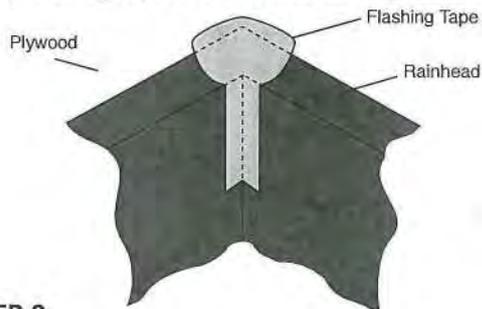


N.B. If flashing tape is used it **MUST NOT** be left exposed. A cover strip of Butynol® must be applied over the flashing tape to finish.

INTERNAL CORNERS FOR RAINHEADS
and areas where a pig's ear cannot be used.

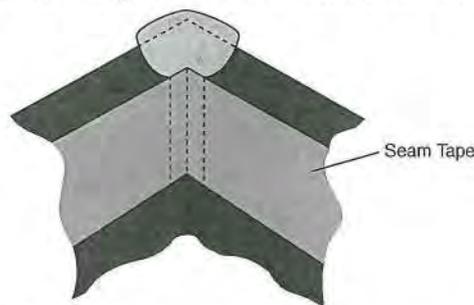
STEP 1

Apply Flashing Tape over Rainhead and Plywood.



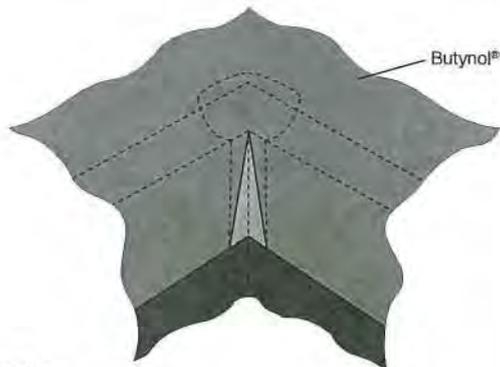
STEP 2

Run Seam Tape along all four vertical sides of Rainhead.



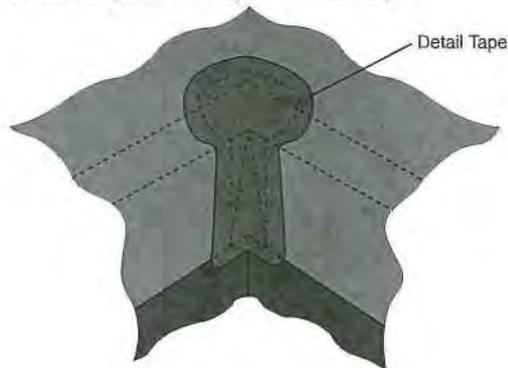
STEP 3

Cut Butynol® sheet to fit into corners.



STEP 4

Cover corner point with layer of detail tape.

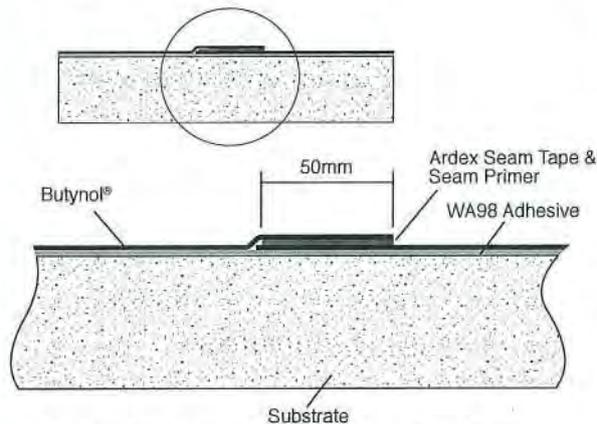


ARDEX Butynol®

BRANZ Appraised, E2/AS1 Acceptable Solution

BONDING THE LAPS

Seam tape and seam primer must be used for all Butynol® joints.

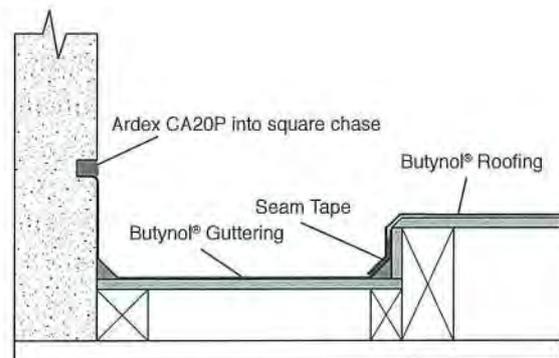


1. The top lap is positioned and the bottom sheet marked to indicate the edge of the top sheet.
2. The top sheet is folded back.
3. The Ardex Seam Primer is then applied to the Butynol® in the area marked on the bottom sheet and 50mm in from the edge on the top sheet. The Ardex Seam Primer is applied to the mating surfaces using a synthetic scrubbing pad. Scrubbing pads should be replaced as they become dirty. Allow the primer to become 'touch dry'.
4. Position and unroll the 50mm Ardex Seam Tape along the seam. The edge of the seam tape should be aligned to the mark on the bottom membrane sheet. The see-through backing film makes this very simple.
5. Roll the length of the seam with backing film still in place.
6. Remove the backing film from the Ardex Seam Tape by pulling at a 45° angle away from the seam. Keep the backing film low to the roof surface as it is removed.
7. Fold into place the primed edge of the top sheet.
8. Roll the completed seam.

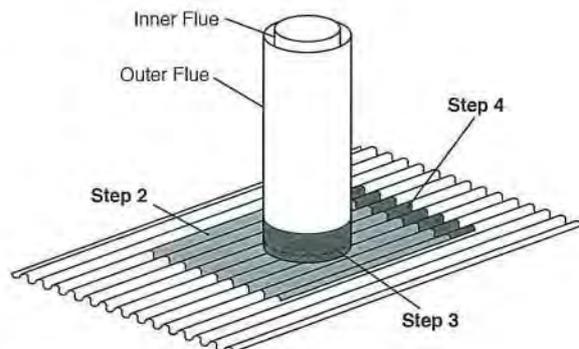
FORMING LAPS FOR GUTTERS

Laps are most important in gutter work and should be formed using Ardex seam tape and seam primer.

All internal boxed gutters can be easily formed to any shape or size using Butynol® over any specified substrate.



FLUE FLASHING



Step 1

Measure Butynol® to suit size of pipe. Cut a smooth round hole at least 20mm smaller than diameter at flue penetration.

Step 2

Fix Butynol® Flashing onto roofing with WA 98 adhesive ensuring membrane is relaxed into roofing profile.

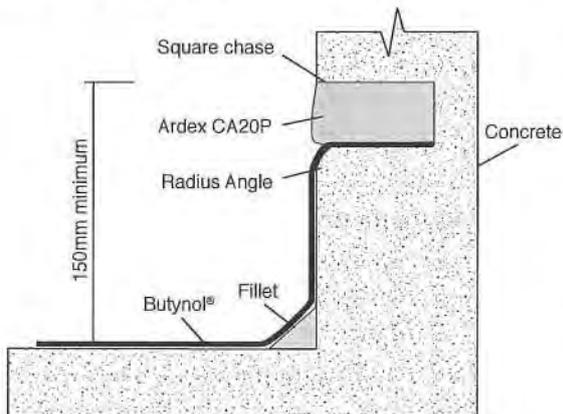
Step 3

Apply collar of Detail Tape sealed with Seam Primer onto 20mm Butynol® upstand.

Step 4

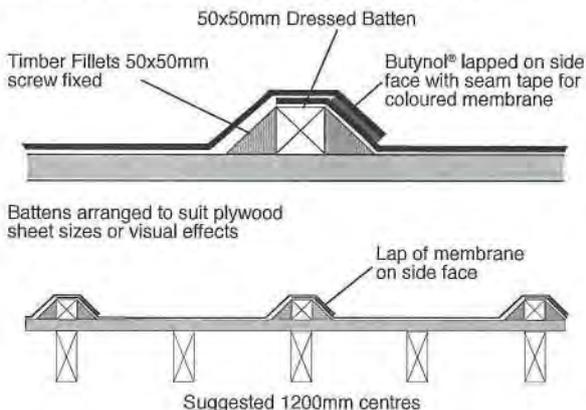
Apply flashing strip of Detail Tape sealed with Seam Primer onto Butynol® top edge and roofing ensuring feather edge is on the upside.

FLASHING INTO CONCRETE WALLS



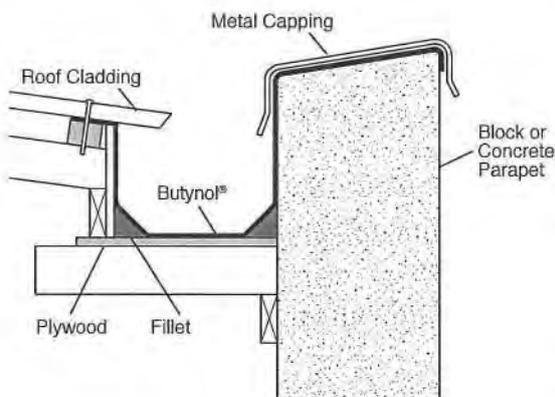
Butynol® is glued into square chase and finished with Butynol® Sealant.

RECOMMENDED BATTEN PROFILE DETAIL

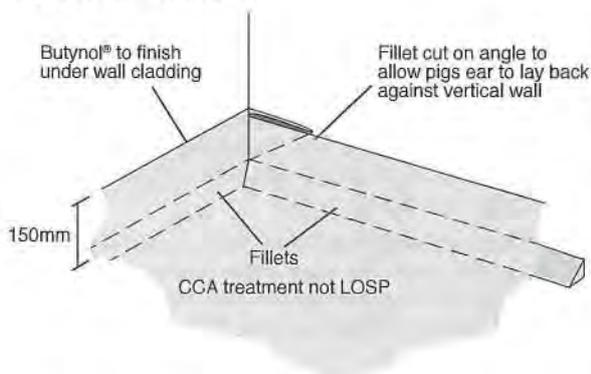


Example of a 1400mm sheet of Ardex Butynol® dressed over battens at 1200mm centres
 Note: Treatment for battens must be H3.2 (CCA) only. Not LOSP treated.

BOXED GUTTER AND PARAPET DOWNTURN



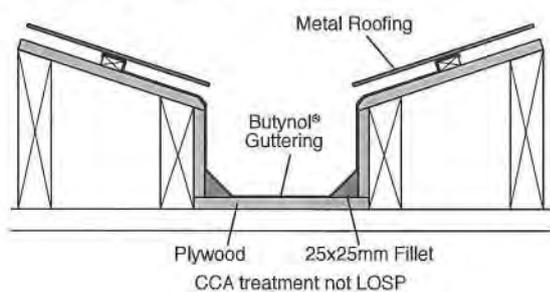
INTERNAL CORNERS



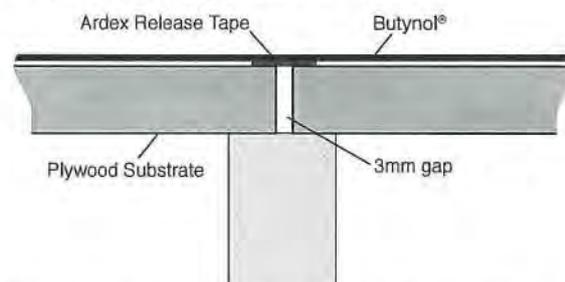
Without cutting Butynol® simply fold a 'pig's ear' corner as shown. The angle fold should be behind the main sheet.

NOTE: Fillets must be used on all internal corners.

INTERNAL GUTTER



TAPING SUBSTRATE SHEETS



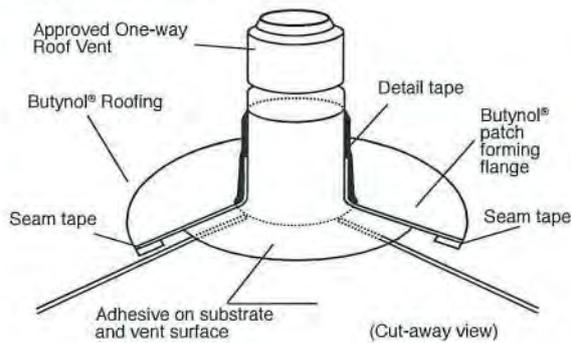
All joints between substrate sheets of Ply should be taped to prevent stressing of the Butynol® in case of marked timber movement.

ARDEX Butynol®

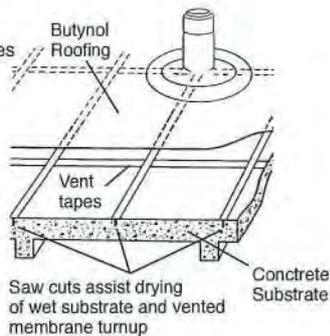
BRANZ Appraised, E2/AS1 Acceptable Solution

ONE WAY SUBSTRATE VENTILATOR

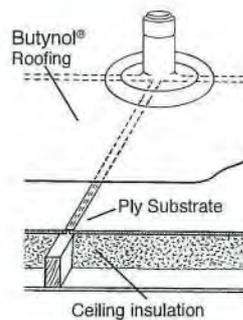
PVC or Aluminium



Vent installed over intersection of vent tapes on concrete substrate



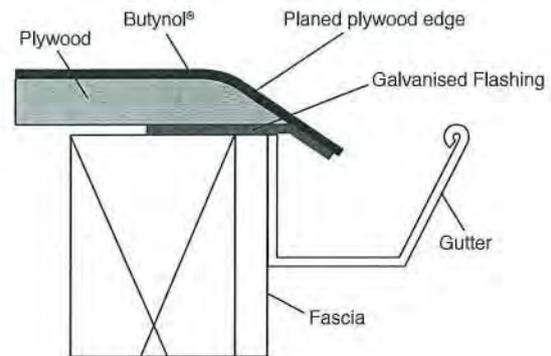
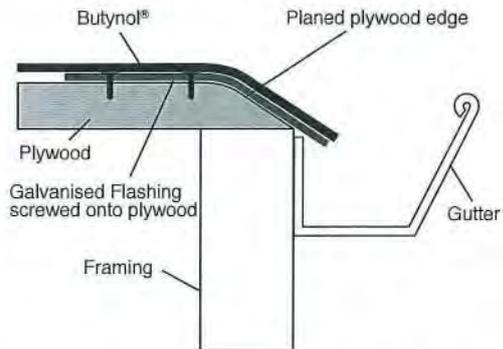
Vent installed over intersection of 3mm gap between Ply substrate sheets.



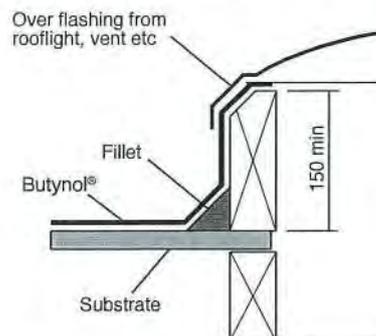
LO RISE ROOF VENT



TWO METHODS FOR FINISHING OVER A GUTTER

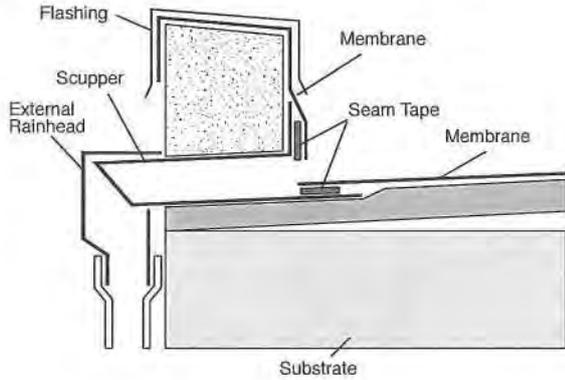


ROOFING PENETRATION IN MEMBRANE

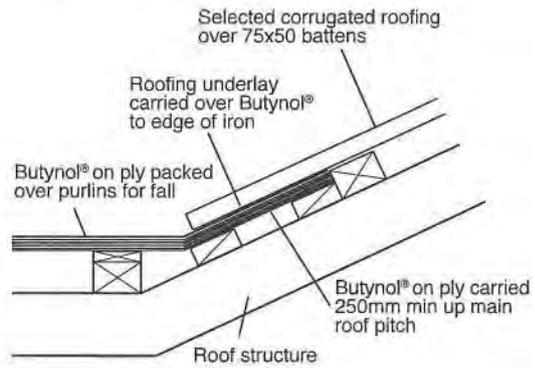


NOTE: 1 For maximum penetration size of 1200x1200mm
2 External corners to be formed as shown

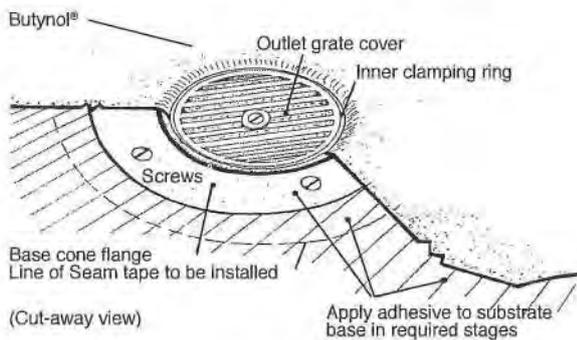
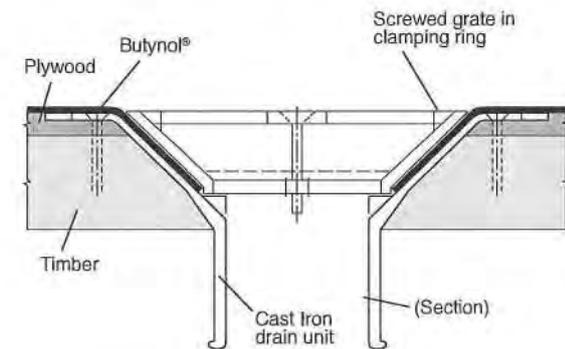
SCUPPER OUTLET



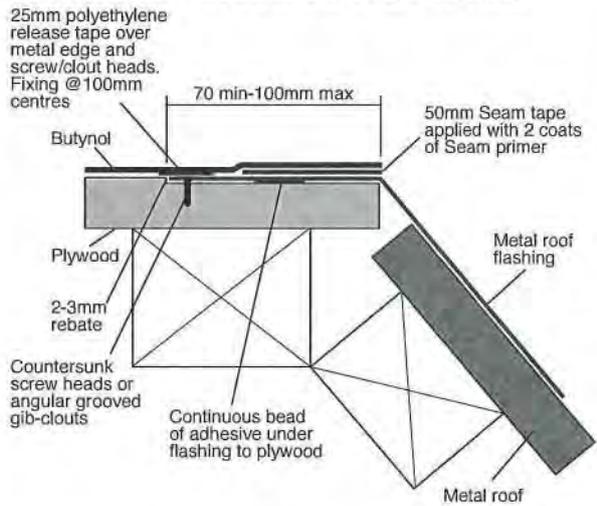
BUTYNOL®/CORRUGATE PITCH CHANGE JUNCTION



INTERNAL ROOF DRAIN (NZBC E2/AS1 Approved)

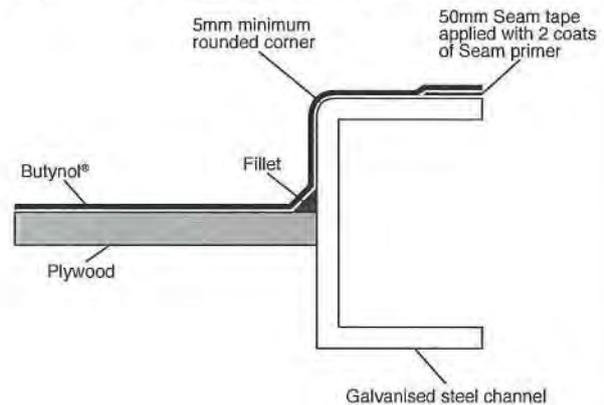


BUTYNOL® LAPPING OVER METAL FLASHING



Where Seam tape is to be used **no** silicone sealant should be used when installing flashing. If silicone is present remove completely with solvent.

BUTYNOL® FLUSH FINISH TO METAL EDGE

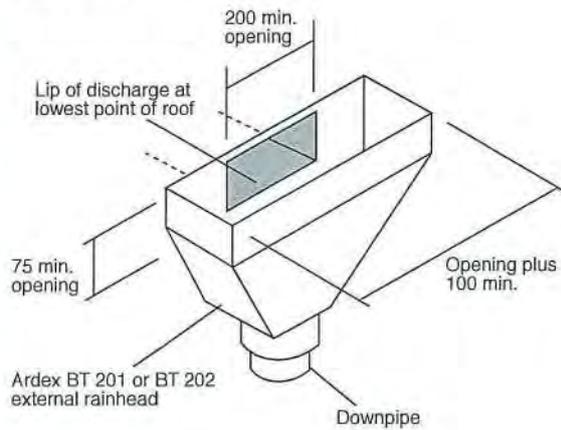


ARDEX Butynol®

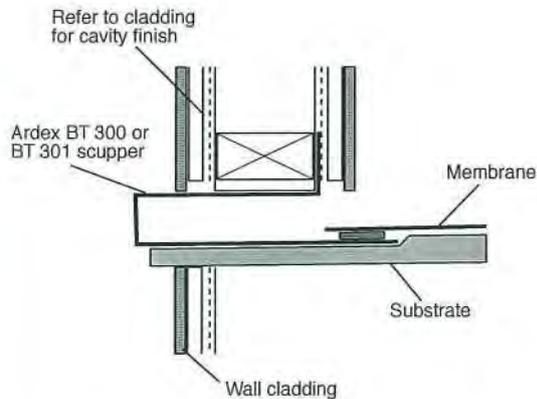
BRANZ Appraised, E2/AS1 Acceptable Solution

RAINWATER HEAD AND SCUPPER OPENING IN MEMBRANE USING ARDEX BT 300 OR BT 301 SCUPPER

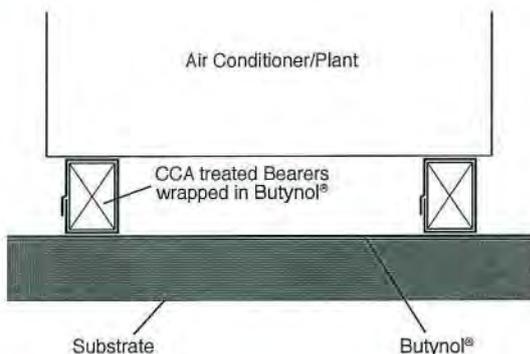
Deck outlet



Overflow

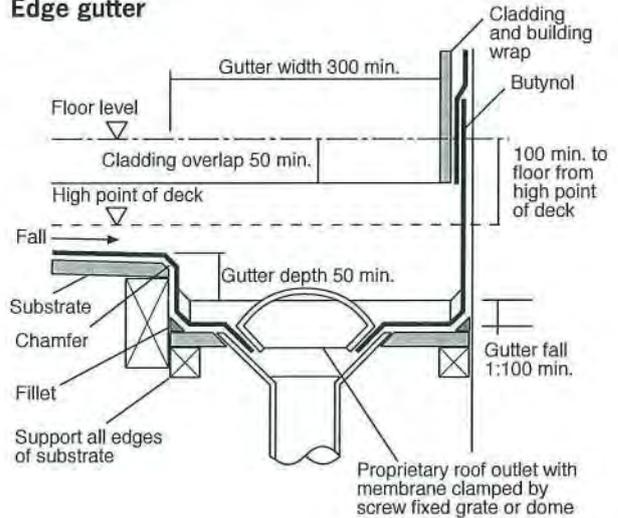


Air Conditioning/Plant Fixing Detail

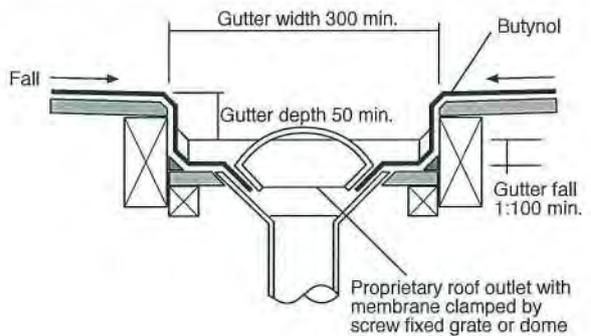


GUTTERS AND OUTLETS IN MEMBRANE

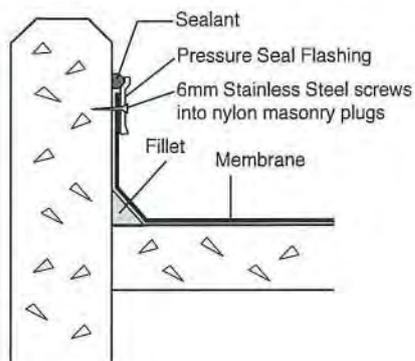
Edge gutter



Central gutter

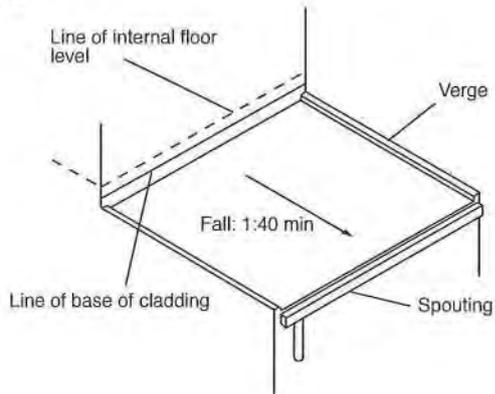


Aluminium Pressure Bar Seal

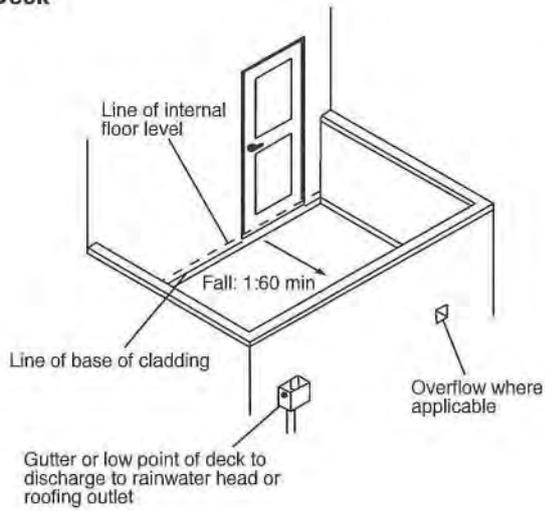


FALLS IN BUTYNOL® ROOFS AND DECKS

Roof

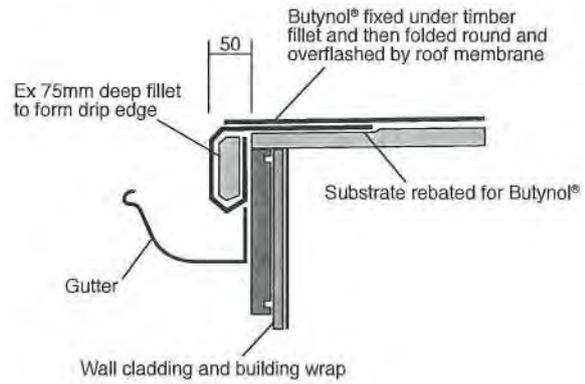


Deck

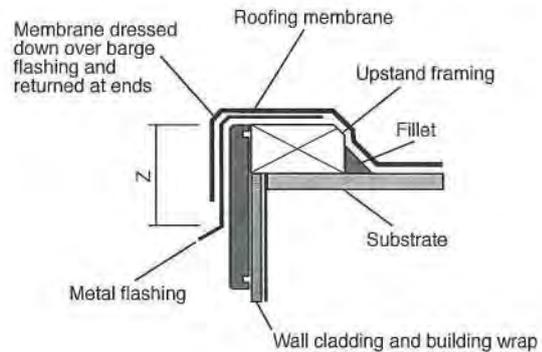
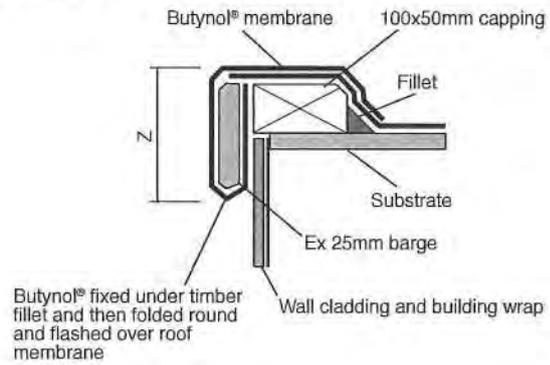


EAVE AND VERGES IN BUTYNOL®

Eave



Verges



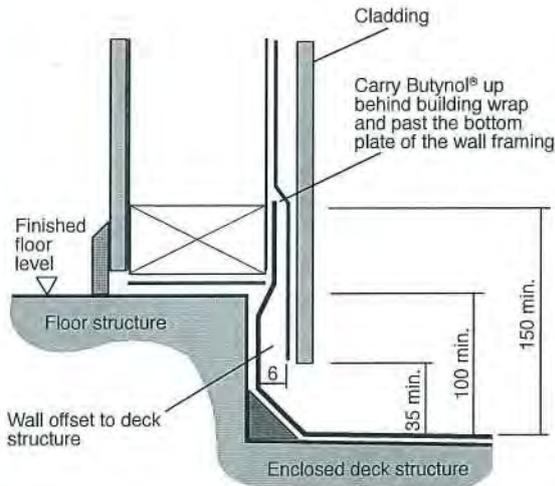
NOTE: Z = variable according to wind zone

ARDEX Butynol®

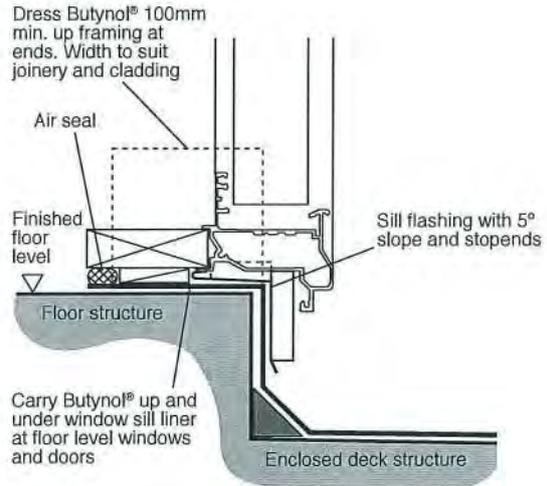
BRANZ Appraised, E2/AS1 Acceptable Solution

JUNCTIONS WITH WALLS FOR BUTYNOL®

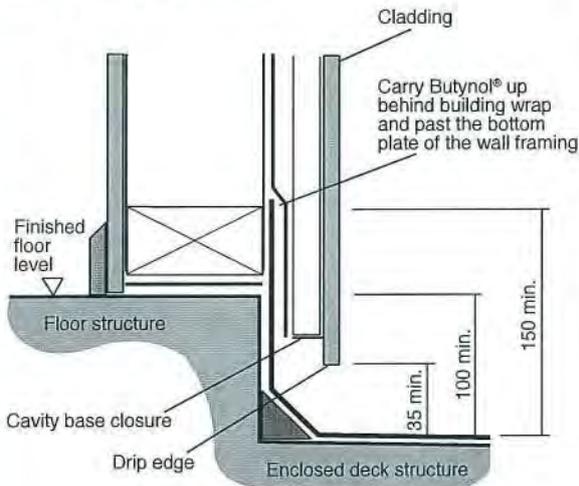
Direct fix threshold at wall



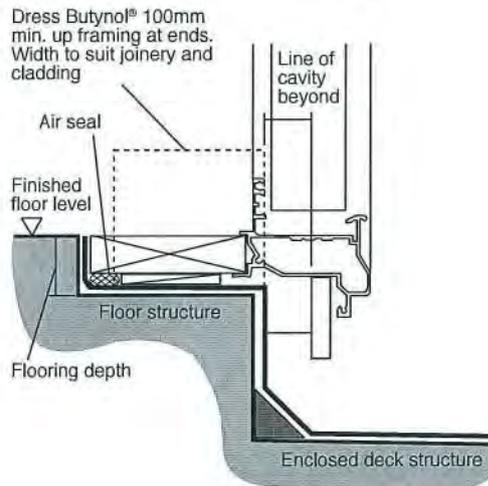
Direct fix threshold at opening



Cavity threshold at wall



Alternative threshold at opening



- NOTE: 1 Internal corners to be formed as shown on page 26
 2 Dimensions are shown to Butynol®. However, where there is an additional material applied over the Butynol® all dimensions shall apply to the highest level of the wearing surface

LOOSE LAID APPLICATION OF BUTYNOL® ROOFING

Materials used shall be as previously specified. When the surface is suitably prepared a large fully vulcanised Butynol sheet or sheets can be unrolled and spread over the prepared area and allowed to remain in this position for approximately one hour to relieve stresses induced by manufacture and storage. If necessary for ease of handling, these sheets can be supplied in varying sizes and vulcanised on site using an Ardex vulcanising machine or using seam tape with seam primer.

The Butynol® sheet shall be set out in the exact position in which it will be finally required and whilst it is held firmly in place it shall be folded back at least one metre from the roof's surrounding parapet or wall to allow the application of adhesive to that area of the exposed substrate.

WA98 adhesive may be applied to the substrate and the corresponding area of Butynol® sheeting which may then, when the adhesive is touch dry, be worked back into its required position avoiding wrinkles and the inclusion of air bubbles.

Upon completion of the detail work, parapets, drains and rainheads etc a layer of rounded gravel 30-40mm should be applied up to 50mm deep, over a layer of Geo Textile Fabric for protection of the Butynol® sheet.

Care must be taken at outlets to ensure the ballast cannot enter or cause a blockage that prevents rainwater from leaving the roof area. Maintenance paths should be created to air-conditioning or roof plant with concrete tiles.

Effects on the membrane in areas of high wind can be eliminated by stabilising the ballast with cement. Dry cement should be broadcast over the 30-40mm gravel with a broad mouth shovel and left to hydrate or lightly sprayed with water to set off.

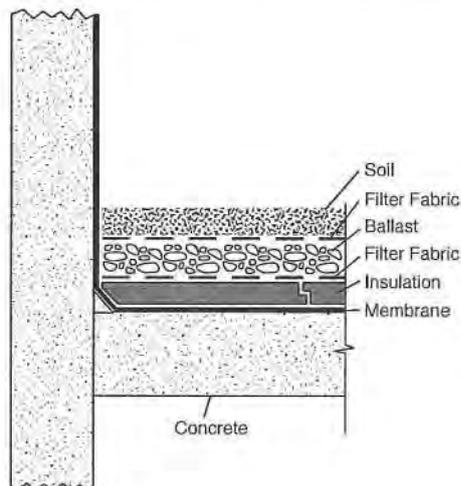
If possible a water test should be carried out prior to the application of ballast.

Note: Minimum pitch 2.0° to comply.

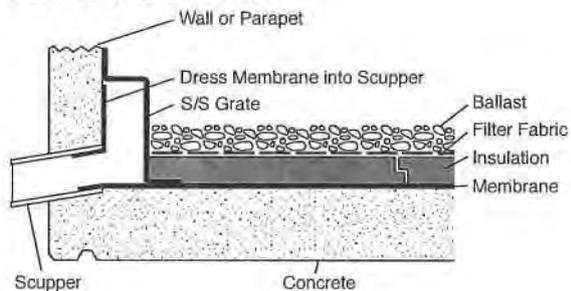
Refer NZBC Clause E@/AS1 External Moisture 8.5.1 (a).

Butynol® can be laid with zero pitch if compliance can be obtained. Lap may be welded in factory or on site if required.

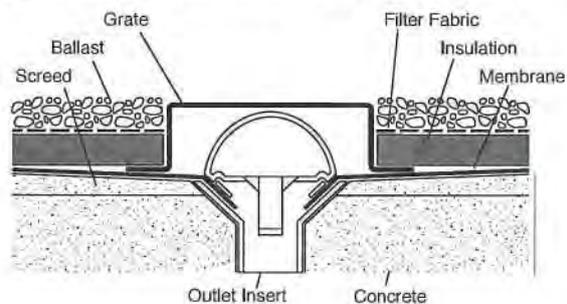
TYPICAL BALLASTED/GARDEN ROOF DETAIL



SCUPPER ROOF OUTLET



SCUPPER ROOF OUTLET & GRAVEL RETAINER





Memorandum from licensed building practitioner: Certificate of design work

Section 45 and section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address:	7 FOREST LANE
Suburb:	RAUNATI SOUTH.
Town/City:	Postcode:

THE OWNER(S)	
Name(s):	MURRAY & CHELLY STEPHENS
Mailing address:	7 FOREST LANE
Suburb:	RAUNATI SOUTH.
PO Box/Private Bag:	
Town/City:	Postcode:
Phone number:	021 455 448
Email address:	m-stephens@xtra.co.nz

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies

- sole** designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project
- lead** designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
- lead** designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memorandum relating to their specific RBW design
- specialist** designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I BILL FRANCIS carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
All RBW design work relating to B1 <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Foundations and subfloor framing <input type="checkbox"/>	<u>BY ENGINEER</u>	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input checked="" type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Walls <input checked="" type="checkbox"/>	90x45 TIMBER FRAMING	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	Pg 2.
Roof <input checked="" type="checkbox"/>	POST - STRUT RAFTERS	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	Pg 4
Columns and beams <input type="checkbox"/>	BY ENGINEER	<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Bracing <input checked="" type="checkbox"/>	SHEET BRACING	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	Pg 2
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2			
All RBW design work relating to E2 <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Damp proofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	COLCUMSTEEL LONGSPAN ROOFING	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	PE 4.
Ventilation system (for example, subfloor or cavity) <input checked="" type="checkbox"/>	OPENING WINDOWS & SUBFLOOR VENTILATION	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	PE 2, 3
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	LINEX W/BOARDS	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised	PE 5
Waterproofing <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included. Cross <input type="checkbox"/> if excluded	If appropriate, provide details of the RBW	Tick <input checked="" type="checkbox"/> whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
FIRE SAFETY SYSTEMS: C1 - C6			
Emergency warning systems Evacuation and fire service operation systems <input type="checkbox"/> Suppression or control systems Other		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised	
Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.			

WAIVERS AND MODIFICATIONS	
Waivers or modifications of the Building Code are required. <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, provide details of the waivers or modifications below:	
Clause	Waiver/modification required
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: BILL FRANCISLBP or Registration number: 111338The practitioner is a: Design LBP Registered architect Chartered professional engineer

Design Entity or Company (optional):

Mailing address (if different from below):

Street address/Registered office:

Suburb:

Town/City: PARAPARAUMUPO Box/Private Bag: P.O BOX 65

Postcode:

Phone number:

Mobile: 027 2499519

After hours:

Fax:

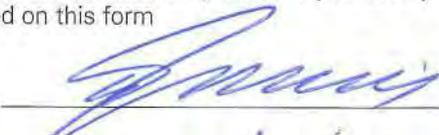
Email address:

Website:

DECLARATION

I BILL FRANCIS LBP, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature: Date: 10/3/2016

30014



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**

Search Copy



R. W. Muir
Registrar-General
of Land

Identifier **WN42D/55**
Land Registration District **Wellington**
Date Issued 02 April 1993

Prior References

WNF1/217

Estate Fee Simple
Area 436 square metres more or less
Legal Description Lot 2 Deposited Plan 76027

Proprietors

Murray John Stephens

Interests

The within land has no frontage to a legal road - See Resolution B284634.2
6499745.3 Mortgage to ASB Bank Limited - 18.7.2005 at 9:00 am



email invoice to owner

Crapp Plumb & Vodafone.com



R B W

BUILDING CONSENT FEE CALCULATOR

10017 Kāpiti Coast DISTRICT COUNCIL
My Hiri Whakamua, Ka Efiru Whakamua

Applicant Name: _____

Building Consent No: 160332

Consent Type			
Residential new building/alterations \$20,001-\$50,000			
Project Value:	<input type="text" value="30,000.00"/>		
		<i>Use nearest whole \$1,000</i>	
Consent Fee:			985.00
Number of Units over \$100k:	<input type="text" value="0"/>	0.00	0.00
Number of Inspections:	<input type="text" value="7"/>	107.00	749.00
Final Inspection:	<input type="text" value="1"/>	143.00	143.00
Refundable Deposit:			0.00
Additional Fees:	<input type="text" value="Description"/>		0.00
PIM Required - Residential:	<input type="text" value="None"/>		0.00
Damage Crossing:	<input type="text" value="None"/>		0.00
Certificate of Acceptance:	<input type="text" value="No"/>		0.00
Certificate of Public Use:	<input type="text" value="No"/>		0.00
Certificate of Title:	<input type="text" value="No"/>		0.00
District Plan Check Fee:	<input type="text" value="> \$20,001"/>		143.00
Application for Code Compliance Certificate:			72.00
Accreditation Levy:			30.00
BRANZ Levy:			30.00
MBIE Levy:			60.30
TOTAL CONSENT FEE:			\$ 2,212.30

Fee information provided by phone or fax are estimates only. The final fee can only be calculated once the documents have been viewed by Council staff.

Type of Consent:

Building Consent Garage Residential - Alterations

Commercial
 New Fireplace

Farm Building

Residential - New Buildings

Murray and Shelley Stephens
7 Forest Lane
Raumati South
Paraparaumu 5032

Account Number BC1602320
Invoice Date 11/04/16
Tax Invoice Number 12867
GST Reg No 51-860-608
File No

160232 : 7 Forest Lane, Raumati South
Extension to living room.
Owner: Murray and Shelley Stephens

Qty	Description	Rate	Amount
	Inspection fee (payable upon application)		892.00 *
	Building Research Assoc. of NZ Levy		30.00 0G
	MBIE Building Levy		60.30 *
	Application for code Compliance Certificate		72.00 *
	Building Consent: Residential Alterations		985.00 *
	Accreditation Levy		30.00 *
	District Plan Check		143.00 *
	BEFORE GST		1,927.65
(* Includes GST)	GST		284.65
	Total		\$2,212.30

Payment can be made by direct credit to Bank account
03-0732-0306101-00. PLEASE show your Account No
(as above) on your remittance.

Payment can be made by direct credit to Bank account # 03-0732-0306101-00. PLEASE show your Account No (as above) on your remittance.
Email remittances to: accounts@kapiticoast.govt.nz. Any costs to recover this debt will be on-charged. Website www.kapiticoast.govt.nz

Remittance Advice

ACCOUNT NAME	DATE	A/C No.	INV. No.	FILE No.	AMOUNT
Murray and Shelley Stephens	11/04/16	BC1602320	12867		\$2,212.30



30015



RESIDENTIAL APPLICATION FOR A BUILDING CONSENT

and/or project information memorandum

R B W

Building Act 2004, section 33 or section 45
Send or deliver this form to: Kāpiti Coast District Council,
175 Rimu Road, Paraparaumu 5032
Private Bag 60601, Paraparaumu 5254
For enquiries, phone 04 296 4700

Council use only:	
Application #	160030
Property ID	1529212300

Please provide two copies of all attachments, unless otherwise specified in checklist

Residential - Raw

PART 1 – APPLICATION (select type appropriately)

If you have an existing application number relating to this building please note the number beside the application type

<input type="checkbox"/> project information memorandum	<input checked="" type="checkbox"/> building consent
<input type="checkbox"/> staged consent	<input type="checkbox"/> amendment

national multi-use approval (If yes provide copies of MultiProof certificate, plans and specifications)

Consent/project information memorandum to be

mailed collected hard copy electronic copy - please state desired format

Restricted building work

Does application involve restricted building work? yes no
If yes provide Certificate(s) of design work and Advice of licensed building practitioner(s) form(s)

Financial assistance package (FAP)	Is this a re-clad application? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no
------------------------------------	--

Is application subject to a claim under the FAP scheme? yes no If yes, FAP claim number

Cultural or heritage significance

Does the building or site have any cultural or heritage significance, or is it a marae? yes no

Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination?

yes no If yes provide details

EARTHQUAKE RELATED WORK (Canterbury only)

Is this application earthquake related? yes no

If yes, is it coordinated by an insurance company via a project management organisation (PMO), e.g. Construction company yes no

If yes, name of PMO

THE BUILDING (project location)

Building name (if applicable)

Building street address 7 FOREST LANE, RAWLHATI SOUTH

Location of building within the site (include nearest street access) CENTER OF SITE

Legal description of land where the building is located. If a subdivision of the land is proposed provide the lot numbers and consent number		
Lot(s) 2	Subdivision lot No:	
DP(s) 76027	Subdivision consent No:	
Number of levels (include below ground, ground and above ground)		
Level/unit number (if applicable)		
Area (in square metres)		
Existing floor area: 106	Proposed new floor area: 21	Resulting total floor area: 127
Current, lawfully established use of all parts of the building (include number of occupants per level and per use if more than one level)		
Year first constructed (insert year, an approximate date is acceptable such as 1920's or 1960-1970)		

THE OWNER (must be completed for all applications and all details must be the owner's)

Owner's name. If the owner is a company or other organisation provide the company or organisation name and a contact person's name

MURRAY E SHELLY STEPHENS

Owner's mailing address

7 FOREST LANE, RAUMATI SOUTH.

Street address/registered office

Owner's contact details

Landline

Mobile **021 455 448**

After hours

Fax

Email **m-stephens@extra.co.nz**

Website

Proof of ownership – attach one of the following as evidence

kapplumb@vodafone.co.nz

- Copy of the land title (Computer register, Certificate of Title, CT or property title) – no more than three months old.
 Lease Agreement for sale and purchase

AGENT (only required if application is being made on behalf of the owner)

Name of agent. If application is for a company, trust or other organisation provide a contact person's name

BILL FRANCIS

Agent's mailing address

P.O. BOX 65, PARAPARAUMU.

Street address/registered office

Agent's contact details

Landline:

2961248

Mobile:

After hours:

Fax:

Email:

Website:

Relationship to owner (state the details of the owner's authorisation if making this application on the owner's behalf)

DESIGNER

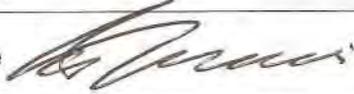
First point of contact (mark boxes as appropriate and provide details of any other points of contact)			
Further information	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Owner	<input type="checkbox"/> Other
Correspondence	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Owner	<input type="checkbox"/> Other
Invoicing	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Other

CONTACTS (provide all details where relevant)

Designer or Architect	BILL FRANCIS		Business/name	COASTAL ARCHITECTURE LTD.	
Address	11 KODER PLACE, PRAIRIE.				
Registration/qualification	NZCAD.		Mobile	Landline 2961248	
Email			After hours phone	Fax	
Structural engineer	Business/name				
Address					
Registration/qualification			Mobile	Landline	
Email			After hours phone	Fax	
Fire safety designer	Business/name				
Address					
Registration/qualification			Mobile	Landline	
Email			After hours phone	Fax	
Head Contractor / Site Manager	Business/name				
Address					
Registration/qualification			Mobile	Landline	
Email			After hours phone	Fax	
Builder	Business/name				
Address					
Registration/qualification			Mobile	Landline	
Email			After hours phone	Fax	
Plumber	Business/name				
Address					
Certifying Plumber/qualification			Mobile	Landline	
Email			After hours phone	Fax	
Drainlayer	Business/name				
Address					
Certifying Drainlayer/qualification			Mobile	Landline	
Email			After hours phone	Fax	

Other (Attach additional page if required)		
Role	Business/name	
Address		
Email	Registration/qualification	Landline
Mobile	After hours phone	Fax

APPLICATION

Signed by the owner	OR	Signed by the agent (on behalf of, or with the authority from, the owner)
Signature		Signature 
Name		Name B. FRANCIS
Date		Date 7/4/2016

PRIVACY INFORMATION

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

PART 2 – PROJECT

GENERAL INFORMATION

Description of the building work (provide sufficient description to enable full understanding of the scope of the work).

LOUNGE EXTENSION

Has a pre-application meeting been attended? Yes No

Number

Will the building work result in a change of use of any part of the building? (If yes, provide details of the new use)

Yes No

Intended life of the building stated in years, only if intended to be less than 50 years old

List building consents previously issued for the project (if any). List who issued the consent, the date of issue and the consent number.

Estimated value of the building work on which the building levy will be calculated (including goods and services tax) [state estimated value as defined in section 7 of the Building Act 2004].

\$ 30,000

PART 3 – SITE ISSUES AND PROJECT INFORMATION

Site issues	Applicant to complete	Reference on drawings, specifications and/or comments	Council use only
Are the finished floor, finished ground, street and associated datum levels shown on plans?	X		<input type="checkbox"/> Verified
Are the distances to boundaries shown on plans?	✓	PG 1.	
Does the proposed work cover two or more allotments?	X		
What is the wind zone?	VH	PG 1.	
What is the exposure zone?	D	PG 1.	
Are there public drains on the site?	X		
Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination? If yes, provide details.	X		
Are the ground conditions specified?	X		

Project information

Select box if the matter is part of the project	Comments
Subdivision <input type="checkbox"/>	
Alterations to land contours <input type="checkbox"/>	
New or altered connection to public utilities <input type="checkbox"/>	
New or altered locations and/or external dimensions of building(s) <input type="checkbox"/>	
New or altered access for vehicles <input type="checkbox"/>	
Building work over or adjacent to any road or public place <input type="checkbox"/>	
Disposal of stormwater and wastewater <input type="checkbox"/>	
Building work over any existing drains or sewers or in close proximity to wells or water mains <input type="checkbox"/>	
Other matters known to the applicant that may require authorisation from the appropriate territorial authority <i>[specify]</i> <input type="checkbox"/>	

PART 4 – COMPLIANCE

Do not fill in this section if this application is only for a project information memorandum

All documentation, including plans, specifications, calculations and producer statements, used to show building consent compliance must be formally listed as attachments in the accompanying checklist.

The building work will comply with the building code as follows

Please ensure that any details of the listed compliance elements are shown on drawings and/or specifications.

B1: Structure

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
B1: Foundations	Not applicable/ <u>applicable</u>		<input type="checkbox"/> Checked
foundation size	<input checked="" type="checkbox"/> Specific engineering design <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229		
reinforcing			
foundation/footings for retaining walls			
B1: Slab	<u>Not applicable/applicable</u>		
layout dimensions	<input type="checkbox"/> Specific engineering design <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229		
thickness			
reinforcing			
slab thickening/point loads			
fixing/connections			
B1: Timber sub-floor and floor	Not applicable/ <u>applicable</u>		
pile details including bracing	<input checked="" type="checkbox"/> Specific engineering design <input type="checkbox"/> NZS 3604		
bearers and joist details including support/blocking details			
flooring material and floor height above ground			
fixing/connection			
B1: Walls	Not applicable/ <u>applicable</u>		
wall type, height, centres, member sizes and bracing	<input type="checkbox"/> Specific engineering design <input checked="" type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4210 <input type="checkbox"/> NZS 4229 <input type="checkbox"/> NZS 4230	PG 2	
window and door framing details including lintels			
fixing/connection			
B1: Roof	Not applicable/ <u>applicable</u>		
layout/trusses including member centres sizes and bracing	<input type="checkbox"/> Specific engineering design <input checked="" type="checkbox"/> NZS 3604	PG 4.	
purlin/batten centres and sizes			
beams centres and sizes			
fixing/connection			
B1: Barrier fixings	<u>Not applicable/applicable</u>		
rail, fence, baluster fixings	<input type="checkbox"/> Specific engineering design		

B2: Durability

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
B2: Durability	Not applicable/ <u>applicable</u>		<input type="checkbox"/> Checked
concrete/masonry	<input checked="" type="checkbox"/> B2/AS1 <input type="checkbox"/> NZS 3101 <input type="checkbox"/> NZS 3404 <input type="checkbox"/> NZS 3602 <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 4229 <input type="checkbox"/> NZS 4230 <input type="checkbox"/> Other [specify]	PE 2	
timber treatment			
metal			
subfloor and roof/skillion ventilation			
plumbing materials			

C1-C6: Protection from fire

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
C1-C6: Protection from fire	Not applicable/ <u>applicable</u>		<input type="checkbox"/> Checked
C1: Objectives of clauses C1 to C6 (Protection from fire)	<input type="checkbox"/> C/VM2 <input checked="" type="checkbox"/> C/VM1 and C/AS1 <input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS3 <input type="checkbox"/> C/AS4 <input type="checkbox"/> C/AS5 <input type="checkbox"/> C/AS6 <input type="checkbox"/> C/AS7 <input type="checkbox"/> Other [specify]		
C2: Prevention of fire occurring			
C3: Fire affecting areas beyond the fire source			
C4: Movement to place of safety			
C5: Access and safety for fire fighting operations			
C6: Structural stability			

D1-D2: Access

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
D1: Access routes	Not applicable/ <u>applicable</u>		<input type="checkbox"/> Checked
slip resistance	<input checked="" type="checkbox"/> D1/AS1 <input type="checkbox"/> AS/2890.1 <input type="checkbox"/> Other [specify]		
landing size			
handrail			
stair dimension including tread and riser			
ramps			
head height clearance			
vehicle access: parking, loading spaces and driveway			
D2: Mechanical installations for access	<u>Not applicable/applicable</u>		
lift	<input type="checkbox"/> D2/AS1 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> NZS 5279 <input type="checkbox"/> Other [specify]		
external platform/chairlift			
cable car			

E1-E3: Moisture

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
E1: Site drainage (surface water)	Not applicable /applicable		<input type="checkbox"/> Checked
secondary flow path			
stormwater disposal method: gravity controlled, storage-pumped systems to Council main, soak pit or street kerb with channel	<input type="checkbox"/> E1/AS1 <input type="checkbox"/> E1/VM1 <input type="checkbox"/> AS/NZS 3500.3 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]		
surface water and field drains to silt sumps			
E1: Roof water dispersal (surface water)	Not applicable /applicable		
internal/external gutter including rainwater head, scupper opening details	<input checked="" type="checkbox"/> E1/AS1 <input type="checkbox"/> E1/VM1 <input type="checkbox"/> AS/NZS 3500.3 <input checked="" type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]	PE 4.	
roof and deck catchment area, pitch (roof and/or deck) including downpipe size and number			
E2: Floor (external moisture)	Not applicable /applicable		
floor height above ground		PE 3	
damp-proof membrane	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]		
deck threshold with door details			
E2: Decks and balconies (external moisture)	Not applicable /applicable		
waterproof membrane details including eaves, barges, junction with walls, barrier fixings, outlets and overflows	<input type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]		
balustrade detail of flashing, capping, junctions and penetration			
E2: Walls (external moisture)	Not applicable /applicable		
building wrap		PE 2	
head, jamb and sill flashing details			
cavity or direct fix cladding system including: flashing details for external and internal corners, junctions with other materials, vertical and horizontal control joints	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]		
cladding clearances between floor level, ground level and/or membrane deck level			
tanking/damp proof membrane to retaining wall			

E1-E3: Moisture

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
E2: Roof (external moisture)	Not applicable /applicable		
building wrap	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> Other [specify]	PE 4.	
type of roof: profiled metal roof, concrete, clay tile roof etc			
membrane roof			
flashing of penetrations			
flashings of junctions: eave, ridge, valley, apron and upstands			
Flashing of parapets: junctions and penetration			
skylight details and flashings			
roof spouting, downpipe, solar panel fixings			
E3: Internal moisture	Not applicable /applicable		
wall and floor impervious lining	<input type="checkbox"/> E3/AS1 <input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> Other [specify]		
wet area membrane			
bath or shower junction details			
floor overflow control for sanitary rooms such as bathroom, toilet, kitchen - only required for more than one unit			

F1-F8: Safety of users

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
F1: Hazardous agents onsite	Not applicable /applicable		<input type="checkbox"/> Checked
contaminated site	<input type="checkbox"/> F1/VM1 <input type="checkbox"/> Other [specify]		
F2: Hazardous building materials	Not applicable /applicable		
glass barriers, windows, doors, screens, mould, asbestos etc	<input checked="" type="checkbox"/> F2/VM1 <input type="checkbox"/> NZS 4223.3 <input type="checkbox"/> Other [specify]	PE 4.	
bathroom windows			
F4: Safety from falling	Not applicable /applicable		
minimum height for internal and external barriers and barrier opening sizes (ie no toe holds)	<input type="checkbox"/> F4/AS1 <input type="checkbox"/> FSP Act <input type="checkbox"/> Other [specify]		

F1-F8: Safety of users

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
swimming pool fence and gate height. Provide detail of any other opening – see Fencing of Swimming Pools (FSP) Act 1987			
minimum window sill height and window restrictors required if there is potential for fall hazard			
F5: Site safety	Not applicable/applicable		
fencing/hoarding/overhead protection	<input type="checkbox"/> F5/AS1 <input type="checkbox"/> Other [specify]		
traffic plan			
encroachment/Council approval			
F7: Warning systems	Not applicable/ <u>applicable</u>		
smoke detectors	<input checked="" type="checkbox"/> F7/AS1 <input type="checkbox"/> Other [specify]	PE 2	
other warning systems specified			
F8 Signs	Not applicable/applicable		
signs	<input type="checkbox"/> F8/VM1 <input type="checkbox"/> F8/AS1 <input type="checkbox"/> Other [specify]		

G1-G15: Services and facilities

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
G1-G3: Bathroom, laundry and kitchen	<u>Not applicable/applicable</u>		<input type="checkbox"/> Checked
G1: bathroom fixtures and layout	<input type="checkbox"/> G1/AS1 <input type="checkbox"/> Other [specify]		
G2: laundry fixtures and layout			
G3: kitchen fixtures and layout			
G4: Ventilation	Not applicable/ <u>applicable</u>		
natural ventilation	<input checked="" type="checkbox"/> G4/AS1 <input type="checkbox"/> G4/VM1 <input type="checkbox"/> NZS 4303 <input type="checkbox"/> AS 1668.2 <input type="checkbox"/> Other [specify]	PE 3	
mechanical ventilation			
conditioned areas (living area) ventilation			
ventilation of gas-fired appliances			

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
G6: Airborne and impact sound	Not applicable /applicable		
sound transmission class and sound transmission insulation details (vertical and horizontal transfer) including at penetrations (pipes)	<input type="checkbox"/> G6/AS1 <input type="checkbox"/> G6/VM1 <input type="checkbox"/> Other [specify]		
G7-G8: Natural and artificial light	Not applicable /applicable		
G7: natural light to habitable space (eg glazing greater 10 percent of floor area)	<input checked="" type="checkbox"/> G7/AS1 <input type="checkbox"/> G7/VM1 <input type="checkbox"/> NZS 6703	vc 2, 4.	
G7: outside visual awareness	<input type="checkbox"/> G8/AS1 <input type="checkbox"/> G8/VM1		
G8: artificial lighting details	<input type="checkbox"/> Other [specify]		
G9: Electricity	Not applicable /applicable		
Electricity	<input checked="" type="checkbox"/> G9/VM1 <input type="checkbox"/> G9/AS1 <input type="checkbox"/> Other [specify]		
G10-G11: Piped services and gas used as an energy source	Not applicable /applicable		
G10: ventilation and airflow for gas appliances	<input type="checkbox"/> G10/AS1 <input type="checkbox"/> G11/AS1		
G10: specified gas appliances types	<input type="checkbox"/> NZS 3500.4 <input type="checkbox"/> NZS 5261		
G11: gas supply type	<input type="checkbox"/> Other [specify]		
G12-G13: Water supply and foul water	Not applicable /applicable		
G12: water supplies: pipe material, type of hot water system	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> G12/AS2 <input type="checkbox"/> AS/NZS 3500.1&4 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]		
G13: foul water: pipe sizing, materials, venting and overflow relief gullies	<input type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> G13/AS3 <input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> AS/NZS 3500.5 <input type="checkbox"/> Other [specify]		

H1: Energy efficiency

Elements	Means of compliance	Reference on drawings, specifications and/or comments	For Council use only
H1: Energy efficiency	Not applicable/ <u>applicable</u>		<input type="checkbox"/> Checked
hot water heater and pipe insulation	<input checked="" type="checkbox"/> H1/AS1 <input type="checkbox"/> H1/VM1 <input type="checkbox"/> NZS 4218 <input type="checkbox"/> NZS 4305 <input type="checkbox"/> ALF design <input type="checkbox"/> Other [specify]		
insulation: wall, roof, floor, glazing, etc			

Waivers and/or modifications

Provide details of any waivers and/or modifications required for any sections of the New Zealand Building Code. Specify parts of the code; supporting documentation must be attached. If not applicable, state n/a

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PART 5 – COMPLIANCE SCHEDULE *(Inspection, maintenance and reporting procedures)*

Do not fill in this section if this application is only for a project information memorandum

Is a cable car installed?	<input type="checkbox"/> Yes (a compliance schedule is required, continue completing this section of the form)							For Council use only <input type="checkbox"/> Checked
	<input type="checkbox"/> No							
The following system is existing, being altered, added to, or removed in the course of the building work	Existing	New	Altered	Added	Removed	Inspection performance standards	Maintenance performance standards	Reporting frequency
Cable car	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/> Checked
If existing cable car, please state the Building Warrant of Fitness No.								<input type="checkbox"/> Checked

CHECKSHEET: SINGLE RESIDENTIAL DWELLING AND ACCESSORY BUILDING

10016



including single stand-alone dwellings, dwelling additions and/or alterations, re-piling, garages, decks, gazebos, sheds, retaining walls etc.

Kapiti Coast District Council,
175 Rimu Road, Paraparaumu 5032
Private Bag 60601, Paraparaumu 5254
For enquiries, phone 04 296 4700

Address of Project: 7 FOREST LANE, PARAPARAUMU SOUTH.

This checksheet shows you the information that has to be supplied with your building consent application. Please attach **2 copies** of the following information (unless otherwise specified) with your completed Building Consent Application Form.

Please tick relevant box in the Customer Use column as you attach the information. If the box is not relevant to your application, write NA across the box. Please check each section carefully and complete those sections that are relevant to your project.

Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.

An Application Form is attached to this checksheet — Please include this checksheet with your application

Customer Use	1	GENERAL	For Office Use Only
		Complete this section for all applications	
<input checked="" type="checkbox"/>	a	Building Consent Application Form (1 copy) Completed and signed by the owner or by an agent on behalf of the owner	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	b	Proof of Ownership (1 copy) One recent copy of current certificates/s of title (i.e. not older than 3 months) or where applicable one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	c	Locality Plan (1:500) showing: Physical location of the subject building in relation to streets or landmarks, north point, name of building and lot and DP number.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	d	Restricted Building Work Does the application involved restricted building work? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide certificate(s) of design work and advise Council of your Licensed Building Practitioner(s) as per the Advise of Licensed Building Practitioners Guidance sheet.	<input checked="" type="checkbox"/>
<input type="checkbox"/>	e	Inspections and Monitoring Details of proposed inspection regime including monitoring by council officers and other professionals e.g. architects, engineers, surveyors and certification to be supplied on completion.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	f	Site Plan (1:100) showing: Dimensions of all boundaries, north point, finished floor levels, site area, street name and number, lot and DP number, outline of building, distance to boundaries and the position of swimming or spa pools, ground contours (extended to boundaries) and/or levels and designated wind zone of the site (e.g. specific design, very high, high, medium or low). In addition, if a site is identified as being subject to flooding, ponding, on an overflow path, river or stream corridor, or other natural hazards, indicate on plans proposed design will mitigate natural or created hazards. Additional information is available on these sites by request from Kapiti Coast District Council.	<input checked="" type="checkbox"/>
For Office Use Only: Building Consent Officer: Application Accepted? Yes <input checked="" type="checkbox"/> / No <input type="checkbox"/> . Give reason:			
Name:	<u>Scott Kyle</u>	Date:	<u>8/4/16</u>
		Signature:	<u>[Signature]</u>

<input type="checkbox"/>	g	Application Fee <i>EMAIL TO OWNER</i> Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule of the council that has jurisdiction over the project site.	<input checked="" type="checkbox"/>
2 CHANGE OF USE			
Complete for all existing buildings where the proposal involves forming a household unit where one did not exist before. Example: the conversion of a garage or shed into a residential unit			
<input type="checkbox"/>	a	Assessment of the Building for Compliance with the Building Code Section 115(a) of the Building Act 2004 requires that the building, in its new use, complies fully with all clauses of the Building Code.	<input type="checkbox"/>
<input type="checkbox"/>	b	Reasonably Practicable The above assessment must relate to all building code clauses. If the proposal is for the project to meet anything less than full compliance with any clauses, your application must clearly state your reasoning, with supporting documentation, and show how you will meet the highest level of compliance that can be considered reasonably practicable.	<input type="checkbox"/>
3 FOUNDATIONS / FLOOR			
Complete for all new buildings, for existing buildings where the footprint of the building will change or where an additional storey is being added			
<input checked="" type="checkbox"/>	a	Foundation Plan (1:100 / 1:50) showing: <ul style="list-style-type: none"> • Dimensions of all new foundations • Sub-floor, including bracing • Footing details • If a concrete slab, show basic details including reinforcing and contractions joints • Piles and footing • If the addition is an upper storey show details on upgrading existing foundations, joints, piles etc • Indicate ventilation to sub floor spaces 	<input checked="" type="checkbox"/>
<input type="checkbox"/>	b	Subfloor Bracing Provide subfloor bracing plan and calculations for all piled structures. Where the structure is specifically engineered, this should be included with the structural calculations. Subfloor bracing plan and calculations are required where an additional storey is to be added	<input type="checkbox"/>
4 CONSTRUCTION			
Complete for all new structures or alterations to existing structures.			
<input checked="" type="checkbox"/>	a	Existing Floor Plan (1:100 / 1:50) showing: (For additions and alterations only) <ul style="list-style-type: none"> • All levels • All designated spaces • All removals • Sanitary fixtures • Smoke detectors 	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	b	Proposed Floor Plans (1:100 / 1:50) showing: <ul style="list-style-type: none"> • Room dimensions • Location of partitions • All designated spaces • All floors (new or altered) • Location of sanitary fixtures • Stairs, barriers, handrails, floor joists and beams • Floor joist layout for each level with timber floors • Smoke detectors • Note where wall will form part of the swimming pool fence 	<input checked="" type="checkbox"/>

<input type="checkbox"/>	c	Pre-nail Truss and Frames <ul style="list-style-type: none"> • Specific design wall framing requires clarification • Truss layout must be supported by design certification and design of fixing details, including consideration of load paths to ground • Lintels carrying point loads, such as from girder trusses, require specific engineering design 	<input type="checkbox"/>
<input checked="" type="checkbox"/>	d	Wall Bracing Plan (1:100 / 1:50) showing: <ul style="list-style-type: none"> • Bracing details and calculations for wall bracing (also required for existing lower storeys where an additional storey is being added) • Sub-floor bracing for decks projecting more than 2m from the house • Location, type and number of bracing elements to indicate compliance with NZS 3604:2011 (include calculations) • If the bracing was specifically designed by a structural engineer, provide calculations (required for specific design wind zones and lateral distribution of upper floor loads where lower storey bracing is provided in walls beyond the upper storey footprint) 	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	e	Sections and Details (1:50 / 1:20 / 1:10) showing: <ul style="list-style-type: none"> • Foundation details involving reinforcing and connections • Stairs, handrails, decks and decking • Insulation systems and materials to floors, walls and roof • Barriers providing safety from falling. Specific engineering design required where detail does not comply with NZBC B1/AS2 • Framing sizes, beams, lintels • Roof cladding, eaves, fascias, gutters • Flashings to openings • Fire rated systems on all walls – closer than 1 metre to boundary • Stud heights of rooms and total height from lowest ground floor level to top of ridge • Window and door installation details • Retaining wall details e.g. type, height of retained ground, relationship to boundary, waterproof membrane and proposed drainage 	<input checked="" type="checkbox"/>
<input type="checkbox"/>	f	Fire Report For domestic dwellings of 4 storeys or more, or buildings providing more than one household unit	<input type="checkbox"/>
5		EXTERNAL	<input type="checkbox"/>
Complete for new buildings or existing buildings with alternations to the external shell			
<input checked="" type="checkbox"/>	a	Elevations (1:100 / 1:50) showing: Accurate lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, sill heights, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only)	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	b	Risk Assessment <i>(Risk matrix in E2/AS1 may be used for buildings within scope)</i> Consider exposure, design and detailing to support appropriate selection of cladding	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	c	Cladding Details (1:50 / 1:20 / 1:10) Provide details around all penetrations, joinery and other junctions at a level appropriate to the level of risk e.g. roof/wall, balcony/wall, junction of different types of cladding, back flashing details for cavity systems	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	d	Production Certification Supply copies of product certificates relied on as compliance documents	<input checked="" type="checkbox"/>
<input type="checkbox"/>	e	Alternative Solutions If the proposal uses products or systems that are not covered in the Acceptable Solutions of clause E2 of the building code provide supporting current information including test results (fully signed reports), case studies, expert opinion (including evidence of experience/qualification, basis for forming opinion and statement of independence) etc to demonstrate compliance.	<input type="checkbox"/>

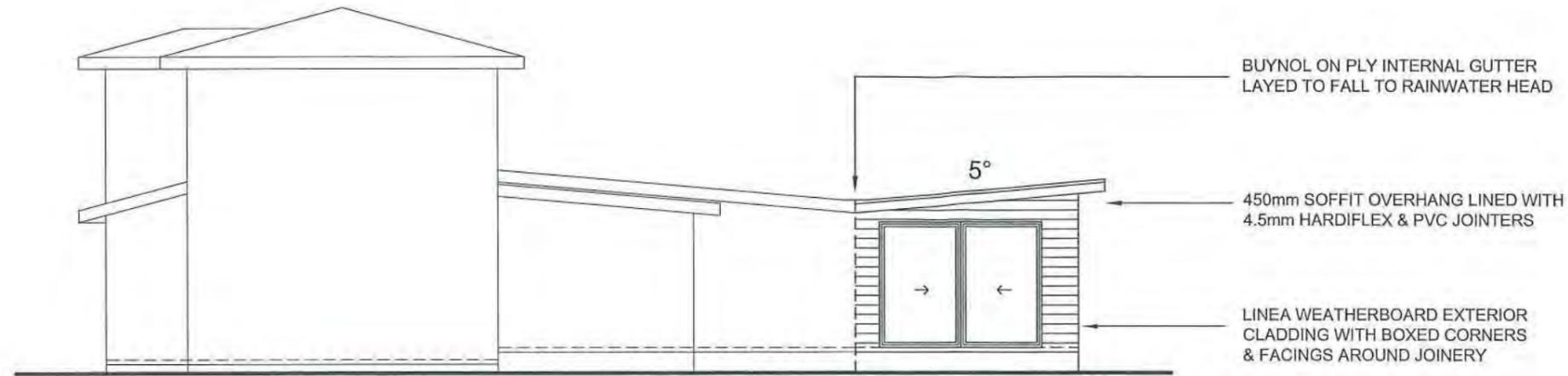
6 SERVICES		
Complete for all projects with new installations or alteration of plumbing or drainage services <input type="checkbox"/>		
<input type="checkbox"/>	<p>a Plumbing and Drainage Plan 1:100 / 1:50) showing: <i>Note: if you have supplied drainage details for surface water disposal on the site plan, no drainage plan is required.</i></p> <ul style="list-style-type: none"> • Sizes of pipe work and drains • Fixtures and fittings, hot water system(s) • If the building is more than one storey with sanitary fittings on upper floors, provide an isometric layout showing wastes, pipes and falls • Drainage layout with inspection bends and junctions indicated for both sewer and stormwater • Any other drainage on site including council mains and retaining wall field drains • Ventilation of sanitary rooms • Calculations for sizing of down pipes • Gully traps including overflow relief gullies 	<input type="checkbox"/>
7 STRUCTURAL		
Complete for all projects incorporating specific structural design		
<input checked="" type="checkbox"/>	<p>a Structural Calculations If any design work required the services of a structural engineer, attach 2 copies of the calculations with this. The calculations must be prefaced with information explaining the design philosophy and justification of assumptions and methodologies used in analysis</p>	<input type="checkbox"/>
<input type="checkbox"/>	<p>b Expert Opinion (Producer Statements) If this application for consent relies on any expert opinion including producer statements certifying compliance with the New Zealand Building Code, a copy must be attached with this application. (Note all structural producer statements are required to have accompanying calculations.)</p>	<input type="checkbox"/>
8 SPECIFICATIONS		
Complete for all applications		
<i>Note: the specification must be specific to the project and cover all aspects of the proposed work</i>		
<input type="checkbox"/>	<p>a Specification: General</p> <ul style="list-style-type: none"> • Elements of structure (size, spacing, timber treatment) • Finish or fixings to meet durability requirements • Plumbing and drainage materials and design that installation is to comply with • Wet area surfaces • Ventilation systems • Flooring slip resistance for access routes • Glazing • Type of smoke detectors (including existing smoke detectors where they will remain) 	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<p>b External Claddings For each of the following claddings provide details of the product name, manufacturer, maintenance requirements and warranties offered</p> <ul style="list-style-type: none"> • Building wraps • Wall claddings • Roof claddings • Membranes (roof and decks) • Tanking • Joinery 	<input checked="" type="checkbox"/>

9 DEMOLITION / REMOVAL		<input type="checkbox"/>	
Complete for all projects involving demolition of significant parts of buildings or the demolition or removal of whole buildings.			
<input type="checkbox"/>	a	Means of Barricading the Site Provide details of temporary barriers, gates which swing inwards or other means of restricting public access to the area	<input type="checkbox"/>
<input type="checkbox"/>	b	Proposed Tipping Location for Demolition Materials (address/landfill)	<input type="checkbox"/>
<input type="checkbox"/>	c	Hazardous Building Material Provide safety plan detailing the safe handling and disposal of hazardous materials	<input type="checkbox"/>
<input type="checkbox"/>	d	Site Management Plan Covering Management to control silt runoff, noise and dust	<input type="checkbox"/>
<input type="checkbox"/>	e	Proposed Destination for Relocate Building	<input type="checkbox"/>
<input type="checkbox"/>	f	Access To and From the Site (including use of kerb crossings)	<input type="checkbox"/>
<input type="checkbox"/>	g	Specify Termination of Existing Services <ul style="list-style-type: none"> • Water • Sewer • Stormwater 	<input type="checkbox"/>
<input type="checkbox"/>	h	Details About the Building such as: Number of storeys, type of materials the building is constructed (Photographs of the building would be useful)	<input type="checkbox"/>
		Note: You will need to contact the relevant service authorities specified below to advise them of the extent of your work: Electricity, gas, drainage, water, transport, telecommunications, cable television or any other services that may be affected. Transportation of Relocated Building You will be required to contact and provide details to Councils Transportation and Traffic Department.	
10 OTHER APPROVALS		<input type="checkbox"/>	
Complete for all projects involving demolition of significant parts of buildings or the demolition or removal of whole buildings.			
<input type="checkbox"/>		Please check Territorial Authority regarding the requirement for other approvals required and fees payable. These may include: <ul style="list-style-type: none"> • Consents under the Resource Management Act • Approvals under bylaws including earthworks, vehicle crossings, road openings and water connections. Show the location of swimming or spa pools on the property and describe how compliance with the Fencing of Swimming Pools Act will be achieved.	<input type="checkbox"/>

The issue of a building consent does not relieve the owner of any duty or responsibility under any other Act.

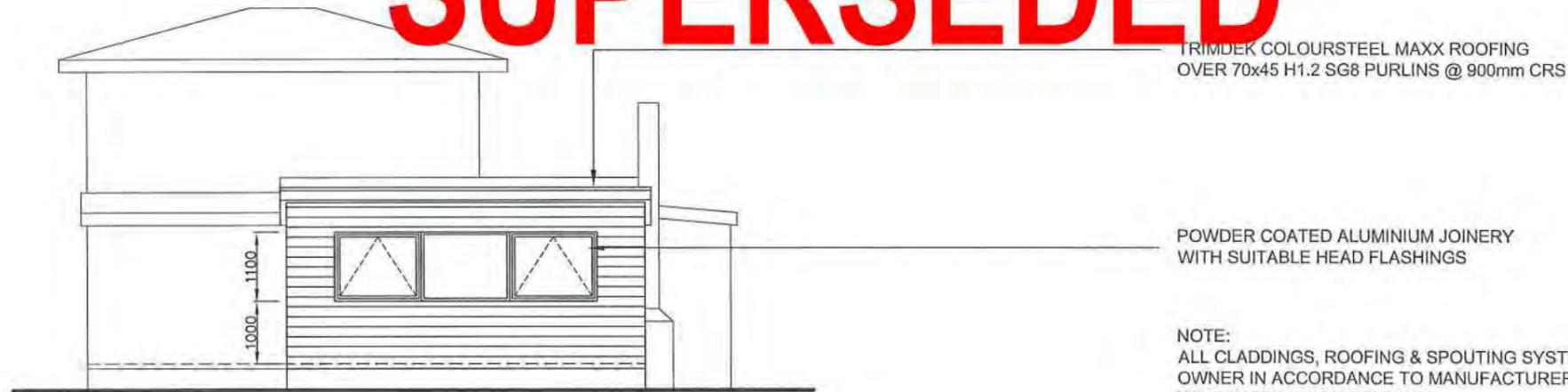
Revisions:
MARCH 2016 rev A

RECEIVED
08 APR 2015

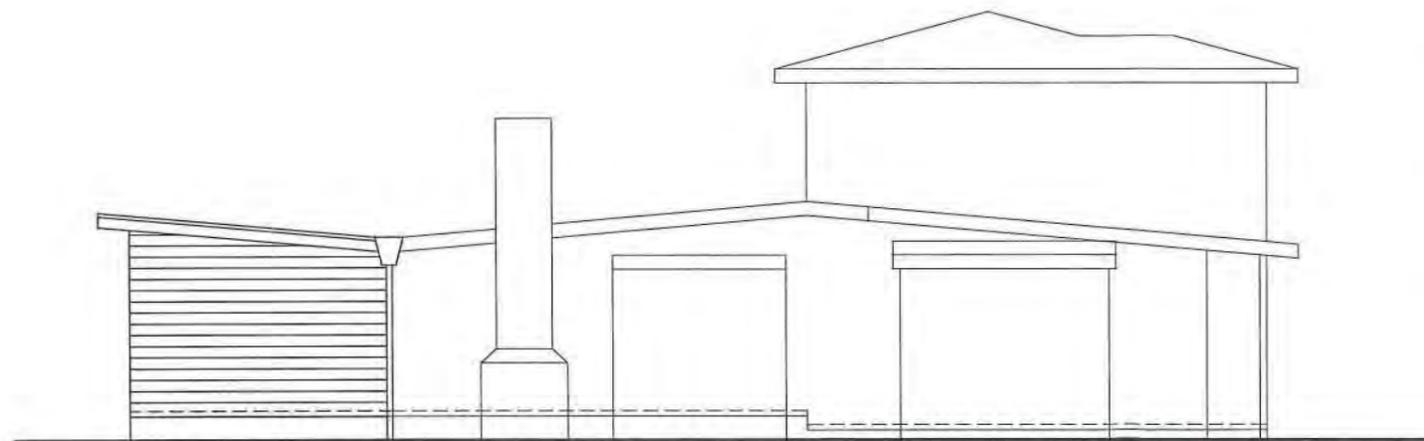


NORTH ELEVATION 2 SCALE 1:100

SUPERSEDED



WEST ELEVATION 3 SCALE 1:100



SOUTH ELEVATION 4 SCALE 1:100

POWDER COATED ALUMINIUM JOINERY WITH SUITABLE HEAD FLASHINGS

NOTE:
ALL CLADDINGS, ROOFING & SPOUTING SYSTEMS TO BE MAINTAINED BY OWNER IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS & WARRANTEE REQUIREMENTS.
CLADDING TO BE INSTALLED TO MANUFACTURERS REQUIREMENTS IN PARTICULAR FIXING & GROUND CLEARANCE.
ALSO REFER TO NZBC, CLAUSE E2/AS1, EXTERNAL MOISTURE FOR CLARITY
ALL JUNCTIONS TO CLADDINGS & OTHER EXTERNAL MOISTURE PROTECTION AREAS TO HAVE CAPILLARY GAPS/BREAKS & INSEALS WHERE RELEVANT, STOPPING WIND DRIVEN OR SURFACE TENSION WATER

ALL WINDOWS HAVE DOUBLE GLAZING

RESTRICTOR STAYS TO LIMIT SASH OPENING TO MAX 100mm MUST BE FITTED WHERE EVER SILL HEIGHT IS LESS THAN 760mm & THE DIFFERENCE IN LEVELS ARE 1m OR GREATER. REFER F4 NZBC

SAFETY GLASS AS REQUIRED BY NZS 4223 PT 3 1999 VERSION TO BE PROVIDED TO ALL WET AREA JOINERY, GLAZED DOORS, SIDE PANELS, FULL HEIGHT WINDOWS & WINDOWS WITH SILLS LESS THAN 500mm FROM FFL.

SILL SUPPORTS TO MANUFACTURERS SPECIFICATIONS & DETAILS

THE SUPPLIER AND THE MAIN CONTRACTOR SHALL CHECK ALL DIMENSIONS ON SITE AND CONFIRM PRIOR TO MANUFACTURE.

EXTERIOR JOINERY TO COMPLY WITH NZS 4211, DESIGN TO VERY HIGH WIND PRESSURE AND SUITABLE HEAD FLASHINGS TO BE FITTED TO ALL UNITS.

GLAZING TO CONFORM NZS 4223 PT 1, 2 & 3 1999 VERSION
HIGH WIND 1100pa DWP
VERY HIGH WIND 1550pa DWP

Project:
PROPOSED ADDITION

7 FOREST LANE,
RAUMATI SOUTH

Client:
STEPHENS

Drawing Title:
ELEVATIONS

Designer:

COASTAL ARCHITECTURE LTD.
11 Kodex Place
Paraparaumu
New Zealand
Tel: 04 296 1248
e-mail: billfrancis@paradise.net.nz

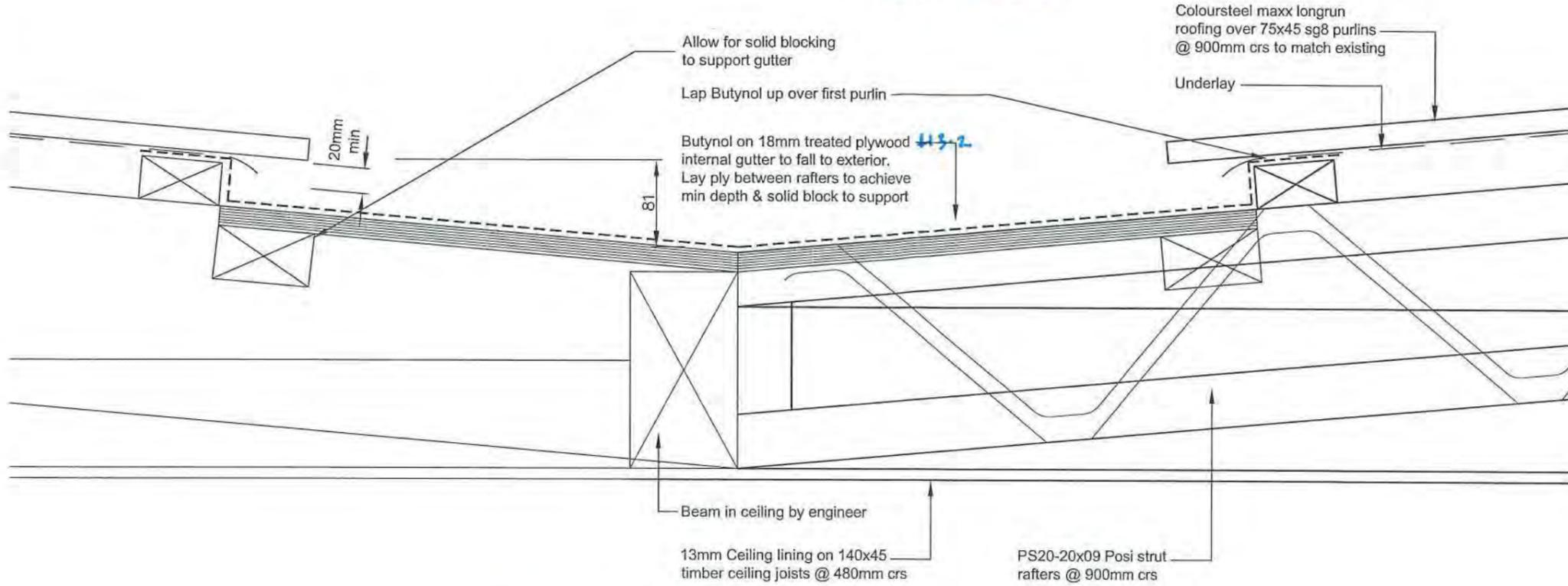
Design: Drawn:
Bill Francis bf
Scale:
as shown

Job: Page of: Rev:
147 5 A



All work shall be in accordance with the NZBC. If in doubt ASK
The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified.
This drawing and concept are copyright of Coastal Architecture Ltd. The recipient of this document is prohibited from disclosing its content for any purpose without the prior written consent of Coastal Architecture Ltd

Revisions:
 MARCH 2016 rev A
 08 APR 2013
 BY:



VALLEY GUTTER DETAIL
SUPERSEDED

INTERNAL LININGS

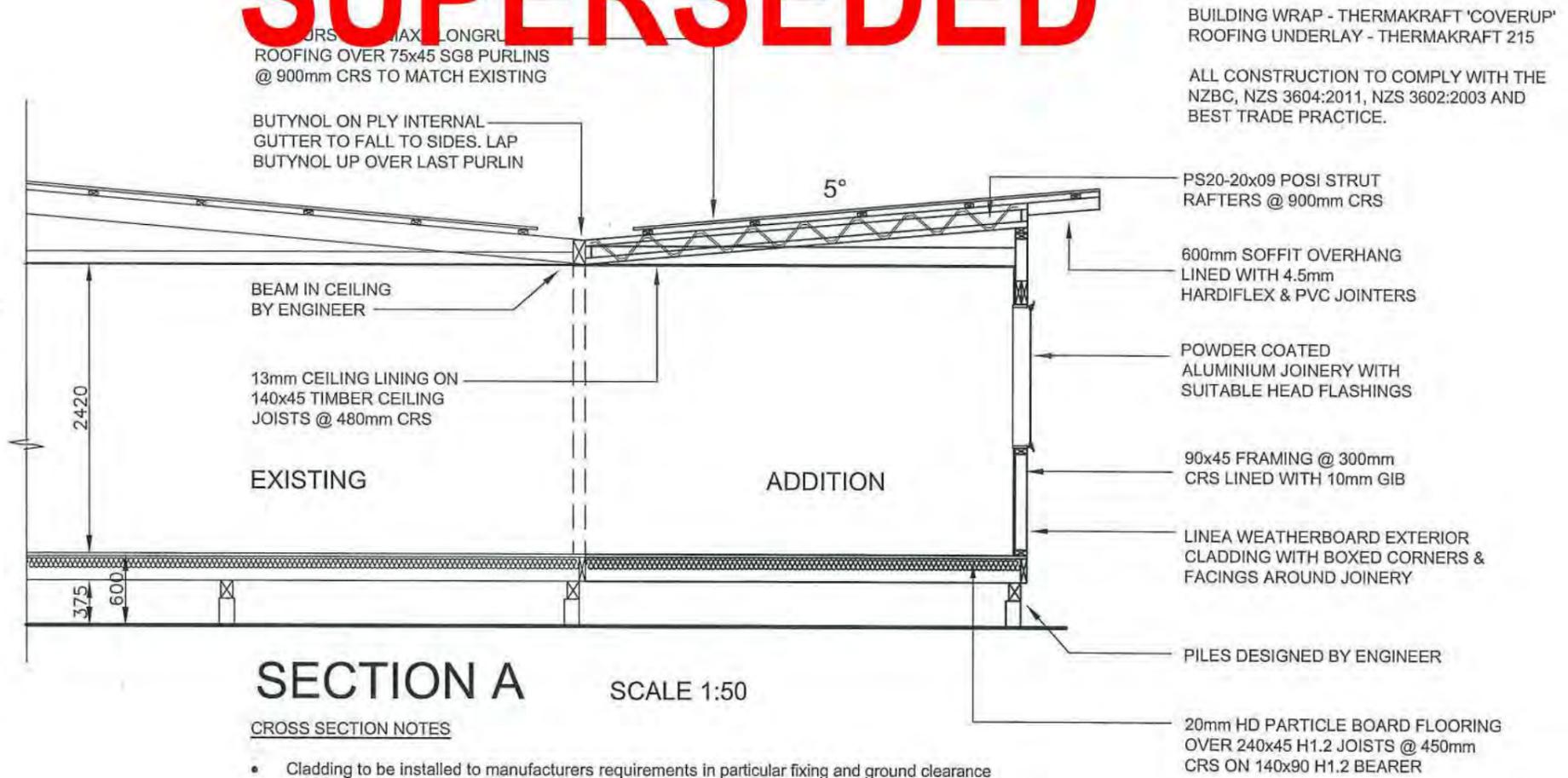
- WALLS:**
- Generally - 10mm Std Gib Board
 - Bathrooms - 10mm Gib Aqualine
- CEILINGS:**
- Generally - 13mm Std Gib
 - Bathrooms - 13mm Gib Aqualine
 - Back block sheet joints and allow for control joints as required by manufacturer

BUILDING WRAP - THERMAKRAFT 'COVERUP'
 ROOFING UNDERLAY - THERMAKRAFT 215

ALL CONSTRUCTION TO COMPLY WITH THE NZBC, NZS 3604:2011, NZS 3602:2003 AND BEST TRADE PRACTICE.

INSULATION:

- ROOF - R3.2 BATTS
- WALLS - R2.2 BATTS
- FLOOR - EXPOL POLYSTYRENE



SECTION A SCALE 1:50

CROSS SECTION NOTES

- Cladding to be installed to manufacturers requirements in particular fixing and ground clearance
- Also refer to NZBC, clause E2/AS1, external moisture: third edition for clarity
- Direct fix cladding systems, fit head flashing and proprietary sill tray to external joinery and sill. Fit airseals to inner edge of joinery reveals (refer to details)
- All junctions to claddings and other external moisture protection areas, to have capillary gaps/breaks and in seal where relevant, stopping wind driven or surface tension water

BUILDING WRAP - THERMAKRAFT 'COVERUP'
 ROOFING UNDERLAY - THERMAKRAFT 215
 ALL CONSTRUCTION TO COMPLY WITH THE NZBC, NZS 3604:2011, NZS 3602:2003 AND BEST TRADE PRACTICE.

Project:
PROPOSED ADDITION

7 FOREST LANE,
 RAUMATI SOUTH

Client:
 STEPHENS

Drawing Title:
SECTION A

Designer:

COASTAL ARCHITECTURE LTD.
 11 Kodex Place
 Paraparaumu
 New Zealand
 Tel: 04 296 1248
 e-mail: billfrancis@paradise.net.nz

Design: Bill Francis
 Drawn: bf
 Scale: as shown

Job: 147
 Page of: 6
 Rev: A



All work shall be in accordance with the NZBC. If in doubt ASK The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified. This drawing and concept are copyright of Coastal Architecture Ltd. The recipient of this document is prohibited from disclosing its content for any purpose without the prior written consent of Coastal Architecture Ltd

ADVICE OF LICENSED BUILDING PRACTITIONER(S)

Owner must notify names of licensed building practitioners before restricted building work commences

29 AUG 2016

Building Act 2004, section 87

Send or deliver this form to: Kapiti Coast District Council,
175 Rimu Road, Paraparaumu 5032
Private Bag 60601, Paraparaumu 5254
For enquiries, phone 04 296 4700

Council use only:
Application #
Property ID

SCANNED
Edoc# 694108

THE BUILDING (project location)

Building name (if applicable)

Building street address **7 Forest Lane Raumati South**

THE PROJECT

Building consent number **160232**

THE OWNER (must be completed and all details must be the owner's)

Owner's name (for individuals, state the preferred form of title, e.g. Mr, Mrs, Ms, Miss, Dr. For companies, trusts and other organisations provide a contact person's name)

Murray & Shelly Stephens

Address **7 Forest Lane Raumati South**

Date	Landline	Mobile 021 455448
------	----------	--------------------------

After hours	Fax	Email
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LICENSED BUILDING PRACTITIONERS ENGAGED TO CARRY OUT/SUPERVISE RESTRICTED BUILDING WORK

Particular work to be carried out or supervised	Name	Licensing class	Licensed building practitioner number (or registration number if treated as being licensed under section 291 of Act)
Extend Lange	Tim McArthur John Morgan		BP120452

GoGet Inspection Audit Report

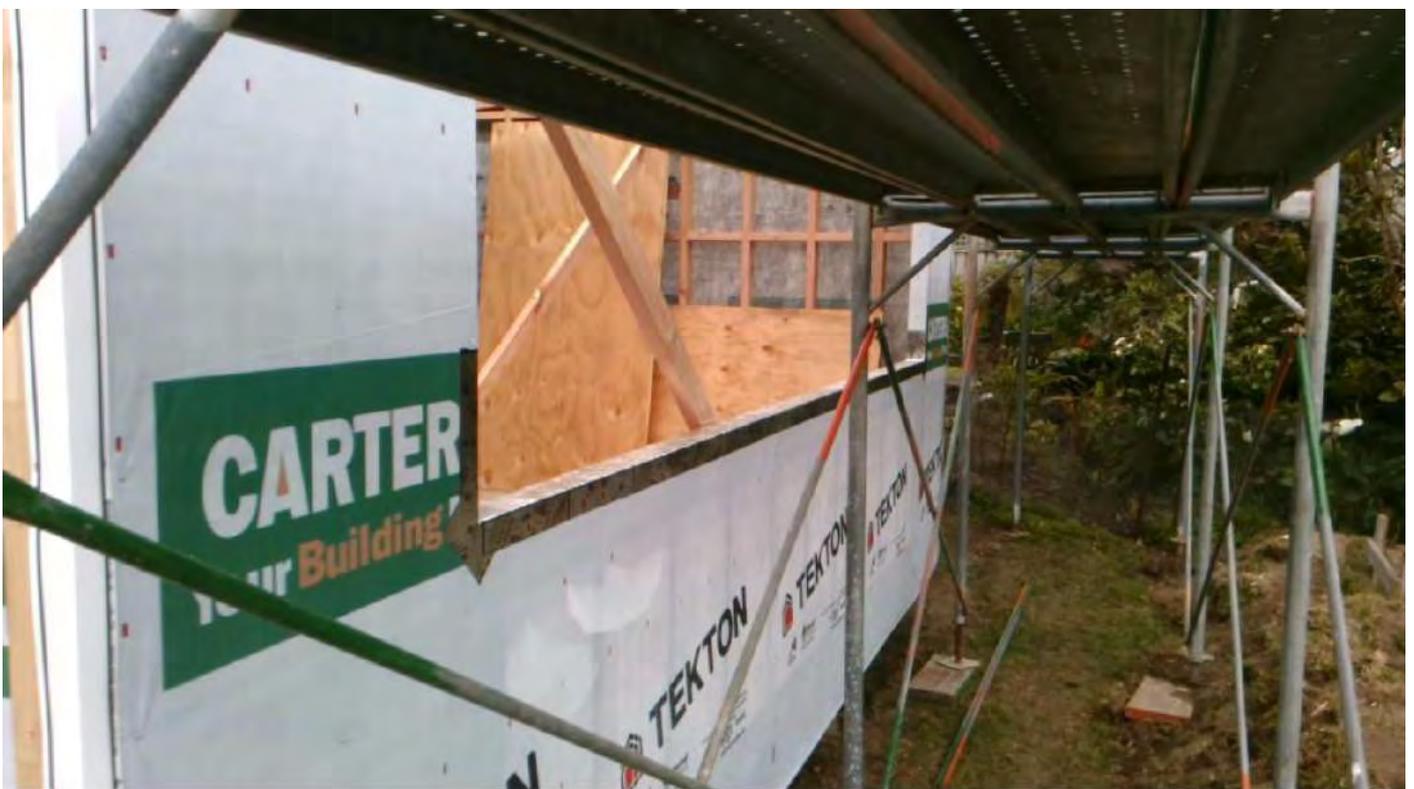
Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Cavity System**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **4 October 2016 2:35 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Pass
Inspection notes	Pass
Drawings	Pass
Additional information/plan	Pass
Additional strapping to wrap	N/A
Batten timber treatment	Pass
H3.1	
Cavity closers	Pass
Battens in place	Pass
Battens structural fixing	N/A
Cavity spacers	N/A
Cavity spacers size and slope	N/A
Reinforcing fixed in place (stucco)	N/A
Proprietary self spacing mesh	N/A
Mesh spacers (stucco)	N/A
Proprietary control joints (stucco)	N/A
Rigid backing type (stucco)	N/A
Fixings (galvanised or stainless) (stucco)	Pass
Waterproofing to slab-edge	N/A
Other	N/A



Taken at 2:36 PM on Tuesday 4/10/2016



Taken at 2:36 PM on Tuesday 4/10/2016



Taken at 2:37 PM on Tuesday 4/10/2016

SITE NOTICE

Consent No: **160232**
 Applicant: **Bill Francis**
 Site Address: **7 Forest Lane, Raumati South**
 Work Type: **Extension to living room.**
 Building Category: **R1**

Inspection Type: **Pre Clad**
 Inspection Outcome: **Fail**
 Inspected By: **Alan Tinney**
 Inspection Date: **4 October 2016**

Passed Items

General

Inspection notes
 Drawings
 Additional information/plan
 Building wrap type **Tekton**
 Flexible seling tape
 Internal/external corner flashings
 Flashing penetrations

Failed Items

General

Head flashings
 Sill flashings

Inspection Type: **Cavity System**
 Inspection Outcome: **Pass**
 Inspected By: **Alan Tinney**
 Inspection Date: **4 October 2016**

Passed Items

General

Inspection notes
 Drawings
 Additional information/plan
 Batten timber treatment **H3.1**
 Cavity closers
 Battens in place
 Fixings (galvanised or stainless) (stucco)

Support Documentation

	Status
Application for CCC	Required
Electrical safety certificate	Required

Construction review PS4 statement for structural engineering	Required
Membrane applicator certificates - deck	Required
Roof product manufacturers warranty	Required
Record of Work	Required
Roof installers warranty	Required
Window manufacturers producer statement	Required

Licensed Building Practitioners**Status**

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Final Inspection**
Inspection Outcome: **Fail**
Inspected By: **Craig Watson**
Inspection Date: **14 June 2017 9:35 a.m.**
Duration: **60 minutes**

Inspection Element	Status
Exterior	Fail
Inspection notes	Fail
Failed inspection	
Drawings	Fail
ammendment required	
Additional information/plan	N/A
Sub-floor ventilation	Pass
Grills in Base board.	
Roof fixings	Pass
Spouting and down-pipes	Pass
Deck structure	Pass
Flashings - roof	Pass
Penetrations - flashings	Pass
Barriers	N/A
Gully dishes	N/A
Stormwater and site drainage	Pass
Connected to existing	
Handrails	N/A
Wastes to gully	N/A
Fixings - durability	Pass
Steps/stairs	N/A
Terminal vents/AAVs	N/A
Cladding painted/sealed	Pass
Flashings - windows/doors	Pass
Cladding ground clearance	Pass
Road crossing complete	Pass
Final check complete	Fail
Other	N/A
Interior	Fail
Inspection notes	Pass
Drawings	Fail
Ammendment required	
Additional information/plan	N/A
Service areas-floors/walls	Pass
Stair design	N/A
Handrails	N/A
Balustrades	N/A
Lightings	Pass

Laundering	N/A
Cooking facilities	N/A
Smoke detectors	Pass
Food storage/preparation	N/A
Ventilation	Pass
Insulation and clearance	Pass
HWC flues	N/A
HWC restraint	N/A
Tempering valve	N/A
Glazing - human impact	N/A
Hot water temp	N/A
Solid fuel heater	N/A
Water supply tank	N/A
Trap seals and AAVS	N/A
Cistern flushing	N/A
WC pan connection	N/A
Septic tank	N/A
Window labels	Pass
Final check complete	Fail
Other	Fail
Minimum of 3 rivets required in wood burner flue	
Intertenancy/commercial	N/A
Other	Pass
<hr/>	
Support Documentation	
Application for CCC	Accepted
Electrical safety certificate	Accepted
Construction review PS4 statement for structural engineering	Accepted
Membrane applicator certificates - deck butynol internal gutter	Accepted
Roof product manufacturers warranty	Accepted
Record of Work	Accepted
Roof installers warranty	Accepted
Window manufacturers producer statement	Required
<hr/>	
Licensed Building Practitioners	
Roofing 1	Accepted

SITE NOTICE

Consent No: **160232**
 Applicant: **Bill Francis**
 Site Address: **7 Forest Lane, Raumati South**
 Work Type: **Extension to living room.**
 Building Category: **R1**

Inspection Type: **Final Inspection**
 Inspection Outcome: **Fail**
 Inspected By: **Craig Watson**
 Inspection Date: **14 June 2017**

Passed Items

Exterior

Sub-floor ventilation	Grills in Base board.
Roof fixings	
Spouting and down-pipes	
Deck structure	
Flashings - roof	
Penetrations - flashings	
Stormwater and site drainage	Connected to existing
Fixings - durability	
Cladding painted/sealed	
Flashings - windows/doors	
Cladding ground clearance	
Road crossing complete	

Interior

Inspection notes
 Service areas-floors/walls
 Lightings
 Smoke detectors
 Ventilation
 Insulation and clearance
 Window labels

Other

Failed Items

Exterior

Inspection notes	Failed inspection
Drawings	ammendment required
Final check complete	

Interior

Drawings	Ammendment required
Final check complete	

Support Documentation

	Status
Application for CCC	Accepted
Electrical safety certificate	Accepted
Construction review PS4 statement for structural engineering	Accepted
Membrane applicator certificates - deck butynol internal gutter	Accepted
Roof product manufacturers warranty	Accepted
Record of Work	Accepted
Roof installers warranty	Accepted
Window manufacturers producer statement	Required

Licensed Building Practitioners

	Status
Roofing 1	Accepted
Carpentry 1	Accepted

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Final Inspection**
Inspection Outcome: **Pass**
Inspected By: **Craig Watson**
Inspection Date: **31 August 2017 4:16 p.m.**
Duration: **15 minutes**

Inspection Element	Status
Exterior	Pass
Inspection notes	Pass
Failed inspection	
Drawings	Pass
amendment received	
Final check complete	Pass
Interior	Pass
Drawings	Pass
Final check complete	Pass
Other	Pass

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Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Foundations**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **28 September 2016 11:56 a.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Pass
Footing depth driven piles	Pass
Engineers details required peter bolton engineer has been and signed consented docs	Pass
Good bearing	N/A
Reinforcing	N/A
Siting	Pass
Sub-floor vents	N/A
Other	N/A

Bc: 160232

- 7 Forest Lake Kaurahi South.

OXFORD WOOD FIRE



FEATURES:

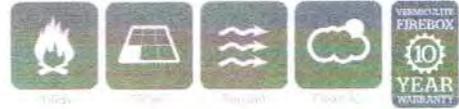
- Clean air approved small-size radiant wood fire
- Contemporary matt black design, 5mm steel
- Vermiculite brick lined firebox
- Multi-burn firebox helps glass remain clear
- Steel plate top for cooking use

SPECIFICATIONS:

- Estimated maximum heat output: 14kW
- Heats area up to 150m² (typically up to three standard rooms)
- Average emission rate: 0.80g/kg
- Overall average efficiency: 69%
- ECAN Authorisation No. 165500

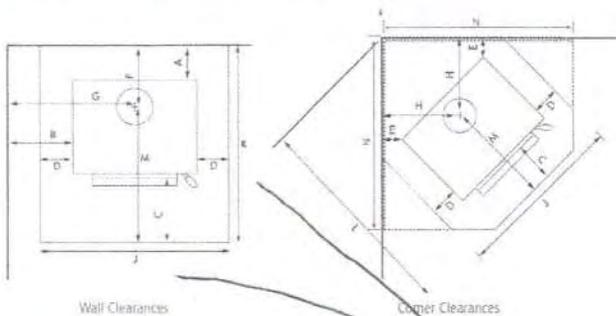


KWF295-6961

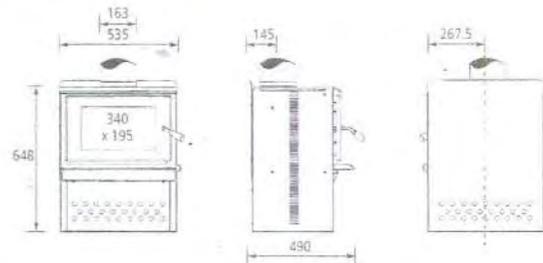


Product	Description	Qty	UM
ZZ052100048	KWF295-6961 Oxford wood fire	1	ea
KWF298-7005	Kent Ceiling Kit Reflector & Flue Kit	1	ea

INSTALLATION CLEARANCES:



DIMENSIONS (mm):



RECOMMENDED FLUE KITS:

Standard	KWF298-7005
Energy Saver	KWF298-7006

Flue kits are tested to AS/NZS2918 Appendix F report no. 02/649.

Minimum Installation Clearances (with flue shield) mm							Hearth Clearances (mm)						
A	B	C	D	E	F	G	H	J	K	L	M	N	
135	350	300	130	120	255	610	395	795	865	1140	585	1000	

Kent products are distributed by:
Aber Holdings Ltd T/A Aber, Hamilton

Free Phone: 0800 161 161
sales@aber.co.nz

www.kent.co.nz

4359-02/16

Beth Robertson

From: Kapiti Plumbing Ltd <kapplumb@vodafone.co.nz>
Sent: Wednesday, 15 February 2017 8:57 a.m.
To: Sharleen McArtney
Subject: Specs : BC 160232 Logburner/Flue kit
Attachments: Kent Log Fire & Flue Kit.jpg

Hi Sharleen

Please find attached a copy of the info required.

Regards

Shelly Stephens
021455448

GoGet Inspection Audit Report

Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Piles**

Inspection Outcome: **Pass**

Inspected By: **Gareth McCullagh**

Inspection Date: **28 September 2016 11:56 a.m.**

Duration: **15 minutes**

Inspection Element

	Status
General	Pass
Pile size	Pass
Pile layout	Pass
Special piles	N/A
Timber treatment	Pass
Hole depth	N/A
Other	N/A

GoGet Inspection Audit Report

Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Postline / Wet area Pre Application**

Inspection Outcome: **Pass**

Inspected By: **Craig Watson**

Inspection Date: **31 August 2017 4:13 p.m.**

Duration: **15 minutes**

Inspection Element

General

Conforms with approved drawings
updated plan received

Other

Status

Pass

Pass

Pass

GoGet Inspection Audit Report

Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Postline Building**

Inspection Outcome: **Fail**

Inspected By: **Gareth McCullagh**

Inspection Date: **3 November 2016 1:32 p.m.**

Duration: **15 minutes**

Inspection Element

	Status
General	Fail
Sighted previous inspection notes	Pass
Conforms with approved drawings used ply on widow sides to supply updated plan	Fail
Confirm additional information/amended plan	N/A
Sheet bracing gs1 in place	Pass
Sheet fixings screw fixed	Pass
Fire/acoustic separation	N/A
Other	N/A

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre Clad**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **4 October 2016 2:34 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Fail
Inspection notes	Pass
Drawings	Pass
Additional information/plan	Pass
Building wrap type Tekton	Pass
Flexible seling tape	Pass
Deck membrane fixed in accordance with specification	N/A
Head flashings	Fail
Sill flashings	Fail
Back flashings	N/A
Saddle flashings	N/A
Internal/external corner flashings	Pass
Jamb flashings	N/A
Capillary clearances	N/A
Flashing penetrations	Pass
Ground/deck cladding clearance	N/A
Other	N/A

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre Clad**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **3 November 2016 1:28 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Pass
Head flashings done on preline just not signed off	Pass
Sill flashings inspector sighted photos on preline just didn't sign off	Pass

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre Wrap**
Inspection Outcome: **Fail**
Inspected By: **Gareth McCullagh**
Inspection Date: **28 September 2016 12:11 p.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Fail
Inspection notes	Pass
Drawings	Pass
Additional information/plan	N/A
Cladding type identified	Pass
Framing moisture meets cladding requirements	Pass
Stud spacing appropriate for cladding 400m centres	Pass
Exterior sheet bracing and angle brace fixing	N/A
Bottom plate connections not yet done	Fail
Building wrap type	N/A
Bracing requirements changed from posi struts to lvl rafters connected with cpc 40's both sides roof strap brace in place lintel straps done need updated amended plan for changes of roof rafters	Fail
Purlin fixing purlins screwed and double nailed	Pass
Decking substrate	N/A
Other	N/A

GoGet Inspection Audit Report

Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Pre Wrap**

Inspection Outcome: **Fail**

Inspected By: **Gareth McCullagh**

Inspection Date: **3 November 2016 1:25 p.m.**

Duration: **15 minutes**

Inspection Element

General

Bottom plate connections

done on preline inspection just not signed off

Status

Fail

Pass

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre Wrap**
Inspection Outcome: **Pass**
Inspected By: **Craig Watson**
Inspection Date: **31 August 2017 4:14 p.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Pass
Bracing requirements up dated plan received	Pass
Top Plate Connection	N/A
Lintel Connections	N/A
Truss connections	N/A
Column posts	N/A
Other	Pass

SITE NOTICE

Consent No: **160232**
 Applicant: **Bill Francis**
 Site Address: **7 Forest Lane, Raumati South**
 Work Type: **Extension to living room.**
 Building Category: **R1**

Inspection Type: **Foundations**
 Inspection Outcome: **Pass**
 Inspected By: **Gareth McCullagh**
 Inspection Date: **28 September 2016**

Passed Items

General

Footing depth	driven piles
Engineers details required	peter bolton engineer has been and signed consented docs
Siting	

Inspection Type: **Piles**
 Inspection Outcome: **Pass**
 Inspected By: **Gareth McCullagh**
 Inspection Date: **28 September 2016**

Passed Items

General

Pile size
 Pile layout
 Timber treatment

Inspection Type: **Subfloor**
 Inspection Outcome: **Pass**
 Inspected By: **Gareth McCullagh**
 Inspection Date: **28 September 2016**

Passed Items

General

Pile/bearer/joist fixings	
Notching/holes	
Solid blocking	one row to middle
Joists	400 mm centres
Beams/bearers	

Inspection Type: **Pre Wrap**
 Inspection Outcome: **Fail**

Inspected By: **Gareth McCullagh**
Inspection Date: **28 September 2016**

Passed Items

General

Inspection notes
Drawings
Cladding type identified
Framing moisture meets cladding requirements
Stud spacing appropriate for cladding
Purlin fixing

**400m centres
purlins screwed and double nailed**

Failed Items

General

Bottom plate connections
Bracing requirements

**not yet done
changed from posi struts to lvl rafters connected with
cpc 40's both sides roof strap brace in place lintel
straps done need updated amended plan for changes
of roof rafters**

Support Documentation

	Status
Application for CCC	Required
Electrical safety certificate	Required
Construction review PS4 statement for structural engineering	Required
Membrane applicator certificates - deck	Required
Roof product manufacturers warranty	Required
Record of Work	Required
Roof installers warranty	Required
Window manufacturers producer statement	Required

Licensed Building Practitioners

Status

SITE NOTICE

Consent No: **160232**
 Applicant: **Bill Francis**
 Site Address: **7 Forest Lane, Raumati South**
 Work Type: **Extension to living room.**
 Building Category: **R1**

Inspection Type: **Postline Building**
 Inspection Outcome: **Fail**
 Inspected By: **Gareth McCullagh**
 Inspection Date: **3 November 2016**

Passed Items

General

Sighted previous inspection notes	
Sheet bracing	gs1 in place
Sheet fixings	screw fixed

Failed Items

General

Conforms with approved drawings	used ply on widow sides to supply updated plan
---------------------------------	---

Inspection Type: **Pre Wrap**
 Inspection Outcome: **Fail**
 Inspected By: **Gareth McCullagh**
 Inspection Date: **3 November 2016**

Passed Items

General

Bottom plate connections	done on preline inspection just not signed off
--------------------------	---

Failed Items

General

Inspection Type: **Pre Clad**
 Inspection Outcome: **Pass**
 Inspected By: **Gareth McCullagh**
 Inspection Date: **3 November 2016**

Passed Items

General

Head flashings	done on preline just not signed off
Sill flashings	inspector sighted photos on preline just didn't sign off

Support Documentation

Status

Application for CCC	Required
---------------------	----------

Electrical safety certificate	Required
Construction review PS4 statement for structural engineering	Required
Membrane applicator certificates - deck	Required
Roof product manufacturers warranty	Required
Record of Work	Required
Roof installers warranty	Required
Window manufacturers producer statement	Required

Licensed Building Practitioners**Status**

SITE NOTICE

Consent No: **160232**
 Applicant: **Bill Francis**
 Site Address: **7 Forest Lane, Raumati South**
 Work Type: **Extension to living room.**
 Building Category: **R1**

Inspection Type: **Pre-site Inspection**
 Inspection Outcome: **Pass**
 Inspected By: **Craig Watson**
 Inspection Date: **31 August 2017**

Passed Items

General

Position of boundaries and datum height checked

Inspection Type: **Postline / Wet area Pre Application**
 Inspection Outcome: **Pass**
 Inspected By: **Craig Watson**
 Inspection Date: **31 August 2017**

Passed Items

General

Conforms with approved drawings **updated plan received**
 Other

Inspection Type: **Pre Wrap**
 Inspection Outcome: **Pass**
 Inspected By: **Craig Watson**
 Inspection Date: **31 August 2017**

Passed Items

General

Bracing requirements **up dated plan received**
 Other

Inspection Type: **Final Inspection**
 Inspection Outcome: **Pass**
 Inspected By: **Craig Watson**
 Inspection Date: **31 August 2017**

Passed Items

Exterior

Inspection notes **Failed inspection**
 Drawings **amendment received**

Final check complete

Interior

Drawings

Final check complete

Other

Support Documentation**Status**

Application for CCC	Accepted
Electrical safety certificate	Accepted
Construction review PS4 statement for structural engineering	Accepted
Membrane applicator certificates - deck butynol internal gutter	Accepted
Roof product manufacturers warranty	Accepted
Record of Work	Accepted
Roof installers warranty	Accepted
Window manufacturers producer statement	Required

Licensed Building Practitioners**Status**

Roofing 1	Accepted
Carpentry 1	Accepted

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Preline Building**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **1 November 2016 9:38 a.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Pass
Sighted previous inspection notes	Pass
Conforms with approved drawings	Pass
Confirm additional information/amended plan	Pass
Max moisture content 19%	Pass
Ventilation to rooms	N/A
Timber treatment	Pass
Lintel/beam size and fixing	Pass
Insulation Walls 2.6/3.2 ceilings	Pass
Top plate connection	Pass
Ceiling batten spacing 400mm 16mm rondo	Pass
Stud spacing	Pass
Bracing connections	Pass
Air seals	Pass
Bottom plate fixings	Pass
Weathertightness	N/A

SITE NOTICE

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**
Building Category: **R1**

Inspection Type: **Preline Building**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **1 November 2016**

Passed Items

General

Sighted previous inspection notes
Conforms with approved drawings
Confirm additional information/amended plan
Max moisture content **19%**
Timber treatment
Lintel/beam size and fixing
Insulation **Walls 2.6/3.2 ceilings**
Top plate connection
Ceiling batten spacing **400mm 16mm rondo**
Stud spacing
Bracing connections
Air seals
Bottom plate fixings

Support Documentation

Status

Application for CCC	Required
Electrical safety certificate	Required
Construction review PS4 statement for structural engineering	Required
Membrane applicator certificates - deck	Required
Roof product manufacturers warranty	Required
Record of Work	Required
Roof installers warranty	Required
Window manufacturers producer statement	Required

Licensed Building Practitioners

Status

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Pre-site Inspection**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **12 April 2016 9:39 a.m.**
Duration: **15 minutes**

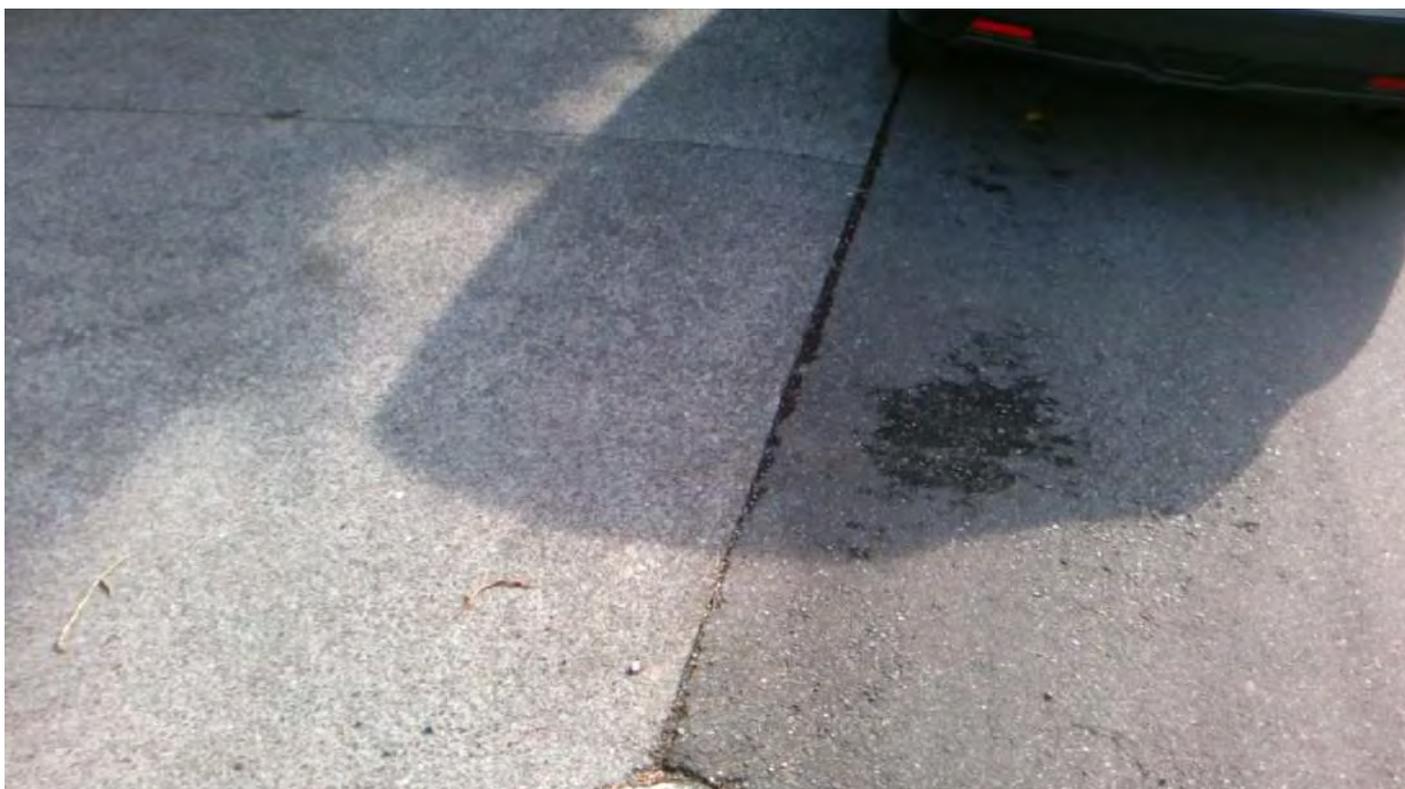
Inspection Element	Status
General	Fail
Contours match application	Pass
Datum point identified	Pass
Boundaries identified	Pass
Ground conditions checked	Pass
Fences only	
Footpath checked	N/A
Kerb and channel checked	N/A
Grass berm checked	N/A
Existence damage	N/A
Vehicle crossing installed	Pass
Dogs	N/A
Further investigation	Pass
Conforms with approved drawings	Pass
Resource consent	Pass
Producer statement	Pass
Driveway checked	Pass
Position of boundaries and datum height checked	Fail
Surveyor	Pass
N/A	
Engineer supervision required	Pass
Bolton	



Taken at 9:39 AM on Tuesday 12/04/2016



Taken at 9:39 AM on Tuesday 12/04/2016



Taken at 9:39 AM on Tuesday 12/04/2016

SITE NOTICE

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**
Building Category: **R1**

Inspection Type: **Pre-site Inspection**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **12 April 2016**

Passed Items

General

Contours match application	
Datum point identified	
Boundaries identified	
Ground conditions checked	Fences only
Vehicle crossing installed	
Further investigation	
Conforms with approved drawings	
Resource consent	
Producer statement	
Driveway checked	
Surveyor	N/A
Engineer supervision required	Bolton

Failed Items

General

Position of boundaries and datum height checked

GoGet Inspection Audit Report

Consent No: **160232**

Applicant: **Bill Francis**

Site Address: **7 Forest Lane, Raumati South**

Work Type: **Extension to living room.**

Inspection Type: **Pre-site Inspection**

Inspection Outcome: **Pass**

Inspected By: **Craig Watson**

Inspection Date: **31 August 2017 4:14 p.m.**

Duration: **15 minutes**

Inspection Element

General

Position of boundaries and datum height checked

Status

Pass

Pass

GoGet Inspection Audit Report

Consent No: **160232**
Applicant: **Bill Francis**
Site Address: **7 Forest Lane, Raumati South**
Work Type: **Extension to living room.**

Inspection Type: **Subfloor**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **28 September 2016 11:58 a.m.**
Duration: **15 minutes**

Inspection Element	Status
General	Pass
Pile/bearer/joist fixings	Pass
Notching/holes	Pass
Solid blocking	Pass
one row to middle	
Joists	Pass
400 mm centres	
Beams/bearers	Pass
Other	N/A



CODE COMPLIANCE CERTIFICATE

SECTION 95, BUILDING ACT 2004

THE OWNER

Stephens Murray John
7 Forest Lane
RAUMATI

No.	090137
Issue date	18/05/09
Application date	9/03/09

THE BUILDING

Street Address	7 Forest Lane, Raumati South
Valuation No.	1529212300
Legal Description	LOT 2 DP 76027 CT F1/217
Intended Use	Home heating
Intended Life	Indefinite, but not less than 50 years
Current Use	Residential property
Proposal	Woodfire Clean Air ECAN
Estimated Value	\$1,800

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

- The building work complies with the building consent; and
- The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Signature:

Date: 18 MAY 2009



Code Compliance Certificate

Section 95, Building Act 2004

The Owner

Mr M Stephens	No.	056201
7 Forest Lane	Issue date	27/11/07
RAUMATI	Application date	9/11/05

The Building

Street Address	7 Forest Lane, Raumati South
Valuation No.	1529212300
Legal Description	LOT 2 DP 76027 CT F1/217
Intended Use	Residential dwelling
Intended Life	Indefinite, but not less than 50 years
Current Use	Residential dwelling
Proposal	Garage and living area extension
Estimated Value	\$45,000

Code Compliance

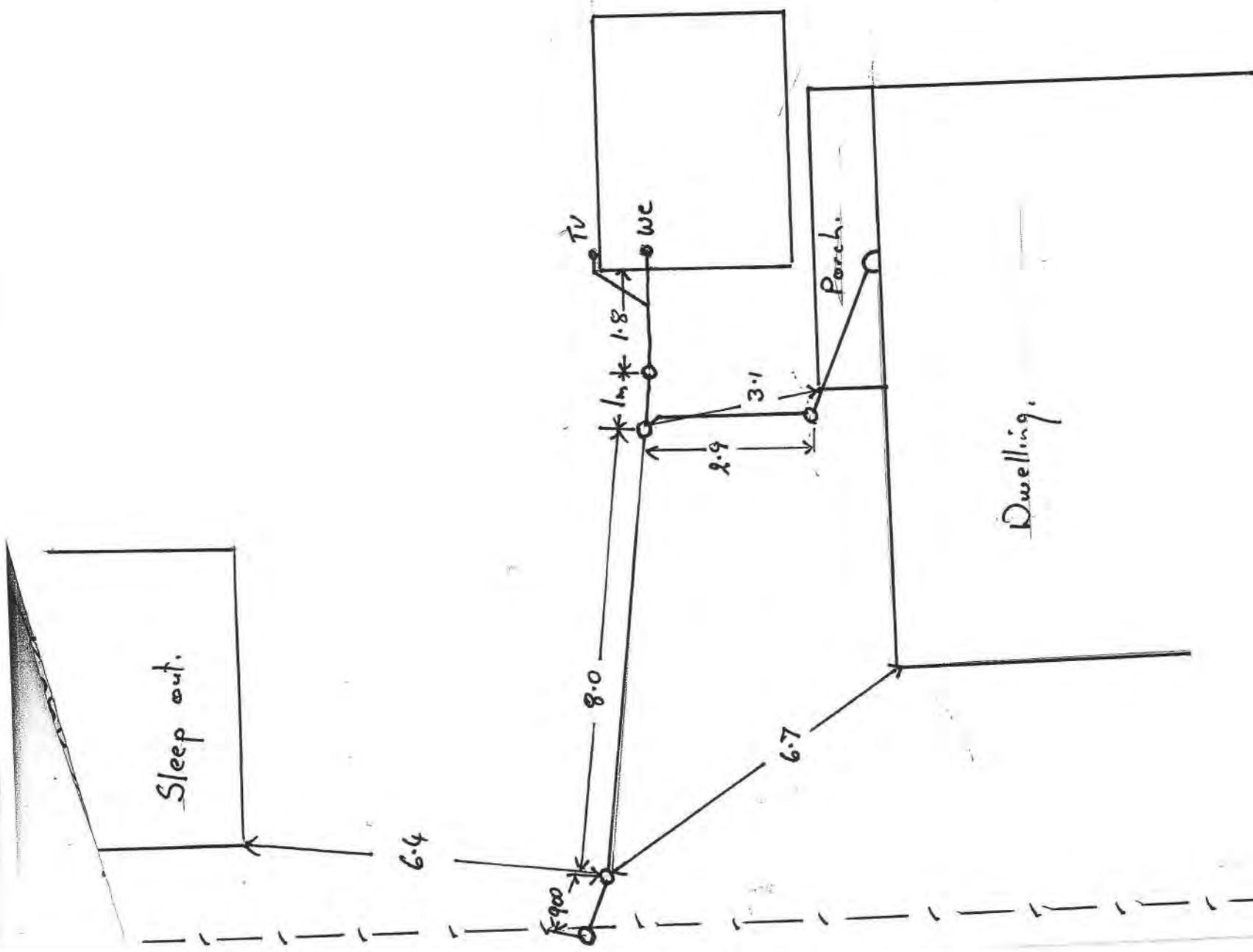
The building consent authority named below is satisfied, on reasonable grounds, that –

- a) The building work complies with the building consent; and
- b) The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Signature: 

Date: 5/12/07



Drainage Plan
 5 Kare Kare Rd.
 Drainlayer P. Clarence.
 Tested 23-11-92 B.G.

↓ St Frontage

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Resource Consents (refer PIM Sheet)			
Plumbing and Drainage			
Building	✓	approved.	6/3/09 J. Palmer
Fire Design			
Compliance Schedule			
Environmental Health			
Site- Footpath & Entrance Conditions		Ground	
NOTES:			



Building Consent No	
Building Project	
Location (Site Address)	Inbuilt Woodburner 7 Forest Lane PARAPARAUMU
Building Category	0 1 2 3

Application workflow checklist

RECEIVED	Name & Signature	Date
06 MAR 2009 KAPITI COAST DISTRICT COUNCIL	Note # A signature confirms that the application contains sufficient information to enable compliance with the building code to be assessed	
# Note: Checked, date stamped and initialled by TO/BCO. Select and circle appropriate category above & identify allocation to appropriate technical groups and if required to go to "site inspection" AP-WI-001	J. Palmer	6/3/09
Payment taken and receipted (details entered inside this cover sheet) by CSO CS-WI-008	Annie Reichenbach	9/3/09
Data entered and invoiced by CSO CS-WI-008	Gene O'Brien	9/3/09
Pages numbered by CSO CS-WI-008	-	
BC Application and documentation scanned, checked & status update by CSO CS-WI-009	-	
BC Application signed over to BC CS-WI-009	-	
Application reviewed by Technical Officers who sign off at back of this form AP-WI-026 & AP-WI-009	J. Palmer	6/3/09
Once Technical review complete, passed to CS for Plan Production and Invoicing AP-WI-009	J. Palmer	6/3/09
CSO checks data entry input, including required inspections CS-WI-012		
BC, plans and other appropriate paperwork produced by CSO CS-WI-012	Gene O'Brien	9/3/09
BC, Approved plans and appropriate paperwork sent to applicant or agent with receipt by CSO CS-WI-012		
Inspection envelope prepared by CSO with endorsed plans and other appropriate paperwork and filed to cabinet. CS-WI-012		

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS	32	✓	Lapse and cancellation after 12mths of consent	23	✓	Installation of solid fuel appliance (wood burner) comply and secured
Foundation/Piles						
Block	2		Engineer design specific components	23A		Second hand wood burner certified
Pre-Slab (Plumbing)	3		Foundations to solid bearing of 200mm	25		Contractor to leave site clean and clear
Pre-Slab (Building)	4		NZS3604 as acceptable solution in terms of NZ Building Code	30		To comply with Food Hygiene Regulations 1974
Sub-Floor	6		Not approved as Habitable Room	31		As in CCZ, all fixings need to be stainless steel
Drainage	9		Note and comply with all endorsements on approved plans	33		Approval only given for relocation purposes
Pre-Wrap	10		Names and Registration of plumber and drain-layer required	34		If cladding to have pre-finished colour coating, to be appropriate for coastal conditions
Pre-Clad	11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	38		Window sashes on upper levels less than 760mm above floor to have stays fixed
Weathertightness	12		Hot & Cold water pipes tested to 1500kPa	39		Construction of playground to comply with NZS5828
Pre-lining (Building)	13		Roof stormwater to be connected to existing	40		Fencing, gates, doors directly leading to swimming pool to comply with Pool Act 1987
Pre-lining (Plumbing)	14		Copper water pipes not permitted	43		Textured systems should be applied by licensed, trained applicators – supply warranty
Wet areas - membrane	15		Owner/builder to ensure prop foundation height will allow satisfactory connection	44		Exterior cladding system to be completed and inspected prior to internal lining
Post Lining	21		Minimum FFL to comply with NZS3604			
Brick Veneer						
Retaining Wall						
Final (Dwelling)						
Final (Commercial & Multi-resd)						

FOR OFFICE USE ONLY

FEES		158.00	APPLICATION FEE	\$.....
Building Fee	\$.....	194.00	\$ 194.00	
Sewer Connection	\$.....		RECEIPT NO	DATE.....
Water Connection	\$.....		293597	
Vehicle Crossing	\$.....		INVOICE NO	DATE.....
Damage Deposit	\$.....		77640	
Code Compliance Administration	\$.....		RECEIPT NO	DATE.....
Building Research Levy	\$.....			
Development Levy	\$.....		FEES PAID BY:	
DBH Levy	\$.....		Murray Stephens	
Compliance Schedule	\$.....		BUILDING CONSENT	DATE ISSUED
Digital Storage Fee	\$.....	36.00	NUMBER	
Certificate of Title Charge	\$.....		090137	
Photocopying	\$.....		AUTHORISATION FOR REFUND OF DEPOSIT	
SUBTOTAL	\$.....		Deposit held =	\$.....
Less Fee Paid	\$.....		Cost to Repair Damage Caused During	\$.....
TOTAL	\$.....	194.00	Construction =	\$.....
GST INCLUDED	\$.....		Total Balance to be Refunded	
			Authority Number:	
			Authorised:	DATE:

STANDARD CONSENT CONDITIONS	
37	
72	
80	

NON-STANDARD ADDENDA

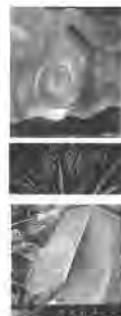
24/249/35/41/417/416

GST 51-860-608

Received with thanks by 36/01
KAPITI COAST DISTRICT COUNCIL

9-03-09 8:39 Receipt no.293597

DR BC090137
MURRAY STEPHENS 194.00-
Murray Stephens::7 Forest Lane:Raumati
CQ AS
Murray Stephens 194.00



Building consent 090137

Section 51, Building Act 2004

The building

Street address of building: 7 Forest Lane, Raumati South

Legal description of land where building is located: LOT 2 DP 76027 CT F1/217

Valuation number: 1529212300

Building name:

Location of building within site/block number:

Level/unit number:

The owner

Name of owner: Murray Stephens

Contact person: Murray Stephens

Mailing address: 7 Forest Lane, Raumati South, Paraparaumu

Street address/registered office:

Phone number: Landline: 042991488

Mobile: 021455448

Daytime: 042991488

After hours: 042991488

Facsimile number: 042991488

Email address: m-stephens@xtra.co.nz

Website:

First point of contact for communications with the council/building consent authority:
As above

Building work

The following building work is authorised by this building consent:

Woodfire Clean Air ECAN

Home heating

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:



Signature



Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 9/03/09

9 March 2009

Murray Stephens
7 Forest Lane
Raumati South
Paraparaumu

Dear Sir/Madam

Approval of Building Consent: 090137

Description: Woodfire Clean Air ECAN
Location: 7 Forest Lane, Raumati South
Legal Description: LOT 2 DP 76027 CT F1/217

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of final inspection.
- that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 9045 617.

Addenda to Application

Application

Murray Stephens 7 Forest Lane Raumati South Paraparaumu	No.	090137
--	-----	--------

Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stages Woodfire Clean Air ECAN
Intended Life	Indefinite, but not less than 50 years
Intended Use	Home heating
Estimated Value	\$180,000
Location	7 Forest Lane, Raumati South
Legal Description	LOT 2 DP 76027 CT F1/217
Valuation No.	1529212300

Contractor:
021344338

Laser Plumbing POBox 612, Paraparaumu : 049027586/

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
 1. Chimney Inspection
 2. Final Inspection - Fire
- b) To arrange for any of the above required inspections by Building Control Team, please contact the Call Centre on (04) 296 4700 between the hours of 7.30am and 5.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. Seismic restraint to be provided to appliance and flue as per the manufacturer's recommendations, NZBC, C.1 and Acceptable Solutions 9.1.2 and 9.2.2
3. Chimney to be cleaned prior to inspection before new unit is installed.
4. Section F7 of the New Zealand Building Code requires the installation of an approved smoke alarm system for detection and warning of fire. Alarms are to be of a type which include a reset and test buttons.
5. Woodburners must be designed to have an emission of less than 1.5 grams of particles per kilogram of dry wood burnt (as measured in accordance with AS/NZS 4013:1999), and a thermal efficiency of greater than 65%(as measured in accordance with AS/NZS 4012:1999).
6. From 1 September 2005 a National Environmental Standard for Wood Burners has been introduced as an Amendment to the RMA 1991. The new standard sets out regulations governing emission rates and energy efficiency (for more information check www.mfe.govt.nz). The granting of this building consent for the installation of a woodburner is NOT an authority to install and operate a non-complying woodburner.
7. The granting of this building consent for the installation of a woodburner is NOT an authority to install and operate a non-complying woodburner.
8. Since 1 September 2005, the NZ standard for woodburners has applied to all units installed on properties less than 2 hectares in lot size. The standard applies only to woodburners. It does not apply to open fires, multi fuel burners (eg coal), cooking stoves or pellet burners. The granting of this building consent for the installation of a woodburner is NOT an authority to install and operate a non-complying woodburner.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

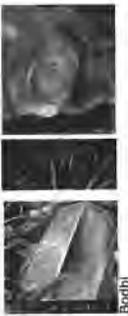
**OWNER/BUILDER/
AUTHORISED PERSON**

Date:

Kapiti Coast District Council
Private Bag 601
Paraparaumu 5254

Tel. (04) 296 4700
Fax (04) 296 4830
or 0800 486 486

E: kapiti.council@kapiticoast.govt.nz
W: www.kapiticoast.govt.nz



BC090137

31 March 2009

Murray Stephens
7 Forest Lane
RAUMATI SOUTH

Dear Mr Stephens

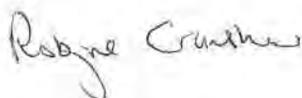
CREDIT FOR FIREPLACE APPLICATION

Here is a credit for \$534.60 for the fireplace application issued on 9 March 2009.

It appears that an error was made on invoice 77640 and extra charges were invoiced in error. Full payment of the fee of \$194 has been made and no further charges are owing.

Please call me on 04 296 4816 if you need any further details.

Yours sincerely



Robyne Cranshaw
CUSTOMER SERVICES

Ref: BC090137



MEMO

TO: Julianne
Finance
FROM: Robyne
Customer Services
DATE: 31 March 2009
SUBJECT: Credit

Please arrange for a credit of \$534.60 on this account.

Please post out with the attached letter to:

Murray Stephens
7 Forest Lane
RAUMATI SOUTH

Account number: BC090137

Amount: \$534.60

Description: Credit for amount charged in error on invoice 77640

Receipt no and date: 293597 dated 6/3/09

Invoice no and date: 77640 dated 9/3/09

Code to:

BC03 \$180 – BRANZ levy – please advise Dave K
BC20 \$354.60 – DBH levy – please advise Dave K

**Authorised by Jude Wadsworth
Customer Services Manager**

Jude A Wadsworth

To: *M. Williams* *KCOC*



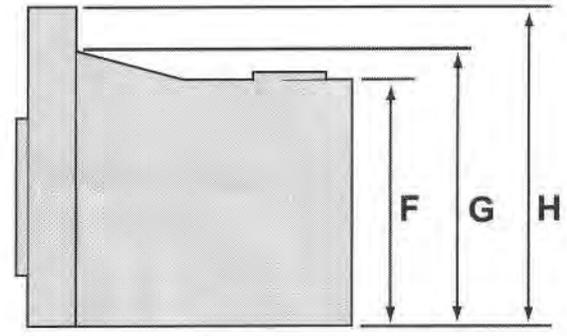
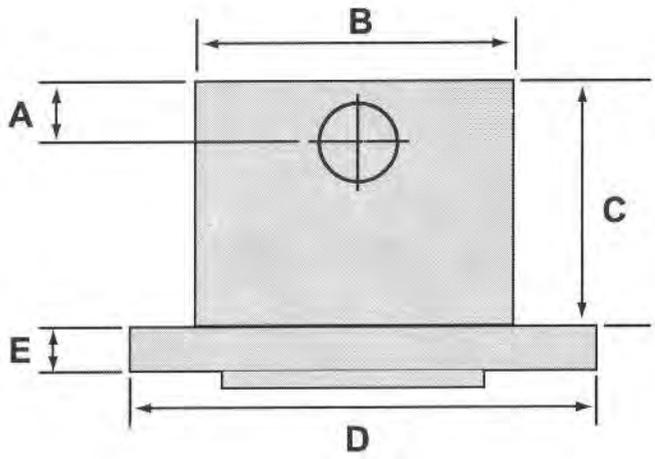
Effective March 2008

MAR 2009
STARFIRE INSERT

INSERT SPECIFICATIONS
 PAGE 1 OF 3

MODEL: CLEAN AIR INSERT

Serial # 1219/876



All dimensions are in millimetres.
 All dimensions are set as a minimum guide only.

Starfire Insert Dimensions (mm)

A	B	C	D	E	F	G	H
150	590	479	807	49	540	590	645

Industry Rated Peak Output (kW)	Water Heating Option	Floor Protector	Emissions	Efficiency
14	No	Insulated	.94g/kg	69%

Hearth Size - 840mm W X 300mm D X >18mm H



IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 INCLUDING APPENDIX F (A.R.S Report No. 05/1250)
 Clean Air Authorisation # 072487

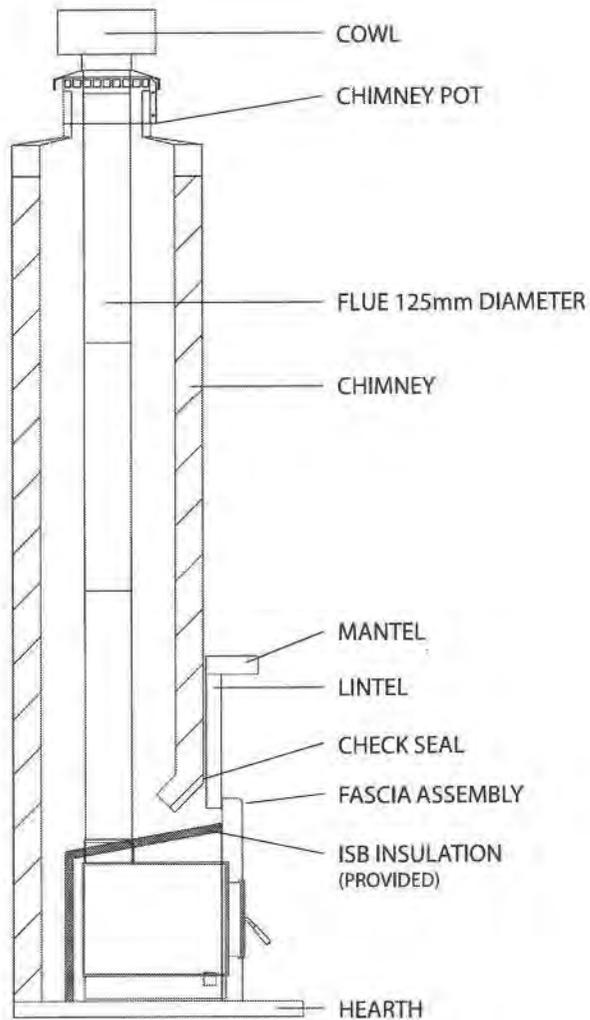
RETAIL LINKS LTD RESERVE THE RIGHT TO CHANGE SPECIFICATIONS OR DESIGNS WITHOUT PRIOR NOTICE.



FLUE SYSTEM INSTALLATION INSTRUCTIONS

- This flue system is the genuine factory flue for the Jayline Starfire IS (Fireplace insert), and is complete with the original laboratory tested Cowl.
- Installation of any solid fuel appliance should only be carried out by suitably trained and qualified personnel.
- Inspect the chimney for any cracks, flaws or missing mortar, and repair to a suitable standard if required.
- Positioning and clearance instructions for your Starfire IS are given on the instruction sheet supplied inside each firebox.
- Each flue length should be joined with the male section on top and fixed using 3 stainless steel rivets or self tapping screws.
- Trim the top length of flue pipe allowing for heat expansion and fit the Cowl.

STARFIRE IS FLUE INSTALLATION

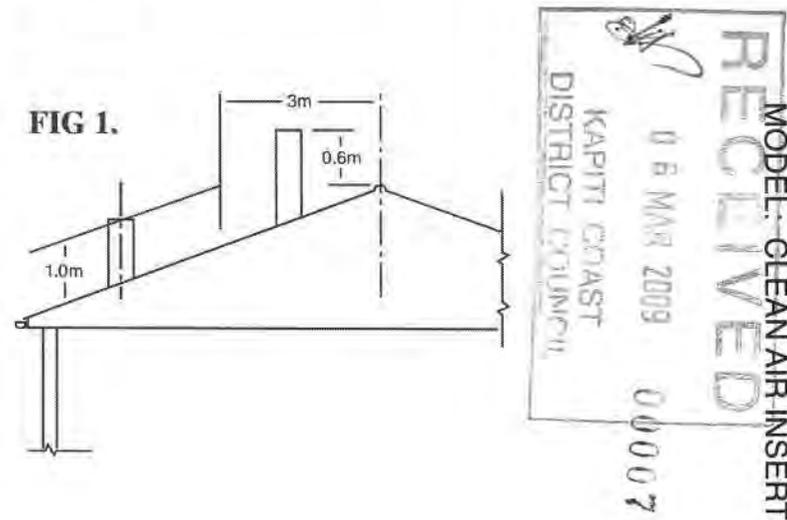


MINIMUM FLUE HEIGHT

The top of the Starfire IS flue system should be at least 600mm above the highest point of the roof ridgeline, if the point of intersection of the flue system and the roofline is less than 3 metres from the ridgeline horizontally.

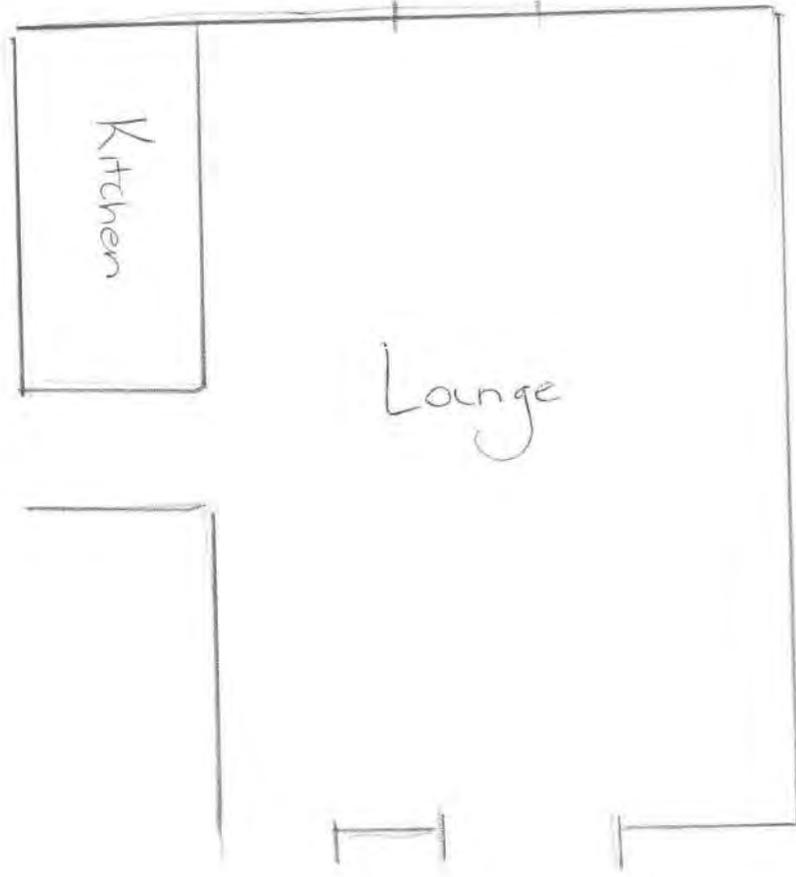
If the point of intersection of the flue system and the roofline is greater than 3 metres horizontally, the top of the flue system shall be at least 1000mm above the point of intersection with the roofline. (Refer FIG 1)

These are considered to be **minimum dimensions**, and depending on local conditions, **taller flue system heights may be required for satisfactory performance.**



7 Forest Lane, Raumati South

New.
JAYLING FIRE replacing
old JAYLING FIRE - existing



RECEIVED
06 MAR 2023 00008
KAPITI COAST
DISTRICT COUNCIL



BC Number: 090137

NOTE: Please have this form completed by the Installer and ready for our Building Inspector to collect when doing the final inspection

INSTALLER'S NAME: (Please print)

MARK SCARF

Address: PO Box 612 Papanui

Ph: 9677586

FREE STANDING FIRE OR INBUILT FIRE INSTALLED AT:

Address: 7 Forest Lane

For: MR STEPHEN

The following requirements under NZS 7421:1990 or AS/NZ 2918:2001 have been met and the solid fuel burning domestic appliance type and model _____ has been installed in accordance with the manufacturer's installation instructions.

Please **tick** (where applicable) the following:

- The chimney has been cleaned
- The chimney is in a sound condition
- The chimney is of pumice and of correct dimensions to comply with BRANZ zero clearance certificates
- The chimney is ventilated to manufacturer's requirements
- The appliance is restrained against seismic activity (free standing and fireplace heaters).
- The inbuilt heating appliance has been approved by BRANZ as complying with their zero clearance certificate.
- The hearth is an approved type according to manufacturer's requirements.
- The hearth is restrained against seismic activity
- The fire-surround at its connection to the fire place is fully insulated with approved material [see BRANZ Building Information Bulletin 248 (1986)].
- The ash hearth is of correct dimensions according to installation instructions.

Signature:

Date:

PROCESSING CHECKLIST

Wood burners/Multi Fuel Burners/Gas Appliances

Category 0

No = Plans, specifications & documentation not complying with the Building code (specified alongside each prompt)
Yes = Plans, specifications & documentation complying with the Building code (specified alongside each prompt)
N/A = Not applicable to this application

**Inbuilt Woodburner
 7 Forest Lane
 PARAPARAUMU**

Site Plan/Locality Plan (NZS 3604 Sec 3.4, 4.5 Code clB1, F1&F2)
 (If difficult to locate a locality plan is required e.g. Retirement village/Rural/Flats/Cross Lease)

- | | | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Wind Zone HIGH V/HIGH specific.....NZS3604 | } GIS | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Flooding / Ponding....GIS District Plan | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Hazards | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Corrosion Zone - <i>Yes - See notes on reverse</i> | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Current rates demand / certificate of title | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | | Residential (Emissions <1.5 /Efficiency not less than 65%) | <input type="checkbox"/> | Rural (> 2 hectares) Emissions/Efficiency N/A) |

General (G12/AS1 E2/AS1NZS 5261 C/AS1 part 9-9.5)

- | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Clean air requirements.....MFE website – list of approved wood burners |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Appliance Specifications & Hearth details |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Flue details if not if manufacturers specifications |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Flashing details.....E2/AS1 (Pg 81) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Wetback schematic pipes shown on elevation & layout |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Wetback/tempering valves |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Seismic restraints.....C/AS1 sec 9. 12&3 |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Gas appliances.....NZS 5261 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Ventilation/external combustion....(see note below) C/AS1 sec 9 ; G4 |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Open firesC/AS1 part 9 – 9.5 |



Floor Plans / Layout

- | | | | |
|-------------------------------------|--------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Fire location (showing surrounding windows, combustible materials etc...) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | If > 2 levels then cross section required - <i>See reverse note</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Smokes detectors.....F7 |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Hearth if not shown on manufacturers spec |

Conditions

Freestanding – 32 ; 23 ; 24a ; 35 ; 41 ; 41a ; 41b

Inbuilt – 32 ; 23 ; 24 ; 24a ; 35 ; 41 ; 41a ; 41b

Note :Gas Fires – 36 ; 23 ; 24a – Permanent supply of combustion air to be provided in accordance with section 2.1 of NZBC G4

Solid fuel Appliances – 36a – Permanent external supply of combustion air to be provided as Per manufacturers recommendations & NZBC C/AS1 part 9

APPROVED / DECLINED (If declined please record decision on the back of this form)

Signed: *J Palmer*

Date: *5 / 3 / 09*

NOTES/DECISION RECORDING

Insert - Going through existing Chimney - NO
Cross section for upper floor level required.
Corrosion zone - Stainless Steel outer for fire

KCDC Building Consent Authority
 Building Consent Documentation Filed



BC No.
Street Address.

Inbuilt Woodburner
7 Forest Lane
PARAPARAUMU

Tick indicates document(s) included in this Building Consent

Building Consent Application,	<input checked="" type="checkbox"/>								
Application checksheet,	<input checked="" type="checkbox"/>								
Costing schedule,	<input checked="" type="checkbox"/>								
Plans and specifications,	<input checked="" type="checkbox"/>								
Invoice and receipt,	<input checked="" type="checkbox"/>								
Processing records/checksheets,	<input checked="" type="checkbox"/>								
Inspection page printouts	<input checked="" type="checkbox"/>								
<table border="1" style="width: 100%; height: 20px;"> <tr> <td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td> </tr> </table>									<input checked="" type="checkbox"/>
Building consent and memorandum,	<input checked="" type="checkbox"/>								
Inspection reports,	<input type="checkbox"/>								
Application for CCC,	<input type="checkbox"/>								
Code of Compliance Certificate.	<input type="checkbox"/>								
Producer statements and supporting documentation,	<input type="checkbox"/>								
Peer review documents,	<input type="checkbox"/>								
Fire design documents,	<input type="checkbox"/>								
Requests for further information and other correspondence,	<input type="checkbox"/>								
Amendments,	<input type="checkbox"/>								
Supplementary information,	<input type="checkbox"/>								
Energy work certificates,	<input type="checkbox"/>								
Notices to Fix.	<input type="checkbox"/>								
	<input type="checkbox"/>								

This form comprises part of the Building Consent documentation and indicates the contents of the Building Consent File. Refer KCDC Policy 029.

Jayline Starfire IS	Insert	Dry Wood	No	0.9	69	072487	072487
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RECEIVED
06 MAR 2009
KAPITI COAST
DISTRICT COUNCIL



Kapiti Coast District Council [KCDC] does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that KCDC shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

Map Printed Date: 26/02/2009 by michelles

Map Projection:
New Zealand Transverse Mercator
(NZGD2000)



Scale A4 1:475

ENTER TITLE HERE

Murray Stephens
7 Forest Lane
Raumati South
Paraparaumu

Account Number BC090137
Invoice Date 9/03/09
Tax Invoice Number 77640
GST Reg No 51-860-608
File No

090137 : 7 Forest Lane, Raumati South
Woodfire Clean Air ECAN
Owner: Murray Stephens

Qty	Description	Rate	Amount
	Building Consent/Project Info. Memo.		158.00 *
	Building Research Assoc. of NZ Levy		180.00 0G
	Plan Digital Storage Fee		36.00 *
	Department of Building & Housing Levy		354.60 *
		BEFORE GST	667.64
(* Includes GST)		GST	60.96
		Total	\$728.60

Payment can be made by direct credit to Bank account
03-0732-0306101-00. PLEASE show your Account No
(as above) on your remittance.

PAID

Murray Stephens
7 Forest Lane
Raumati South
Paraparaumu

9/03/09

BC090137

77640

\$728.60



KCCAC 000047796600072860

P Bag 601 Paraparaumu Phone:
 04 904 5827 Fax: 04
 904 5830



DO NOT SAVE THIS SHEET

Consent Fee Calculator

Classification Number		1
Project Value	\$	1800
PIM required	Yes	
Damage/crossing	None	
Cert. of Acceptance	No	
Cert. of Public Use	No	

BC 090137

Solid Fuel Heater



Fee - building	158	
Fee - PIM	0	
Total Fee	158	158.00
Additional		

Enter any additional fees here

Damage/Crossing	0.00
Digital Storage	36.00
CCC	included
BRANZ	0.00
DBH	0.00
Total Consent Fee	194.00

Fee information given by phone or fax are estimates only. The final fee can only be calculated once the documents have been viewed by KCDC staff.



TAX INVOICE
GST No 51-860-608

Stephens Murray John
Pointon Sacha Renee
7 Forest Lane
RAUMATI



INVOICE DATE 22 January 2009

Instalment 3 of 4
For Period 1/01/09 to 31/03/09

Valuation No 15292-12300

Property No 16786

Legal Description
LOT 2 DP 76027 CT F1/217

Property Location
7 Forest Lane, Raumati South

Property Details
Area 436 sq m
Land Value \$170,000
Capital Value \$310,000
Date of Valuation 01/08/05

Rating Category Urban

GST Content of this Invoice \$59.79

Any portion of the current instalment remaining unpaid after 4 March 2009 will incur a 10% penalty

STATEMENT OF ACCOUNT

Description	KCDC	GWRC	TOTAL
Opening Balance (as at 1 July)	0.00	0.00	0.00
Annual rates (as at 1 July)	1,884.15	268.20	2,152.35
Payments Received this year	942.05CR	134.10CR	1,076.15C
Penalties charged this year*	0.00	0.00	0.00
Adjustments/remissions made this year	0.00	0.00	0.00
Balance Remaining (to 30 June)	942.10	134.10	1,076.20
Current instalment	471.05	67.05	538.10

Amount Due by 4 March 2009 \$538.10

Payments received after 22 January 2009 are not included in this statement
Amount Due is made up of the current instalment plus any amount still unpaid from the previous invoice (including any late payment charges).

* All Rates are GST Inclusive – except for any Penalties applied, as detailed above.
For payments by post the next Instalment Invoice will be the official receipt
DIRECT DEBIT ARRANGEMENT - NO PAYMENT REQUIRED If you wish to cancel this arrangement please notify the Paraparaumu Rates Office in writing

DIRECT DEBIT - no payment is required

Send payment to Kapiti Coast District Council, Private Bag 601, Paraparaumu 5254

Remittance Advice

Ratepayer Stephens Murray John
Pointon Sacha Renee

Valuation No 15292-12300

Total Due Pay by: 4 March 2009

Please include this slip with your payment

Instalment No. 3 of 4

DIRECT DEBIT - no payment is required

\$ 538.10

Amount Paid \$

Please advise any change of address on the reverse of this form.
For Rates Information please see reverse.



PS2690

S002586



\$1800

Permit -

\$194

RECEIVED
7 0 FEB 2009
BY:



Application for a Building Consent and/or Project Information Memorandum

Section 33 or section 45, Building Act 2004

Send or deliver your application to: Kapiti Coast District Council, Building Control Department, Private Bag 601, Paraparaumu, 175 Rimu Rd, Paraparaumu. For enquiries, phone(04)9045617

Council Use Only:

Application #

090137.

Property ID

1529212300

Minor Works

I request that you issue a Project Information Memorandum Building Consent for the building work described in this application.

Consent/Project Information Memorandum to be Mailed Collected

RECEIVED
0 6 MAR 2009
KAPITI COAST DISTRICT COUNCIL

The Building

[Project Location]

Residential / Roomah

Street address of building:

7 Forest Lane
Raumati South, Paraparaumu

Legal description of land where building is located:

[State legal description as at the date of application and, if subdivision is proposed include details of relevant lot numbers and subdivision consent]

7 Forest Lane
Raumati South, Paraparaumu.
LOT 2 DP 76007

Building name:

Location of building within site: [include nearest street access]

Number of levels: [include ground level and any levels below ground]

2

Level/Unit Number: [if applicable]

Area:

Existing floor area:

New floor area:

Total floor area:

Current, lawfully established, use: [include number of occupants per level and per use if more than 1 level]

Year first constructed: [insert year, approximate date is acceptable]

1935.

e.g: c 1920s or 1960-1970]

The Project

Description of the building work [provide sufficient description of building work to enable scope of work to be fully understood]

Install of Woodfire Clean Air ECAN approved.
(No Wetback)

Will the building work result in a change of use of the building?

Yes No

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):

[state estimated value as defined in section 7 of the Building Act 2004]

\$ 1800

If yes, provide details of the new use:

List building consents previously issued for this project (if any):

[list who issued the consent, the date of issue and the consent number]

15 yrs ago - previous

Intended life of the building if less than 50 years:

Does the building or site have any cultural heritage significance, or is it a marae?

[refer to District Plan] Yes No

PDW/C49077

The Owner

[must be completed for all applications and all details must be the owners]

Name of Owner: [include preferred form of title, eg, Mr, Miss, Dr if an individual and the contact persons name if a company, trust or similar]

Mr. Murray Stephens

Owner's mailing address:

7 Forest Lane
Raumati South
Paraparaumu

Street address/Registered office:

7 Forest Lane
Raumati South
Paraparaumu

Owner's contact details:

Landline: 04 299 1488
Facsimile number: 04 299 1488
After hours: 04 299 1488

Mobile: Shelly - 021 455 448
Email: m-stephens@xtva.co.nz

Proof of ownership: [please attach one of the following as evidence, as appropriate to the circumstances]

Copy of certificate of title, no more than 3 months old Lease Agreement for sale and purchase

Rates copy included.

Agent

[only required if application is being made on behalf of the owner]

Name of Agent: [include the contact persons name if a company, trust or similar]

Agent's mailing address:

Street address/Registered office:

Agent's contact details:

Landline: _____
Facsimile number: _____
After hours: _____

Mobile: _____
Email: _____

First point of contact

Owner Agent Other _____

Phone _____

Signed by the owner

Signature: *Murray Stephens*
Name: Murray Stephens
Date: 17/2/09

OR

Signed by the agent [on behalf of, or with authority from, the owner]

Signature: _____
Name: _____
Date: _____

Privacy Information

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to regularly forward these to Statistics NZ. The Council stores the information on a public register which must be supplied (as previously determined by the Ombudsman) to whomsoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

Council use only:

Contacts

[Provide all details where relevant]

Builder:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Drainlayer:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Plumber

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Other:

Business/name: Laser Plumbing
 Address: Po Box 612 Paraparaumu
 Daytime: 04 9027586 Mobile: 021 455448
 After hours: 021 455448 Facsimile: 04 9027585
 Registration/qualification: Registered Plumber
Craftier.

Building Consent

[Delete this section if this is an application for a project information memorandum only]

The following plans and specifications are attached to this application:

- specifications plans
 other _____ please specify

[All plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority]

The building work will comply with the building code as follows:

Clause [which of the following clauses will be involved in the proposed work?]	Means of compliance [refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications]	Proposed Inspections [state means of inspection. Note PS4s or certification may be required]
Freestanding/inbuilt fire appliance		
<input checked="" type="checkbox"/> B1 Structure	<input type="checkbox"/> B1/AS2 <input checked="" type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS4203	<input checked="" type="checkbox"/> Council <input type="checkbox"/> Engineer
<input checked="" type="checkbox"/> B2 Durability	<input type="checkbox"/> NZS4229 <input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Other _____ [specify]
<input checked="" type="checkbox"/> C1-4 Fire	<input type="checkbox"/> B2/AS1 <input checked="" type="checkbox"/> NZS3101 <input type="checkbox"/> NZS3602	<input checked="" type="checkbox"/> Council <input type="checkbox"/> Engineer
<input checked="" type="checkbox"/> E2 External moisture	<input type="checkbox"/> NZS3604 <input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Other _____ [specify]
Plumbing and Drainage	<input type="checkbox"/> C/AS1 <input type="checkbox"/> Other <u>2018</u> [specify]	<input checked="" type="checkbox"/> Council <input type="checkbox"/> Engineer
<input type="checkbox"/> E1 Surface water	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> Specific design and testing	<input type="checkbox"/> Other _____ [specify]
<input type="checkbox"/> E3 Internal moisture	<input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council <input type="checkbox"/> Engineer
<input type="checkbox"/> G10 Piped services	<input type="checkbox"/> D1/AS1 <input type="checkbox"/> AS/NZS3500.2 <input type="checkbox"/> AS/NZ3500.5	<input type="checkbox"/> Other _____ [specify]
<input type="checkbox"/> G11 Gas as an energy source	<input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council <input type="checkbox"/> Engineer
<input type="checkbox"/> G12 Water supplies	<input type="checkbox"/> E3/AS1 <input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Other _____ [specify]
<input type="checkbox"/> G13 Foul water	<input type="checkbox"/> G10/AS1 <input type="checkbox"/> NZS261	By certification only
<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> Other _____ [specify]	By certification only
<input type="checkbox"/> G15 Solid waste	<input type="checkbox"/> G11/AS1 <input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council
	<input type="checkbox"/> G12/AS1 <input type="checkbox"/> AS/NZS3500.2 <input type="checkbox"/> AS/NZS3500.5	<input type="checkbox"/> Other _____ [specify]
	<input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council
	<input type="checkbox"/> G13/AS1 <input type="checkbox"/> AS/NZS3500.2 <input type="checkbox"/> BS5572	<input type="checkbox"/> Other _____ [specify]
	<input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council
	<input type="checkbox"/> G14/AS1 <input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Other _____ [specify]
	<input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council
	<input type="checkbox"/> G15/AS1 <input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Other _____ [specify]
	<input type="checkbox"/> Other _____ [specify]	<input type="checkbox"/> Council
		<input type="checkbox"/> Other _____ [specify]

Waiver/modification to NZ Building Code required for following parts of code:

Application for Code Compliance Certificate

Section 92, Building Act 2004

Send or deliver your application to: Kapiti Coast District Council, Building Control Department,
Private Bag 601, Paraparaumu, 175 Rimu Rd, Paraparaumu.
For enquiries, phone(04)9045617

Council Use Only:

Application #

Property ID

The Building Consent

Street address of building:

7 Forest Lane
RANMATI South

Building Consent Number:

090157.

Issued by:

The Owner

Name of Owner: [include preferred form of title, eg, Mr, Miss, Dr, if an individual and the contact persons name if a company, trust or similar]

MURRAY Stephens

Owners Mailing address:

Street address/Registered office:

Owners details:

Landline: 042991488

Mobile: 0275555622

Facsimile number: 042991488

Email:

After hours:

Proof of ownership

copy of certificate of title, no more than 3 months old lease Agreement for sale and purchase

Agent

[only required if application is being made on behalf of the owner]

Name of Agent: [include the contact persons name if a company, trust or similar]

MARK SCATFE LASER PLUMBING

Agent's mailing address:

LASER PLUMBING
P.O Box 612
Paraparaumu

Street address/Registered office:

Agent's contact details:

Landline: 9027586

Mobile: 021455948.

Facsimile number:

Email:

After hours:

First point of contact

Owner Agent Other _____ Phone _____

Application

All building work to be carried out under the above building consent was completed on _____

The personnel who carried out the building work are as follows:

[Please cross out any that are not applicable to this project]

Concreter:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Joiner:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Tanking applicator:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Plasterer/textured coater:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Gasfitter:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____

Electrician:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____

Plumber:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____

Drainlayer:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____

Carpenter:

Business/name: _____
Address: _____
Daytime: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____

Brick/Block layer:

Business/name: _____
Address: _____
Daytime: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____

Deck/roof membrane applicator:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Roofer:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Concealed fascia installer:

Business/name: _____
Address: _____
Landline: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Others:

Business/name: LADON PLUMBING
Address: PO BOX 612 RM
Landline: 04 9027586 Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to : [state which address, and whether owner or agent]

Signatures

Signed by the owner

[Signature]

OR Signed by the agent

[on behalf of, or with authority from, the owner]

Attachments

The following documents are attached to this application:

- Certificates from the personnel who carried out the work
- Certificates that relate to the energy work [ie. gas, electricity]
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent.

Compliance Schedule

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing standards set in the building consent:

<input type="checkbox"/> There are no specified systems in the building	
Automatic systems for fire suppression (for example, sprinkler systems)	<input type="checkbox"/>
Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="checkbox"/>
Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>
Means of access and facilities for use by persons with disabilities which meet the requirements of section 118	<input type="checkbox"/>
Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>
Lifts, escalators, travelators or other systems for moving people or goods within buildings	<input type="checkbox"/>
Any automatic back-flow preventer connected to a potable water supply	<input type="checkbox"/>
Emergency power systems for, or signs relating to, a system or feature specified	<input type="checkbox"/>
Such signs as are required by the Building Code or by section 120	<input type="checkbox"/>
Cable Car (including to individual dwelling)	<input type="checkbox"/>
Escape route pressurisation systems	<input type="checkbox"/>
Mechanical ventilation or air-conditioning systems	<input type="checkbox"/>
Safety barriers	<input type="checkbox"/>
Laboratory fume cupboards	<input type="checkbox"/>
Audio loops or other assistive listening systems	<input type="checkbox"/>
Emergency lighting systems	<input type="checkbox"/>
Riser mains for Fire Service use	<input type="checkbox"/>
Means of escape from fire	<input type="checkbox"/>
Hand-held hose reels for fire fighting	<input type="checkbox"/>
Smoke control systems	<input type="checkbox"/>



Inspection Advice

Commencing 1 July 2004 Kapiti Coast District Council Building Control has introduced additional inspection requirements primarily to cover the exterior envelope of buildings to ensure compliance with Clause E2 of the Building Code.

The following list provides an explanation of when the 'normal' inspections and those new ones should be carried out. (* indicates new inspection.)

1. **Foundation Inspection:** When all formwork has been completed, footings have been excavated and reinforcement is in place.
2. **Sub-floor Inspection (timber suspended floor):** When all sub-floor connections, joists and required blocking have been completed but before any flooring or base boards have been fitted. Relocated dwelling require a sub-floor inspection prior to the base boards being fitted.
3. **Pre-slab plumbing Inspection (concrete slab):** When all plumbing and drainage pipes have been installed prior to backfilling.
4. **Pre-slab building Inspection (concrete slab):** When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.
5. **Pre-block-fill Inspection:** When all masonry block work is completed, reinforcing in place and washout openings in place.
6. *** Pre-wrap Inspection:** When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.
7. *** Post-wrap Inspection:** When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity system) cavity closers and all flashing systems are in place, but before joinery has been installed.
8. *** Post-clad Inspection:** When exterior cladding has been installed, flashings in place, air-seals fitted to openings, but before any coating system has been applied.
9. **Pre-stucco Inspection:** After the post-wrap inspection and when all the reinforcing and flashings are in place.
10. **Brick veneer Inspection:** When veneer is at half-height and all flashings are in place.
11. **Pre-line Inspection (plumbing):** When all internal plumbing is complete and plumbing pipe work is under pressure test (when required).
12. **Pre-line Inspection (building):** When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.
13. **Post-line Inspection:** When all interior linings have been installed.
14. **Waste water drain Inspection:** When all drainage work is complete, drain under test and as-built drawing available.
15. **Final Inspections:** Final inspections carried out at completion of project and may include, entire project, plumbing, drainage, stormwater.

COUNCIL COPY

Building Consent Number : 056201
 Applicant Name : Name M Stephens
 Project : Garage and living area extension
 Location : ** 7 Forest Lane, Raumati South
 Legal Description : LOT 2 DP 76027 CT F1/

Please note the list below, which identifies the inspections required for this project. To ensure that a Code Compliance Certificate can be obtained at completion of your building project, these inspections must be carried out.

It is your responsibility to advise Council, giving 24 hours notice, when your project has reached the stage identified on the adjacent page to enable the inspection to be scheduled. This can be arranged by contacting Council on 04-9045-617 between the hours of 7.30am and 5.30pm Monday- Friday inclusive. Close off for booking inspections is 4.30pm on the day prior to the requested inspection.

Inspection	Required	Inspecting Officer	Date Inspected
Foundation	Yes	R/Ch	3/4/2006
Sub-floor	No		
Pre-slab Plumbing	No		
Pre-slab Building	Yes	R/Ch	6/4/2006
Pre-block-fill	No		
Pre-wrap	Yes	M Broth	22/5/06
Post wrap	Yes	R/Ch	23/6/2006
Post-clad	Yes	R/Ch	31/7/2006
Pre-stucco	No		
Brick veneer	No		
Pre-lining (plumbing)	No		
Pre-lining (building)	Yes	R/Ch	4/7/2006
Post-lining	Yes	R/Ch	31/7/2006
Waste Water Drain	Yes		
Final Inspection	Yes		

*Part only front half of Building
 after 24/5.*

FINAL INSPECTION

Date 21/11/2007 SR or BCA 056201 Inspection No. Final

Time 11:00 AM Documents on site YES / NO

Owner Name Sturkies Project Description 1st & 2nd Fls

Site Address 7 Forest Lane, Raumati South

All inspections are carried out with strict reference to the building consent granted.
P = Pass F = Fail NA = Non-Applicable
 Inspection decisions are based on the extent of work inspected at the time of inspection.
 Please refer to the related scope sheet for definition of the inspections extent.

Applicable to all inspections *Have been*

Sighted previous inspection notes	<input checked="" type="radio"/> Y	<input type="radio"/> N	<input type="radio"/> NA	Conforms with approved drawings	<input checked="" type="radio"/> Y	<input type="radio"/> N	<input type="radio"/> NA	Confirm Additional information/amended plan	<input type="radio"/> Y	<input type="radio"/> N	<input checked="" type="radio"/> NA
-----------------------------------	------------------------------------	-------------------------	--------------------------	---------------------------------	------------------------------------	-------------------------	--------------------------	---	-------------------------	-------------------------	-------------------------------------

FINAL - Exterior

Sub-floor ventilation	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA	Roof fixings	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Spouting + Down-pipes	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Deck Structure	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA	Flashings - Roof	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Penetrations - Flashings	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Barriers	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA	Gully Dishes	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Storm-water + site drainage	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Handrails	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA	Wastes to gully	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Fixings - Durability	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Steps/Stairs	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA	Terminal vents/AAV's	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Cladding painted/sealed	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Flashings - Windows/Doors	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Cladding Ground Clearance	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA		<input type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA

FINAL - Interior

Service areas - floors/walls	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Food storage	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Hot water temp <u>55°</u>	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Stair design	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Ventilation	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Solid fuel heater	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA
Handrails <i>Glass</i>	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Insulation + clearance	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Water supply tank	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA
Balustrades	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	HWC flues	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA	Trap seals + AAV's	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Lightings	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	HWC valves	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Cistern flushing	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Laundering	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	HWC restraint	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	WC pan connection	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
Cooking facilities	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Tempering valve	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Septic tank	<input type="radio"/> P	<input type="radio"/> F	<input checked="" type="radio"/> NA
Smoke detectors	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Glazing - Human Impact	<input type="radio"/> P	<input checked="" type="radio"/> F	<input type="radio"/> NA	Window labels	<input checked="" type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA

FINAL - Intertenancy/Commercial

Fire/Life systems sighted	<input type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Guarantees/Warranties/Certificates/Expert Opinion	<input type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Intertenancy STC	<input type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA
---------------------------	-------------------------	-------------------------	--------------------------	---	-------------------------	-------------------------	--------------------------	------------------	-------------------------	-------------------------	--------------------------

All Inspections

Road Crossing Complete	<input type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Energy Certificates supplied <i>Attached Attached</i>	<input type="radio"/> P	<input type="radio"/> F	<input type="radio"/> NA	Final Check Complete	<input checked="" type="radio"/> Y	<input type="radio"/> N
------------------------	-------------------------	-------------------------	--------------------------	---	-------------------------	-------------------------	--------------------------	----------------------	------------------------------------	-------------------------

14/12/07

Officer Sign:  Name: Tony King Date: 5 12 07

SCOPE OF INSPECTION SHEET

Date 21/11/2007 SR or BCA 056201 Inspection No. Final

Time 11:00 am Documents on site YES/NO

Owner Name Stephens Project Description Alts & Adds

Site Address 7 Forest Lane Raumati South

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

Notes All Surfaces Have Been Sealed interior and exterior Water Temp at 55 Stairs and Handrail Comply Food Storage and Cooking Complies Hot Water Cylinder Rustains in Place All Valves in Place Storm Water to Soak Pits Ruckack to Glass Required

Diagram (if necessary)

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued P.S.A From Engineer Safety Glass to Bedroom Windows West Facing

PRODUCERS STATEMENT FOR WATER PROOFING TO FIRST FLOOR SHOWER

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder Owner Other No One on site

Your next inspection will be Ruckack Required

Agreed, MURRAY STEPHENS Sign Date 21/11/07

Officer sign Name Tony King Date 21/11/07

Additional Insp. Sheet No.

Information entered into data base Initial Date

SCOPE OF INSPECTION

Inspections are made in conjunction with, and with the cooperation of, the owner/owner's agent to ensure that the building work complies with the provisions of the Building Act and NZ Building Code. The inspection is general in nature and involves an audit of the following aspects:

Engineer – Civil/Structural/Fire/Geotechnical: An engineer has been engaged to carry out inspections on behalf of the owner. Please ensure those inspections are carried out. A construction statement (PS4) is required to be supplied to Council.

Site: A surveyor's report, or visible boundary markers provided, so that the set out of the project can be clearly identified.

Foundation: When all formwork has been completed, footings have been excavated and reinforcement is in place.

Piles: When all holes are excavated prior to installation.

Pre-slab plumbing (concrete slab): When all plumbing and drainage pipes have been installed, prior to backfilling.

Pre-slab building (concrete slab): When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.

Sub-floor (timber suspended floor): When all sub-floor connections, joists and required blocking, and any suspended plumbing pipe work have been completed, but before any flooring or base boards have been fitted. Relocated dwellings require a sub-floor inspection prior to the base boards being fitted.

Drainage: When all drainage works is completed and is under test, before backfilling occurs. As laid drainage plan is required at time of inspection.

Pre-wrap: When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.

Pre-clad: When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity systems), cavity closers and all flashing systems are in place, but before joinery has been installed.

Post-clad: When exterior cladding has been installed, flashings in place, air seals fitted to openings, but before any coating system have been applied.

Pre-stucco: After the post-wrap inspection and when all the reinforcing and flashings are in place.

Pre-line (plumbing): When all internal plumbing is complete and plumbing pipe work is under test pressure.

Pre-line (building): When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.

Wet area membranes, decks, roofs and shower area: Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation.

Post application of wet area membrane.

Post-line: When all interior linings have been installed, but before skirting, Scotia or plastering stopping. Installation details of screws check of wall bracing element.

Block: When all masonry block work including block foundations for slab floors, is completed, reinforcing in place and washout openings in place.

Brick Veneer: When veneer is at half height and all flashings are in place.

Retaining wall: Pre application of waterproof membrane system.

Post application of waterproof membrane system.

Protection installed for membrane system and installation of perforated drainage system before back filling.

Final: Final inspections are carried out at the completion of the project and may include entire project, plumbing, drainage and storm water. The Code Compliance Certificate is issued if the building work complies with the approved building consent.

Free Standing Fireplace: Final inspection required only.

In Built Fireplace: Inspection required before installation and after installation.

PRIVACY STATEMENT

1. The information contained on the Building Inspection Report Sheet is held by the Kapiti Coast District Council, whose address is 175 Rimu Road, Private Bag 601, Paraparaumu.
2. The information is available for public inspection as part of the Building Record of the property concerned.
3. You have the right under the Privacy Act 1993 to obtain access to, and to request correction of any personal information held by Council concerning you.

Council has a Privacy Officer. If you have any concerns regarding privacy issues please telephone (04) 904 5700

Producer Statement
Piped Services
&
Sanitary Plumbing Stacks

Construction Review

Issued by A. Magee Registration Number 11601
To Kapiti Coast District Council

In respect to the following

Piped Services installed in accordance with G12/AS1 as shown on the approved plans or as per the attached amended plan and Sanitary Plumbing Stacks installed in accordance with G13/AS1 or AS/NZS 3500.2.2

Installed at 7 Forest Lane

Building Consent No. 76027

As a Craftsman plumber, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code. Both hot and cold systems have been pressure tested for a period of 15 minutes at a pressure of 1500 kPa.

Signed A. Magee Date 25/5/07

Producer Statement

Stormwater Drains

Construction Review

Issued by Jon Butler Registration Number 09061

To Kapiti Coast District Council

In respect to the following

Stormwater Drains installed in accordance with E1 AS1 as shown on the approved plans or as per the attached amended plan

Installed at 7 Forestlane Rannet South

Building Consent No. 76027

As a registered drainlayer, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code.

Signed.....Date 20/5/07

Note: Fully dimensioned as built drain plan to be supplied. (scale 1:100)

Producer Statement

Private Sewer Drains

Construction Review

Issued by Jon Bulter..... Registration Number 09061

To Kapiti Coast District Council

In respect to the following

Private Sewer Drains installed in accordance with G13 AS2 or AS/NZS 3500 .2.2 as shown on the approved plans or as per the attached amended plan

Installed at 7 Forestlane..... Ranunculus

Building Consent No. 76027

As a registered drainlayer, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code.

Signed [Signature]..... Date 20/5/07

Note: Fully dimensioned as built drain plan to be supplied. (scale 1:100)

Drains may be laid and backfilled without inspection provided that the drain is left under test with a min of 1.0 m head and the inspection at the lateral left exposed.



23 December 2005

FILE: RM050360

Murray Stephens
7 Forest Lane
RAUMATI SOUTH

Dear Murray

RM050360: LANDUSE CONSENT TO CONSTRUCT ADDITIONS TO AN EXISTING DWELLING AT 7 FOREST LANE, RAUMATI SOUTH (LOT 2 DP 76027).

As you will see from the Resource Consent there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may object and have the matter considered by Hearing Commissioners. This is done by lodging an objection in accordance with Section 357 of the Resource Management Act 1991. Please note that, if you do wish to object, you must advise the Resource Consents Manager within 15 working days from the date of receiving this consent.

There is no deposit for an objection. However, a fee of \$144.00 (including GST) is required if Council's Subdivisional Engineer is involved. Time and costs will also be charged unless waived by the Hearing Commissioners and if an objection is upheld the deposit will be refunded in full; if upheld in part then half the deposit will be refunded.

Please note also that this consent will expire within 5 years of the date of issue of this decision. You may apply for an extension of the consent before the consent lapses. Council may grant an extension if it is satisfied that the criteria set out in Section 125 of the Resource Management Act 1991 are met.

You are also advised that before development can take place, you will need to obtain all other necessary consents and permits, including those under the Building Act 2004, and comply with all relevant Council Bylaws.

If you have any concerns or enquiries about the conditions please do not hesitate to contact me on (04) 9045 - 831

Thank you for dealing with the Kapiti Coast District Council.

Yours faithfully

A handwritten signature in black ink, appearing to read "A. Robinson", written over a horizontal line.

Aidan Robinson
RESOURCE CONSENTS PLANNER

3. The proposal is not contrary to the Objectives and Policies of the Kapiti Coast District Plan.

DECISION: APPROVED

RM 050360

DATE: 23 December 2005

A handwritten signature in black ink, appearing to read 'Aidan Robinson', with a long horizontal flourish extending to the right.

Aidan Robinson

RESOURCE CONSENTS PLANNER

Chris Reynolds Tiling
8 Edgewater Street
WAIKANAE
Phone: 0275-491-484 or A/H (04) 902-4227



23 November 2007

Murray Stephens
7 Forest Lane
Raumati

Job: 7 Forest Lane Raumati

WATERPROOFING SHOWER CUBICLE

Waterproofing to bathroom shower floor & walls

Materials Used:

Primed gib aqualine walls & hardie sheet floor

2 coats of waterproofer - Construction Chemicals Liquid Flash to floor and walls.

All internal corners reinforced with bond breaking tape, reinforcing tape and silicon.

5 Year Workmanship Guarantee.

A handwritten signature in black ink, appearing to read 'Chris Reynolds'.

CHRIS REYNOLDS

Manufacturer's 15 Year Guarantee

- ◇ *Construction Chemicals manufacture products throughout Australia, Asia and New Zealand and have over 25 years of manufacturing experience.*
- ◇ *We maintain a Research and Development laboratory that maintains and develops leading edge product technology*
- ◇ *We guarantee our Ceramic Tile Adhesives, Grouts and Waterproofing Membranes*

**When tiles are installed in accordance with AS 3958 - part 1 and waterproofing installed in accordance with AS3740 in conjunction with Construction Chemicals written application instructions, and good trade practises and any relevant instructions, Construction Chemicals (NZ) Ltd guarantee the performance of it's Ceramic Tile Adhesives, Grouts and Waterproofing Membranes applied to structurally sound surfaces.*

*The guarantee is for a 15 (fifteen) year period from the time of application and covers only the cost of materials and labour of the original installation when the product is proven and acknowledged to be faulty**

**CONSTRUCTION
CHEMICALS**

Adelaide, Brisbane, Melbourne,
Sydney, Auckland, Kuala Lumpur,
Perth.

Dribond



Electrical Certificate of Compliance

No. **2028157**

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer **MURRAY STEVEN'S** Phone: **0275555622**

Address of installation **FOREST LANE, RAUMATI STA.**

Postal address of customer (if not as above)

WORK DETAILS

33 No. of lighting outlets No. of ranges
25 No. of socket outlets No. of water heaters
 Was any installation work carried out by the homeowner? Yes No

Please tick (✓) as appropriate where work includes:
 Mains Main earthing system
 Switchboard Electric lines

Description **RELOCATE METER BOX**
NEW EXTENSION

It is recommended that test results be recorded here:

Visual Examination
 Earth Continuity
 Bonding
 Polarity
 Insulation Resistance **71000** Mohm
 Other

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name **SHAWN O'LEARY**
 Registration no. **E17118**
 Company **O'LEARY ELECTRICAL**
 Signature **S. O'LEARY**
 Date **1-6-06**
 Contact Ph. No. **027-2755400**

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name
 Registration no.
 Company
 Signature
 Date
 Contact Ph. No.

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

New mains Switchboard Earthing system Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name **AD STEWART GWERF** Registration no. **I 2866**
 Signature **[Signature]** Date **1-6-06**
 Contact Ph. No.

Dribond LIQUID FLASH

WATERPROOFING MEMBRANE

DESCRIPTION

LIQUID FLASH is a premixed one pack white waterbased reinforced acrylic flexible waterproofing membrane that is easily applied with a brush to form a resilient waterproof flashing/membrane between different building surfaces. LIQUID FLASH will remain pliable and elastic and will bridge cracks and smooth irregular surfaces.

LIQUID FLASH has Certificate of Conformity No. 97/003 and ABSAC appraisal No. 209 for use in internal wet areas. Internal wet areas must be waterproofed in accordance with AS3740 and local regulations. For more details refer to brochure titled "Waterproofing Enclosed Shower Alcoves Prior to Tiling with Liquid Flash".

USES

A waterproof membrane for roofs, balconies, retaining walls, planter boxes, internal wet areas (eg bathrooms, kitchens, laundries and toilets). A flashing material for roof vent pipes, parapet walls and roof sheeting/tiles. For use on cement render, concrete, brick, block and building boards such as gypsum and cement sheeting on walls and structural timber and compressed cement sheeting on floors, roof and gutter repairs.

FEATURES

- Easy to apply – apply straight from the bucket.
- Permanently flexible reinforced membrane.
- Excellent UV Light resistance.
- Excellent adhesion to correctly prepared surfaces.
- Bridges cracks
- Colour – White and can be overpainted with waterbased acrylic paints to colour match surroundings.

COVERAGE (approximate)

Two coats give a final coverage of 1.4 L/m² (dry film thickness of 1.5mm).

PERFORMANCE DATA

Weather Resistance Slight chalking after over 5000 hours QUV

Moisture Vapour Transmission 0.001 perms-cm when tested in accordance with ASTM: E96-66

RECEIVED
23 NOV 2007
Terette

Attn Tony King

From Murray Stephens
7 Forest Ranmati Str



NEW ZEALAND STEEL
and Wellington Lightweight Roofing

RESIDENTIAL WARRANTY & MAINTENANCE REQUIREMENTS



PROPERTY OWNER: Shelley Mitchell
SITE ADDRESS: 7 Forest Lane
Raumati South
Paraparaumu

SITE ENVIRONMENT:
Severe

DATE OF SUPPLY TO SITE: 17/05/06

You have chosen high quality COLORSTEEL® Maxx™ pre-painted steel products, which are designed to give you protection well into the future. The terms and conditions of this warranty are detailed below. To ensure you gain maximum value from your investment over time, the maintenance program under Maintenance specified on the reverse **MUST BE STRICTLY ADHERED TO:**
This warrants the following material: Lift No: P289303

	Roofing	Cladding	Gutter	Fascia
Will not perforate through corrosion:	20 Years	0 Years	0 Years	0 Years
Will not flake, peel or excessively fade:	15 Years	0 Years	0 Years	0 Years

The product manufactured from COLORSTEEL® Maxx™ is subject to normal wear and tear, which may include uniform fading, chalking and dirt collection. Minor white corrosion, which may appear at unwashed tension bends or cut edges, is a natural weathering phenomenon of COLORSTEEL® Maxx™ and does not constitute a failure of the coating system. Testing to determine coating performance will be in accordance with the methods described in Australian Standard AS1580.

Unless New Zealand Steel has agreed in writing to extend the warranty for this particular installation, the warranty does not cover failure of the material or the coating caused by any of these events:

- chemical pollutants in atmosphere or rainwater
- underside corrosion as a result of high humidity, condensation or pollution generated within a building
- the product having been inappropriately stored prior to installation
- installation which does not comply with recommendations given in New Zealand Steel's product data sheets, or the NZ Metal Roof and Wall Cladding Code of Practice current at the time
- physical damage during or after installation, including scratching, contact with other metal items, incorrect installation of external loads such as air-conditioning units, and failure to remove swarf.
- contact with water run-off from incompatible catchment materials, including copper, lead and masonry
- water entrapment or ponding for any reason
- causes beyond the control of New Zealand Steel, including storms, earthquakes, and actions by other persons
- mechanical, chemical or other damage caused after the product has left the control of New Zealand Steel.
- failure to maintain the product in line with New Zealand Steel's maintenance recommendations.

*Environment zones are described in detail in the New Zealand Steel Information Bulletin Environmental Categories. If you live within 100 metres of the sea or in an area with a corrosive environment you should check these Categories.

If COLORSTEEL® Maxx™ pre-painted steel has failed to perform as warranted, New Zealand Steel will at its sole option repair or replace (including labour) the affected material. A new warranty will be issued to cover the balance of the original offer for both the paint coating and perforation protection. The roofing manufacturer named below will not be liable for any consequential loss or damage except as may be required under any mandatory statutory provisions. Nothing in this warranty is intended to exclude or limit any rights consumers may have under the Consumer Guarantees Act 1993.

This roof was installed by: Wellington Lightweight Roofing Ltd
And carries the installers workmanship warranty for: 20 Years
Signature of Installer: [Signature]

A copy of the current COLORSTEEL® Maxx™ colour chart has been provided:

Signature of property owner or agent: [Signature] Date: 30/1/07

PLEASE RETURN A SIGNED COPY OF THE WARRANTY TO THE ROOFING MANUFACTURER

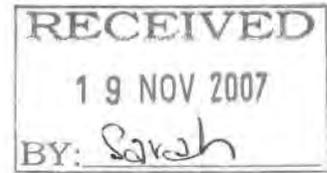
* Part info recd
* Final booked for 21 Nov 07.



Application for Code Compliance Certificate

Section 92, Building Act 2004

Send or deliver your application to: Kapiti Coast District Council, Building Control Department, Private Bag 601, Paraparaumu, 175 Rimu Rd, Paraparaumu. For enquiries, phone (04)9045617.



The Building Consent

Building Consent Number:

056201

Issued by:

KAPITI COAST DISTRICT COUNCIL

The Owner

Name of Owner: [include preferred form of title, eg, Mr, Miss, Dr, if an individual]

MR MURRAY STEPHENS

Contact Person: [only required if different from owner]

Mailing address:

7 FOREST LANE
RAUMATI SOUTH

Street address/Registered office:

7 FOREST LANE
RAUMATI SOUTH

Contact details:

Landline: 042991488

Mobile: 027 5555622

Daytime: 027 5555622

After hours:

Facsimile number: 042991488

Email: m-stephen@xtel.co.nz

Please attach one of the following as evidence of ownership to this application:

copy of certificate of title, lease, agreement for sale and purchase, or other document no older than 3 months showing full name of legal owner(s) of the building

Agent

Name of Agent: [only required if application is being made on behalf of the owner]

Contact Person:

Mailing address:

Street address/Registered office:



RESOURCE CONSENT NUMBER: RM050360

That Officers acting under Delegated Authority from Council and pursuant to Section 104B of the Resource Management Act 1991 **GRANT** consent to the proposal for construction of additions at 7 Forest Lane, Raumati South, being Lot 2 DP 76027, subject to the following conditions:

1. The consent holder shall notify the Council's Compliance Officer in writing **48 hours** before the consent is carried out. The consent holder shall fill out and return (by fax 04 9045815 or post Private Bag 601, Paraparaumu) the form attached to the decision letter.
2. That the consent holder shall pay to the Kapiti Coast District Council the actual and reasonable costs associated with the monitoring of conditions [or review of consent conditions], or supervision of the resource consent as set in accordance with Section 36 of the Resource Management Act 1991. These costs* may include site visits, correspondence and other activities, the actual costs of materials or services, including the costs of consultants or other reports or investigations which may have to be obtained.

*Please refer to Kapiti Coast District Council's current schedule of Resource Management fees for guidance on the current hourly rate chargeable for Council's staff.

3. The proposal shall be in accordance with the plans by Designscape Shark Bait Limited, titled: 'Stephens House: 7 Forest Lane – Raumati South: Proposed Additions' Plan number 2150-01, Sheets 1-4 of 8 and stamped 'Final Approved Plans' on 23/12/05 and other information submitted with the application RM050360.

ADVICE NOTES:

1. This resource consent is not a consent to build. Such consent must be obtained under the Building Act 2004 prior to commencement of construction.
2. Rights of objection to the conditions specified above may be exercised pursuant to Section 357(2) by the consent holder. Any objection shall be made in writing, setting out the reasons for the objection within 15 working days of this notification or within such extended period as the Council in any special case may allow.

REASONS FOR DECISION:

1. The effects on the environment of the activity are considered to be no more than minor.
2. Parties that may be adversely affected by the proposal have given their written approval.

Kapiti Coast District Council

Phone (04) 904 5700, Fax (04) 904 5830 175 Rimu Road, Private Bag 601, Paraparaumu. Website www.kapiticoast.govt.nz

WGTN Region Council's Partnership - Scope of Inspection Sheet

Date 22/5/06 SR or BCA 056201 Inspection No. 1

Time Documents on site YES / NO

Owner Name Project Description

Site Address 7 Forest Lane Raumati

Building Plumbing

Circle appropriate Type & Inspection Other:

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

- All Purlins screwed
- All rafters secured & strapped
- Due to nature of extension rear of house yet to be framed

Diagram (if necessary)

Pre wrap in stages front half
Part inspection

Photo's taken - Nos. saved/scanned? Y / N

Site instruction issued.....

Result Pass Part pass Fail

Confirmation of inspection by person on site

Person on site Builder Owner Other No One on site

Your next inspection will be.....
(Guidance notes for inspection on the rear of this sheet)

Agreed, Sign Date.../.../.....

Officer sign [Signature] Name Russell Beck Date 22/5/06

Additional Insp. Sheet No.

Information entered into data base initial date.../.../.....

PRE WRAP / PRE CLAD

Date..... SR or BCA..... Inspection No.
 Time Documents on site YES / NO
 Owner Name Project Description.....
 Site Address.....

All inspections are carried out with strict reference to the building consent granted.
P = Pass F = Fail NA = Non - Applicable
 Inspection decisions are based on the extent of work inspected at the time of inspection.
 Please refer to the related scope sheet for definition of the inspections extent.

Applies to all inspections

Sighted previous inspection notes	Y	N	A	Conforms with approved drawings	Y	N	A	Confirm additional information/amended plan	Y	N	A
-----------------------------------	---	---	---	---------------------------------	---	---	---	---	---	---	---

PRE WRAP

Cladding type identified	P	F	A	Exterior sheet bracing & angle brace fixing	P	F	A	Bracing requirements	P	F	A
Framing moisture meets cladding requirements.....%	P	F	A	Bottom plate connections	P	F	A	Purlin fixing	P	F	A
Stud spacing appropriate for cladding	P	F	A	Building wrap type <i>frame of cavity</i>	P	F	A	Decking substrate	P	F	A

PRE CLAD

Building wrap	P	F	A	Building wrap	P	F	A	Head flashings	P	F	A
Flexible sealing tape type.....				Flexible sealing tape	P	F	A	Sill flashings	P	F	A
Deck membrane type.....				Deck membrane fixed in accordance with Spec	P	F	A	Back flashings	P	F	A
Saddle flashings	P	F	A	Internal/external corner flashings	P	F	A	Jamb flashings	P	F	A
Capillary clearances	P	F	A	Flashing of penetrations	P	F	A	Ground/deck cladding clearance	P	F	A

CAVITY SYSTEM

Additional strapping to wrap	P	F	A	Batten timber treatment	P	F	A	Cavity closers	P	F	A
Battens in place	P	F	A	Battens structural fixing	P	F	A	Cavity spacers	P	F	A
Cavity spacers size & slope	P	F	A	Reinforcing fixed in place (stucco)	P	F	A	Proprietary self spacing mesh	P	F	A
Mesh spacers (stucco)	P	F	A	Proprietary control joints (stucco)	P	F	A	Rigid backing type (stucco)	P	F	A
Fixings (galvanized or stainless) (stucco)	P	F	A		P	F	A		P	F	A

Officer Sign: _____ **Name:** _____ **Date:**/...../.....



SITE INSPECTIONS - BC 056201

Application Details

Applicant Name :	Name M Stephens
Contact Address :	7 Forest Lane Raumati
Location :	** 7 Forest Lane, Raumati South
Legal Description :	LOT 2 DP 76027 CT F1/
Proposal :	Garage and living area extension

Landline

**WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED,
APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR**

FOUNDATIONS

Date: 3/4/2006 Officer: [Signature] Builder/Contractor/Owner:

Approved building consent documents on site: YES / NO

SITING:

Front yard	<input checked="" type="checkbox"/>	Left hand side yard	<input checked="" type="checkbox"/>	Conforms with approved plan	<u>YES</u> / NO
Rear yard	<input type="checkbox"/>	Right hand side yard	<input type="checkbox"/>	If no, has new site plan been requested	YES / NO
Minimum floor level	<input checked="" type="checkbox"/>	Footing size	<input checked="" type="checkbox"/>	Foundation wall reinforcing	<input type="checkbox"/>
Pile hole size	<input type="checkbox"/>	Footing reinforcing	<input checked="" type="checkbox"/>	Foundation wall size	<u>YES/NO</u>
Anchor pile size	<input type="checkbox"/>	Subfloor vents	<input type="checkbox"/>	Specific design	<u>YES/NO</u>
Pile hole spacing	<input type="checkbox"/>	Steps/stairs	<input type="checkbox"/>	If yes, has Engineer inspected	<u>YES/NO</u>

Has a **Site Instruction** been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

NOTED Piles Driven Previously -

PRE-SLAB

BUILDING

Date: 6/4/2008 Officer: [Signature] Builder/Contractor/Owner:

Minimum floor level

<input checked="" type="checkbox"/>

Mesh

<input checked="" type="checkbox"/>

DPC

Mesh chairs

Joints taped

Slab thickening

Penetrations

Bottom plate fixings

Specific design

Yes/No

If yes, has Engineer inspected

Yes/No

All OK

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required? Yes/No

Proposed date of follow up inspection

Labels in place? Yes/No

Producer Statement

Yes/No/NA

COMMENTS

Tick (✓) approved inspections

Cross (x) inspections not approved

Strike out inspections not applicable

PRE-WRAP INSPECTION

COMMENTS

25/5/2006 - PART (EXTENSION NORTH/EAST) OK
[Signature]

Post-Wrap Inspection

Direct Fixed Claddings (all types)

Element to Check	Hot tips	Comments	Pass	Fail
<i>Envelope</i>				
Timber moisture	Min 20% or as required by manufacturer		<input type="checkbox"/>	<input type="checkbox"/>
Building wrap	Fixed securely and appropriate for cladding type. Roofing underlay required for vertical profiled metal		<input type="checkbox"/>	<input type="checkbox"/>
Flexible sealing tape	Check for installation at top and bottom of openings. Minimum 100mm up opening and full width across. Check has not been over stretched		<input type="checkbox"/>	<input type="checkbox"/>
Head Flashings <i>If installed at time of inspection</i>	Compatibility checked. Flashing tape or second layer of building wrap in place. If flashing tape is used it must be compatible with building wrap		<input type="checkbox"/>	<input type="checkbox"/>
Sill flashings	Stop ends required. Flashing must extend under joinery to cover possibility of mitre's failing. Sill framing timber to be chamfered to accommodate sill flashing		<input type="checkbox"/>	<input type="checkbox"/>
Back flashings	Installed at critical junctions, internal corners, control joints, deck barrier/wall junctions		<input type="checkbox"/>	<input type="checkbox"/>
Capillary clearance	Wall framing to overhang by a minimum of 6mm.		<input type="checkbox"/>	<input type="checkbox"/>
Ground clearances	Fig 65. table 18		<input type="checkbox"/>	<input type="checkbox"/>

**Post-Wrap Inspection
Claddings Utilising Cavities (except stucco)**

Element to Check	Hot Tips	Comments	Pass	Fail
<i>Envelope</i>				
Building wrap	Fixed securely and appropriate for cladding type. Roofing underlay required for vertical profiled metal		<input type="checkbox"/>	<input type="checkbox"/>
Flexible sealing tape	Check for installation at top and bottom of openings. Minimum 100mm up opening and full width across. Check has not been over stretched		<input type="checkbox"/>	<input type="checkbox"/>
<i>Flashings</i>				
Head flashings	Must be installed prior to cladding. Compatibility checked. Stop ends required Flashing tape or second layer of building wrap in place. If flashing tape is used it must be compatible with building wrap		<input type="checkbox"/>	<input type="checkbox"/>
Back flashings	Installed at critical junctions, internal corners, control joints, deck barrier/wall junctions		<input type="checkbox"/>	<input type="checkbox"/>
Flashing of penetrations	Ensure penetrations such as air extract systems are flashed. Ensure penetrations fall to outside to prevent water tracking to rear of cavity. Confirm flashing materials comply with B2 for durability		<input type="checkbox"/>	<input type="checkbox"/>
Internal corners	Applies to weatherboards with or without a cavity, plywood without cavity, horizontal profiled metal, fibre cement with or without a cavity		<input type="checkbox"/>	<input type="checkbox"/>

Battens	H3 treatment Fixed securely No horizontal battens except at soffit level Cavity spacers (if reqd 100mm long, 50mm min gap, 5° slope. Additional support between battens		<input type="checkbox"/>	<input type="checkbox"/>
Element to Check	Hot Tips	Comments	Pass	Fail
Deck membranes	Deck membranes carried up behind cladding 150mm from deck Fig 62 E2/AS1		<input type="checkbox"/>	<input type="checkbox"/>
Cavity closures	In place with drainage provided		<input type="checkbox"/>	<input type="checkbox"/>
Ground clearances	Fig 65. table 18		<input type="checkbox"/>	<input type="checkbox"/>

**Post-Wrap Inspection
Solid Plaster (Stucco)**

Element to Check	Hot Tips	Comments	Pass	Fail
<i>Envelope</i>				
Building wrap	Fixed securely and appropriate for cladding type. Roofing underlay required for vertical profiled metal		<input type="checkbox"/>	<input type="checkbox"/>
Flexible sealing tape	Check for installation at top and bottom of openings. Minimum 100mm up opening and full width across. Check has not been over stretched		<input type="checkbox"/>	<input type="checkbox"/>
<i>Battens</i>				
H3 treatment	NZS 3602 H3.1		<input type="checkbox"/>	<input type="checkbox"/>
20mm minimum cavity spacing	Provide support for solid backing sheets. Cavity spacers to have correct fall, 50mm gap and 100mm in length		<input type="checkbox"/>	<input type="checkbox"/>
Spacing	Additional support required if battens exceed		<input type="checkbox"/>	<input type="checkbox"/>

	450mm spacing. (to prevent insulation pushing out into cavity)			
<i>Flashings to penetrations</i>				
	Confirm flashing details for elements that bridge cavity. E.g. air extraction systems		<input type="checkbox"/>	<input type="checkbox"/>
<i>Back flashings</i>				
	Back flashings to internal corners		<input type="checkbox"/>	<input type="checkbox"/>

Post-Cladding Inspection

Element to Check	Hot tips	Comments	Pass	Fail
<i>Fibre Cement Sheet</i>				
Sheet layout	According to manufactures requirements. If bracing elements ensure correct fixings are used (stainless steel)		<input type="checkbox"/>	<input type="checkbox"/>
External corners taped and supported			<input type="checkbox"/>	<input type="checkbox"/>
<i>EIFS</i>				
Sheets supported at bottom edge with proprietary moulding	PVC cavity closure		<input type="checkbox"/>	<input type="checkbox"/>
External corners properly supported	PVC corner moulding		<input type="checkbox"/>	<input type="checkbox"/>
<i>Flashings</i>				
Sill	Not required for cavity systems other than stucco		<input type="checkbox"/>	<input type="checkbox"/>
Jamb	Only applies to stucco		<input type="checkbox"/>	<input type="checkbox"/>
Head	Applies to all claddings Stop ends where appropriate		<input type="checkbox"/>	<input type="checkbox"/>
Saddle	Required for all junctions and penetrations		<input type="checkbox"/>	<input type="checkbox"/>
Junctions with other materials	Have flashings fitted that are compatible (Tables 21 & 22)		<input type="checkbox"/>	<input type="checkbox"/>
Flashings/Wraps	In place over parapets/barriers prior to placement of finishing systems		<input type="checkbox"/>	<input type="checkbox"/>
<i>All Systems</i>				
Sheet fixings	Nailed as per specifications. Sheets extend past bottom plate by minimum 50mm 10mm drip edge formed (Fig 18)		<input type="checkbox"/>	<input type="checkbox"/>
Ground clearances	Fig 65. table 18		<input type="checkbox"/>	<input type="checkbox"/>
Clearance off deck surface	35mm at highest point above deck/roof fig 62		<input type="checkbox"/>	<input type="checkbox"/>
Element to Check	Hot tips	Comments	Pass	Fail

Vertical control joints as required by system manufacturer	Sheets fixed correctly to allow for movement at control joint		<input type="checkbox"/>	<input type="checkbox"/>
Horizontal control joints as required by system manufacturer	Sheets fixed correctly to allow for movement at control joint		<input type="checkbox"/>	<input type="checkbox"/>
Window installation	Window flange cover 10mm minimum Will require measuring by either checking overall window frame size (outside flange to flange) minus frame opening, difference should be 20mm, or check for maximum clearance either side between frame and window reveal, should be no more than 5mm		<input type="checkbox"/>	<input type="checkbox"/>
Air seals	In place with PEF backing rod		<input type="checkbox"/>	<input type="checkbox"/>
Parapets, solid barriers etc.	Provision for cap flashings to parapets with flashing tape separation Have sloping tops minimum 10 degrees or as specified by manufacturer Cap flashing may be omitted for deck barriers. No top fixing of rail supports or other fixtures to barriers		<input type="checkbox"/>	<input type="checkbox"/>
Wall barrier junctions etc.	Flashed to main wall		<input type="checkbox"/>	<input type="checkbox"/>
Vermin proof to cavity	Cavity closer installed		<input type="checkbox"/>	<input type="checkbox"/>
Cavity sealed to roof/mid-floor space	Usually with horizontal batten		<input type="checkbox"/>	<input type="checkbox"/>
Unusual or complex areas of building envelope	Particular attention to detail reqd		<input type="checkbox"/>	<input type="checkbox"/>
Penetrations correctly managed	Fig 68 & 69 for pipes and meterbox		<input type="checkbox"/>	<input type="checkbox"/>

Apron flashings	Appropriate kick outs in place. Ensure material used will be suitably durable; refer table 20		<input type="checkbox"/>	<input type="checkbox"/>
Coating able to be applied behind spouting stop ends	Fascia and spouting systems to be installed after coating systems applied		<input type="checkbox"/>	<input type="checkbox"/>
<i>Solid Plaster (Stucco)</i>				
Proprietary control joints	Proprietary control joints avoid the need for control joint inspections after each plaster coat has been applied		<input type="checkbox"/>	<input type="checkbox"/>

Post-Clad Inspection (Stucco)

Element to Check	Hot Tips	Comments	Pass	Fail
<i>Rigid backing</i>				
Fibre cement sheet/fixing			<input type="checkbox"/>	<input type="checkbox"/>
H3 plywood/fixing			<input type="checkbox"/>	<input type="checkbox"/>
H3 diagonal sheathing/fixing			<input type="checkbox"/>	<input type="checkbox"/>
<i>Non-rigid backing</i>				
Support for backing			<input type="checkbox"/>	<input type="checkbox"/>
Allowable deflection			<input type="checkbox"/>	<input type="checkbox"/>
<i>Reinforcing mesh</i>				
Mesh type			<input type="checkbox"/>	<input type="checkbox"/>
Reinforced around openings			<input type="checkbox"/>	<input type="checkbox"/>
6-9mm spacers			<input type="checkbox"/>	<input type="checkbox"/>
Proprietary self-spacing mesh			<input type="checkbox"/>	<input type="checkbox"/>
Fixings	Confirm durability of fixings (double dipped galvanised or stainless steel)		<input type="checkbox"/>	<input type="checkbox"/>

Proprietary control joints	Proprietary control joints avoid the need for control joint inspections after each plaster coat has been applied		<input type="checkbox"/>	<input type="checkbox"/>
<i>Flashings</i>			<input type="checkbox"/>	<input type="checkbox"/>
Head flashings	Compatibility checked. Stop ends required Flashing tape or second layer of building wrap in place. If flashing tape is used it must be compatible with building wrap		<input type="checkbox"/>	<input type="checkbox"/>
Cavity closures	In place with drainage provided		<input type="checkbox"/>	<input type="checkbox"/>
Ground clearances	Refer fig 65 & table 18 E2/AS1		<input type="checkbox"/>	<input type="checkbox"/>

PRELINE

PLUMBING AND DRAINAGE: Plumber:

Date: Officer: Builder/Contractor/Owner:

Pressure test
 Visual leak check
 Pipe support/clips
 Pipe size
 Pipe material

Joint strain
 Pipe insulation
 Stacks
 Wastes
 Supply tank

Has a **Site Instruction** been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Preline Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

BUILDING

Date: 4/7/2006 Officer: R/O Builder/Contractor/Owner:

Timber treatment
 Ceiling diaphragm
 Dragon ties
 Studs - size/spacing
 Wall insulation
 Posts - size/fixing
 Lintels/bms - size/fixings
 Ext joinery - labels
 Ceiling runners
 Wall bracing
 Mech ventilation
 Moisture Content Walls 15-18 %

~~Bracing straps~~
 Timber grade
 Wall dwangs
 Trimming studs
 Truss/rafter - fix/space
 Ceiling joists
 Plate fixings
 Ventilation
 Ceiling battens
 Check exterior claddings
 Ceiling K-DRY %

Has a **Site Instruction** been issued? Yes/No Instruction No: VERBAL

Is a reinspection required? Yes/No Proposed date of follow up inspection

Preline Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

* Builder completing STRAPS to + BRACS DISCUSSED.

Tick (✓) approved inspections

Cross (x) inspections not approved

Strike out inspections not applicable

POSTLINE

Date: 3/7/2006 Officer: R/K Builder/Contractor/Owner:

Sheets nailed as per your schedule Insulation to walls

Has a **Site Instruction** been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Postline Label in place? Yes/No

COMMENTS

DRAINS

Drainlayer:

Date: Officer: Builder/Contractor/Owner:

Drain depth	<input type="checkbox"/>
Subsoil drains	<input type="checkbox"/>
Pipe material	<input type="checkbox"/>
Disposal field	<input type="checkbox"/>
Drains under building	<input type="checkbox"/>
Connection to main	<input type="checkbox"/>
Pipe supports	<input type="checkbox"/>
Manhole - structure	<input type="checkbox"/>
Lamp holes	<input type="checkbox"/>
Drain test	<input type="checkbox"/>

Gully traps	<input type="checkbox"/>
Granular bedding	<input type="checkbox"/>
Terminal vents	<input type="checkbox"/>
Even gradient/line	<input type="checkbox"/>
Soil stack	<input type="checkbox"/>
Manhole - haunching	<input type="checkbox"/>
Inspection/bends	<input type="checkbox"/>
SW to kerb	<input type="checkbox"/>
Sumps	<input type="checkbox"/>

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required? Yes/No

Proposed date of follow up inspection

Producer Statement Yes/No/NA

COMMENTS

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS

1	✓	Foundation inspection	32	✓	Lapse and cancellation after 12mths of consent	21	✓	Minimum FFL to comply with NZS3604
3		Sub-Floor inspection, suspended floor	2		Engineer design specific components	22	✓	Deck and stair balustrade greater drop than 1 m
7	*	<u>Pre-concrete slab inspection of plumbing</u>	3		foundations to solid bearing of 200mm	23		Installation of solid fuel appliance (wood burner) comply and secured
2	✓	Pre-Slab inspection, concrete floor	4	✓	NZS3604 as accept. solution in terms of NZ Bld Code	23A		Second hand wood burner certified
16	✓	Pre-Block-Fill inspection	5		Not approved as Habitable BUILDING	24		Chimney to be cleaned prior fitting of new unit
23	✓	Pre-Wrap inspection	6		Not approved as Habitable ROOM	24A	✓	Section F7 requires fitting of smoke detectors
24	✓	Post-Wrap inspection	7	✓	Fit proprietary Head, Jamb, Sill flashings & air seals to ext joinery	25		Contractor to leave site clear
25	✓	Post-Clad inspection	8		As in V H Wind Zone, ext load bearing walls, extra fixing for roof	26		Sewer and water services to disconnected and capped
18		Substrate inspection - solid plaster	8A		As in Very High Wind Zone, extra fixings for roof	27	✓	Provide from contractor roof warranty
19		Brick Veneer inspection	8B		All glazing, constr. system to comply with V H Wind and CCZ	28		Contractor warranty covering fascia and gutter system
8	*	<u>Prelining inspection of plumbing</u>	9		Note and comply with all endorsements on approved plans	29		Provide from contractor texture coating warranty
4	✓	Prelining inspection, moisture test, check bracing	10	✓	Names and Reg'n of plumber and drain layer req'd	30		To comply with food hygiene regulations 1974
5	✓	Post-lining inspection, linings, fixed as per brace design	11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	31	✓	As in CCZ, all fixings need to be stainless steel
10	*	<u>Water test on sewer drains</u>	12		Hot & Cold water pipes tested to 1500kPa	33		Approval only given for relocation purposes
15	✓	<u>Completion inspection</u>	13		Roof storm water to be connected to existing	34		If cladding to have pre-finished colour coating, to be appropriate for coastal conditions
			14		Copper water pipes not permitted	38		Window sashes on upper levels less than 760mm above floor to have stays fixed
		* = plumbing inspections	15		Owner/builder to ensure prop foundation height will allow satisfactory connection	39		Construction of playground to comply with NZS 5828
			16		Drainlayer to discuss septic tank, etc	40		Fencing, gates, doors directly leading to swimming pool to comply Pool act 1987
		STANDARD CONSENT CONDITIONS	17		Owner's responsibility to arrange septic tank design	41		Owner's legal responsibility to provide locking lid for spa-pool
37			18		Roof stormwater to be disposed inside property boundary	42		Intended appraised/approved Polystyrene Texture Coating system to be advised
72			19		Roof stormwater to be piped to kerb	43		Textured systems should be applied by licensed, trained applicators - supply warranty
80			20		Tempering valve to be installed on HW cylinder	44	✓	Exterior cladding system to be completed and inspected prior to internal lining.

NON STANDARD ADDENDA

Note wall bracing endorsements in proximity to bath and corridors.

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Resource Consents (refer PIM Sheet)	<input checked="" type="checkbox"/>		
Plumbing and Drainage	<input checked="" type="checkbox"/>		
Building	<input checked="" type="checkbox"/>		 16/1/2006  24-1-06
Fire Design	<input type="checkbox"/>		
Compliance Schedule	<input type="checkbox"/>		
Structural	<input type="checkbox"/>		
Hazardous Substances	<input type="checkbox"/>		
Environmental Health	<input type="checkbox"/>		
Site- Footpath & Entrance Conditions		Ground	15-11-05 Stem
N/A		Recheck Before pouring Sand, tree roots, paths in way	

NOTES:

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

Criteria: All building work except for major projects.

Address: 7 FOREST LANE RAUMATI SOUTH.	Date: 26/11/2007
	BC No: 056201

application for code compliance certificate (Form 278) completed	<input checked="" type="radio"/> Y	<input type="radio"/> N
--	------------------------------------	-------------------------

Confirm all required inspections have been completed and passed: Answer: Yes or No

If inspections have been missed, what supporting info and method of verification has been provided to compensate for missed inspection. (Describe): -----

Work in accordance with approved consent and approved amendments	<input checked="" type="radio"/> Yes	<input type="radio"/> No
If no, has NTF been issued:	<input checked="" type="radio"/> N/A	<input type="radio"/> Yes <input type="radio"/> No
Have items of non compliance been resolved and NTF uplifted.	<input checked="" type="radio"/> N/A	<input type="radio"/> Yes <input type="radio"/> No

Note: If work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate

Supporting documentation required in building consent addenda (Accept in accordance with AP-WI-020 – Acceptance of expert opinion)

Tick (✓) indicates yes, N/A indicates considered - but not applicable	Req'd	Supplied	Accept
copy of electrical certificate		✓	
copy of gas certificate	N/A		
an "as-built" drainage plan		✓	
plumbing (Form 125) for pressure test and installation piped services		✓	
drainage (Form 126) for stormwater installation		✓	
drainage (Form 127) for private sewer installation		✓	
a Construction Review (PS4) statement for Structural engineering		✓	
a Construction Review (PS4) statement for Fire engineering	N/A		
a Construction Review (PS4) statement for Geo-technical engineering	N/A		
Roof cladding warranty		✓	
Solar water heating technical specifications	N/A		
wall cladding/texture coating installation applicator warranty			
a copy of the lift certificate			
a certificate from the fire alarm installer			
a certificate from the sprinkler installer			
a copy of wet-area membrane installers warranty			
A copy of deck membrane manufacturer's installers warranty/guarantee			
	N/A		

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

If specified supporting documentation has not been provided, what alternative information or verification method has been provided to compensate. (describe):

Compliance Schedule

Is a new or amended compliance schedule required?	Y	<input checked="" type="radio"/> N
If "Y" Has it been issued? (Refer note below)	Y	<input checked="" type="radio"/> N
If the new/ revised compliance schedule has not been issued, what action has been taken to ensure it will be issued? Outline:		
----- ----- -----		

Note: If the draft/ revised compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Suspend issuing CCC until this matter is addressed.

Building consent requirements.

Are there any item specified in the building consent or PIM that have not been completed.

Outline: -----

Are there any development impact fees to be paid outstanding? Yes No (if yes, CCC cannot be issued)

Approve to issue Code Compliance Certificate if all other outstanding fees are paid. YES / NO

Building officer:

Signature: 

Date: 26 / 11 / 07

Name: Tony King

Co-reviewer:

Signature: 

Date: 5 / 12 / 07

Name: Russel Brook

Council owns most of the manholes, pipes, connections etc shown on this plan including where they cross private property. It is illegal to interfere with any of Council services.

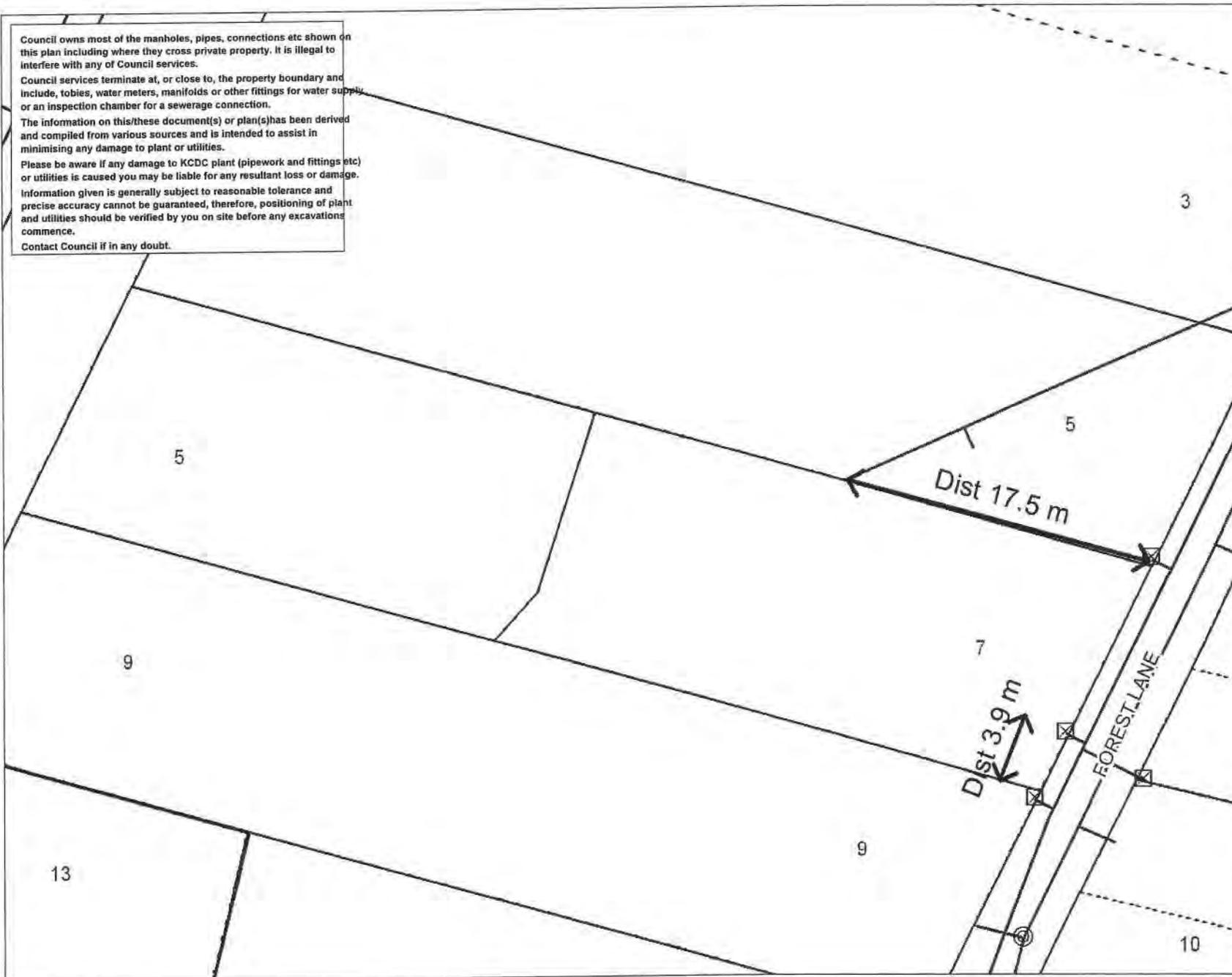
Council services terminate at, or close to, the property boundary and include, tobies, water meters, manifolds or other fittings for water supply or an inspection chamber for a sewerage connection.

The information on this/these document(s) or plan(s) has been derived and compiled from various sources and is intended to assist in minimising any damage to plant or utilities.

Please be aware if any damage to KCDC plant (pipework and fittings etc) or utilities is caused you may be liable for any resultant loss or damage.

Information given is generally subject to reasonable tolerance and precise accuracy cannot be guaranteed, therefore, positioning of plant and utilities should be verified by you on site before any excavations commence.

Contact Council if in any doubt.



LEGEND



- Sewer Pump
- ⊙ Sewer Manhole
- ★ Stormwater Soak Hole
- Stormwater Pump
- ⊙ Stormwater Manhole
- Stormwater Sump
- ◆ Stormwater Outlet
- ▲ Stormwater Inlet
- Water Hydrant
- ⊕ Water Valve
- ⊠ Water Toby
- Sewer Rising Main
- Sewer Pipe
- Stormwater Pipe
- Stormwater Rising Main
- Water Pipe

Map Drawn Date: 16/01/2006 By STA-BUILDCON-11

Scale: A4 1:310

Date of Aerial Photography:

Cadastral information derived from Land Information New Zealand. Crown Copyright reserved. Approved for internal reproduction by Kapiti Coast District Council.

NB: The property boundaries and address numbers shown are indicative only.



SERVICE NETWORK

TAX INVOICE
GST No 51-860-608

INVOICE DATE 20 Oct 2007

Stephens Murray John
Pointon Sacha Renee
7 Forest Lane
RAUMATI

Instalment 2 of 4
For Period 1/10/07 to 31/12/07

Valuation No 15292-12300

Property No 16786

Legal Description
LOT 2 DP 76027 CT F1/217

Property Location
7 Forest Lane, Raumati South

Property Details

Area 436 sq m
Land Value \$170,000.00
Capital Value \$310,000.00
Date of Valuation 01/08/05

Rating Category Urban

GST Content of this Invoice \$56.97

Any portion of the current instalment remaining unpaid after 3 December 2007 will incur a 10% penalty

STATEMENT OF ACCOUNT

Description	KCDC	GWRC	TOTAL
Opening Balance (as at 1 July)	0.00	0.00	0.00
Current years annual rates	1,796.70	254.20	2,050.90
Payments Received this year	449.15CR	63.55CR	512.70CR
Penalties charged this year*	0.00	0.00	0.00
Adjustments/remissions made this year	0.00	0.00	0.00
Balance Remaining (to 30 June)	1,347.55	190.65	1,538.20

Current instalment **512.70**

Amount Due by 3 December 2007 \$512.70

Payments received after 19 Oct 2007 are not included in this statement
Amount Due is made up of the current instalment plus any amount still unpaid from the previous invoice (including any late payment charges).

* All Rates are GST Inclusive – except for any Penalties applied, as detailed above.

For payments by post the next Instalment Invoice will be the official receipt

DIRECT DEBIT ARRANGEMENT - Unless advice is received from you to cancel this arrangement - the regular payment will continue to be direct debited from your bank account.

DIRECT DEBIT - no payment is required

Send payment to Kapiti Coast District Council, Private Bag 601, Paraparaumu 5254

Remittance Advice

Please include this slip with your payment.

Ratepayer Stephens Murray John
Pointon Sacha Renee

Instalment No. 2 of 4

Valuation No 15292-12300

DIRECT DEBIT - no payment is required

Total Due Pay by: 3 December 2007

\$ 512.70

Amount Paid \$

Please advise any change of address on the reverse of this form.



Gasfitter:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Electrician:

Business/name: Shawn @ Gary
 Address: _____
 Daytime: _____ Mobile: 0272758400
 After hours: _____ Facsimile: _____
 Registration/qualification: I2866

Plumber:

Business/name: Andy McGee
 Address: _____
 Daytime: _____ Mobile: 0274429709
 After hours: _____ Facsimile: _____
 Registration/qualification: 11601

Drainlayer:

Business/name: Andy McGee
 Address: Ion Bellier
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: #601 09061

Carpenter:

Business/name: Keith La Beter
 Address: _____
 Daytime: _____ Mobile: 0272745245
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Brick/Block layer:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Deck/roof membrane applicator:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____
 Product name: _____
 Manufacturer: _____

Rofer:

Business/name: Kerry Mathie Roofing
 Address: 66 Beaulieu st Tawa
 Daytime: _____ Mobile: 0274432531
 After hours: _____ Facsimile: _____
 Registration/qualification: _____
 Product name: N2 STEEL
 Manufacturer: N2 @ steel Maxx

Concealed fascia installer:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____
 Product name: _____
 Manufacturer: _____

Others:

Business/name: Boyd Aluminium
 Address: 7 sheffield st Pen
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____
 Product name: Aluminium joinery
 Manufacturer: Vantage, Boyd Aluminium

Contact details:

Landline: _____ Mobile: _____
Daytime: _____ After hours: _____
Facsimile number: _____ Email: _____

Relationship to Owner: [state details of the authorisation from the owner to make the application on the owner's behalf]

First point of contact

[if different from Owner or Agent]

Name of contact:

Mailing address:

Street address/Registered office:

Contact details:

Landline: _____ Mobile: _____
Daytime: _____ After hours: _____
Facsimile number: _____ Email: _____

Application

All building work to be carried out under the above building consent was completed on

November 1st 2006

The personnel who carried out the building work are as follows:

Concreter:

Business/name: Kerry Lynch
Address: _____
Daytime: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: Fibre concrete
Manufacturer: _____

Joiner:

Business/name: ORCHARD JOINERY
Address: _____
Daytime: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: Brine Staircase
Manufacturer: ORCHARD JOINERY

Tanking applicator:

Business/name: _____
Address: _____
Daytime: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

Plasterer/textured coater:

Business/name: DOUGLAS Franklin
Address: _____
Daytime: _____ Mobile: _____
After hours: _____ Facsimile: _____
Registration/qualification: _____
Product name: _____
Manufacturer: _____

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to: *[state which address, and whether owner or agent]*

7 FOREST LANE
PUNAMATI SOUTH

Signed by the owner OR

Signature:

M. Stephens

Name:

Murray Stephens

Date:

29/10/07

Signed by the agent *[on behalf of, or with authority from, the owner]*

Signature:

Name:

Date:

Attachments

The following documents are attached to this application:

- Certificates from the personnel who carried out the work
- Certificates that relate to the energy work
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent

Compliance Schedule

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing standards set on in the building consent:

<input checked="" type="checkbox"/> There are no specified systems in the building	
Cable Car (including to individual dwelling)	<input type="checkbox"/>
Automatic systems for fire suppression (for example, sprinkler systems)	<input type="checkbox"/>
Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)	<input type="checkbox"/>
Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>
Emergency lighting systems	<input type="checkbox"/>
Escape route pressurisation systems	<input type="checkbox"/>
Riser mains for Fire Service use	<input type="checkbox"/>
Any automatic back-flow preventer connected to a potable water supply	<input type="checkbox"/>
Lifts, escalators, travelators or other systems for moving people or goods within buildings	<input type="checkbox"/>
Mechanical ventilation or air-conditioning systems	<input type="checkbox"/>
Means of escape from fire	<input type="checkbox"/>
Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>
Emergency power systems for, or signs relating to, a system or feature specified	<input type="checkbox"/>
Safety barriers	<input type="checkbox"/>
Means of access and facilities for use by persons with disabilities which meet the requirements of section 118	<input type="checkbox"/>
Hand-held hose reels for fire fighting	<input type="checkbox"/>
Such signs as are required by the Building Code or by section 120	<input type="checkbox"/>
Laboratory fume cupboards	<input type="checkbox"/>
Audio loops or other assistive listening systems	<input type="checkbox"/>
Smoke control systems	<input type="checkbox"/>

21 August 2020

Murray Stephens
7 Forest Lane
Raumati South
Paraparaumu 5032

LAND INFORMATION MEMORANDUM (LIM)

The attached LIM provides you with information about 7 Forest Lane, Raumati South.

The information provided in this LIM has been gathered from all the information the Council holds on this property, as at the date of your application.

It is important to note that the Council has not undertaken an on-site inspection of the property and there may be information which is not known to council - for example, illegal or unauthorised building or works on the property.

If you have any future plans to develop this property please contact us for advice about how to proceed and the process for obtaining the necessary approvals.

In addition to the information in this LIM you may be interested to find out more about the Kapiti Coast District. Information and advice on council services and our full District Plan are available on our website: www.kapiticoast.govt.nz

Finally, if you have any questions about your LIM, please don't hesitate to contact us on kapiti.council@kapiticoast.govt.nz or phone 0800-486-486.



Leon Smith
Acting Building Team Manager

Land Information Memorandum (LIM)

Prepared by Kāpiti Coast District Council for the property located at:

7 Forest Lane, Raumati South

Land Information Memorandum

DOCUMENT INFORMATION

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A of LGOIMA.

The information provided is based on a search of Council database records as at the date of issue and not an inspection of the property. There may be other information relating to the land which is unknown to Council, for example, illegal or unauthorised building or works on the property. Any person obtaining a LIM is solely responsible for ensuring that the land is suitable for a particular purpose.

APPLICATION DETAILS

Applicant	Murray Stephens 7 Forest Lane Raumati South Paraparaumu 5032
Phone	027 555 5622
LIM Number	L200416
Application Date	11/08/20
Issue Date	21/08/20

PROPERTY DETAILS

Property Address	7 Forest Lane, Raumati South	
Legal Description	LOT 2 DP 76027 CT F1/217	
Area (hectares)	0.0436	
Valuation Number	1529212300	
Valuation Information	Capital Value:	\$620,000
	Land Value:	\$325,000
	Improvements Value:	\$295,000

Please note that these values are intended for rating purposes only

Land Information Memorandum

CONTENTS

1. RATES.....	3
2. CONSENTS, CERTIFICATES, NOTICES, ORDERS OR REQUISITIONS	4
3. WEATHERTIGHTNESS.....	5
4. LAND USE AND CONDITIONS	5
5. SPECIAL FEATURES AND CHARACTERISTICS OF THE LAND.....	7
6. OTHER LAND AND BUILDING CLASSIFICATIONS.....	8
7. PRIVATE AND PUBLIC STORMWATER AND SEWERAGE DRAINS	8
8. DRINKING WATER SUPPLY.....	8
9. NETWORK UTILITY INFORMATION.....	8
10. OTHER INFORMATION CONCERNING THE LAND	9

ATTACHMENTS

- Glossary of Terms and Maps
- Aerial Photograph
- Deposited Plan/Record of Title
- District Plan Zones
- Proposed District Plan Appeals Version (2018) – Plan Zones
- District Plan Features
- Proposed District Plan Appeals Version (2018) – Plan Features
- Proposed District Plan Appeals Version (2018) – Natural Features
- District Plan Rural Subdivision Map (if applicable)
- District Plan Natural Hazards – Active Faults
- District Plan Natural Hazards – Flooding
- Proposed District Plan Appeals Version (2018) – Natural Hazards
- Latest Flood Hazards
- Resource Consents - Maps and Summary Detail (if applicable)
- Health and Alcohol Licenses
- Services Network
- As Built Drainage Plan (if applicable)
- Resource Consent documents (if applicable)
- Earthquake-Prone Building documents (if applicable)

Land Information Memorandum

1. RATES

Information relating to any rates owing in relation to the property.

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Amounts stated are inclusive of GST.

Current Rates Year	Current Rates Year 2020 to 2021
Annual Rates	\$3,696.48 This includes Greater Wellington Regional Council rates.
Next Instalment Date	09/09/20
Arrears for Previous Years	\$0.00
Water Rates	\$297.38 last year (2019/20) All water used is charged for at a volumetric rate of \$1.19 (incl. GST) per cubic metre (1000 litres) and a fixed annual charge of \$222.00 (incl. GST) per separately used or inhabited part of a rating unit, charged at a daily rate of \$0.6082, calculated on the number of days in each invoice period.
Water Balance Due	\$0.00

① For further information on this section, contact the Rates Team on 0800 486 486

Land Information Memorandum

2. CONSENTS, CERTIFICATES, NOTICES, ORDERS OR REQUISITIONS AFFECTING THE LAND AND BUILDINGS

This is information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by Council; information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Building Consents

15/06/16	BUILDING CONSENT 160232 : Extension to living room. : Code Compliance Certificate issued 31/08/17
09/03/09	BUILDING CONSENT 090137 : Woodfire Clean Air Ecan : Code Compliance Certificate issued 18/05/09
24/01/06	BUILDING CONSENT 056201 : Garage and living area extension : Code Compliance Certificate issued 27/11/07
24/05/94	BUILDING CONSENT 941928 : In Built Fire : Code Compliance Certificate issued 23/09/99

Engineer

Further building may require an Engineer's soil report and, if necessary, a foundation design.

Wind

Indicative wind zones can be found at: branz.maps.arcgis.com/home. Wind zones should be determined in accordance with the NZ Building Code.

① For further information on this section, contact the Building Team on 0800 486 486

Swimming Pools: Compliance with the Building Act 2004

No pool registered to this property.

① For further information on this section, contact the Compliance Monitoring Team on 0800 486 486

Registered Environmental Health Premises and Licences

No information located.

① For further information on this section, contact the Environmental Health Team on 0800 486 486

Land Information Memorandum

3. WEATHERTIGHTNESS

This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council has received no correspondence from the Ministry of Business, Innovation and Employment in relation to this property.

4. LAND USE AND CONDITIONS

This is information relating to the use to which that land may be put and conditions attached to that use.

Planning/Resource Management

District Plan Zone: Residential

The District Plan maps provided with this LIM provide a useful visual overview of the planning information provided in this LIM. However, the planning information provided is not exhaustive and reference to both the Operative District Plan (1999) and the Proposed District Plan Appeals Version (2018) is recommended.

The Council notified a Proposed District Plan on 29 November 2012 and notified the decision on that Plan on 22 November 2017. The provisions of that Plan which is called the Proposed District Plan Decision Version (2017) have legal effect from that date. Some provisions of this have been appealed and therefore the equivalent Operative Plan provisions remain in force alongside these Proposed District Plan Appeals Version (2018) provisions. If a rule in the Proposed District Plan has not been appealed it is considered to be effectively operative and the equivalent rules in the Operative District Plan (1999) have no legal weight. The appealed provisions are clearly identified in the Proposed Plan Appeals Version (2018).

To find out more about the Proposed District Plan Appeals Version (2018) and what this means for this property, please visit: kapiticoast.govt.nz/Your-Council/Planning/District-Plan-Review/

Full details of the relevant zone requirements are contained within the Operative District Plan (1999) which is available on our website, kapiticoast.govt.nz/Your-Council/Planning/District-Plan1/

There may be policies or rules in the Greater Wellington Regional Council's Proposed Natural Resources Regional Plan that regulate land use on this property. This Plan is available from the Greater Wellington Regional Council website: gwrc.govt.nz. Questions about the impact of that Plan on this property should be made to the Greater Wellington Regional Council on 0800 496 734.

Land Information Memorandum

District Plan Features

The Operative District Plan (1999) and the Proposed District Plan Appeals Version (2018) record which properties in the District have these special features located on them. Each feature is given a unique reference number.

There are specific restrictions on development within or around these features. The District Plan Features Map provided with this LIM displays whether any of these features are on, or adjacent to, this property.

This property is located within the Residential zone under the Operative District Plan (1999) and zoned Beach Residential under the Proposed District Plan Appeals Version (2018). Please call the Research, Policy and Planning Team on 0800 486 486 for more information.

This property was created via subdivision in 1993 under resource consent number RM920071. A copy of the Decision is provided with this LIM. There are no known easements. Copies of the Deposited Plan (DP 76027) and Record of Title are provided with this LIM. It is recommended that the Record of Title is checked for any interests registered against the property such as easements or covenants.

Below is a list of resource consents issued for this property and further detail can be found in the decision letters provided with this LIM.

Resource Consent RM050360: Addition to dwelling encroaching height envelope.

There is no record of any further resource consents for this property. For information about any resource consents for surrounding properties refer to the Resource Consents map and Summary Details Report provided with this LIM.

If you are interested in reading the full resource consent files then these can be viewed at the Council administration building at 175 Rimu Road, Paraparaumu. Note: some resource consent files may be archived offsite; however these can be retrieved for you. Please call the Resource Consents Team on 0800 486 486 to check the availability of the files.

Air Space Designation - land within the airport flight paths where height restrictions apply to buildings and trees as set out in Part N of the Operative District Plan (1999) and Proposed District Plan Appeals Version (2018).

This property is located within the Approach Surface Grade 1:30, Distance 3000m Operations Area of the Paraparaumu Airport. Refer to Part N of the Operative District Plan (1999) maps. This property is located within the Horizontal Surface 50m AMSL, Operations Area of the Paraparaumu Airport. Refer to Proposed District Plan Appeals Version (2018) maps.

There is no record of any identified cultural or archaeological sites contained on this site.

① For further information on this section, contact the Resource Consents Team on 0800 486 486

Land Information Memorandum

5. SPECIAL FEATURES AND CHARACTERISTICS OF THE LAND

This is information known to Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991: It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants, being a feature or characteristic that is known to the Council.

Earthquakes

Greater Wellington Regional Council holds information on earthquake risks in the Kapiti Coast District. This information, along with associated Earthquake Risk Maps, can be found on the Greater Wellington Regional Council website, gwrc.govt.nz

Earthquake fault traces within the Kapiti Coast are mapped in the Operative District Plan (1999) and Proposed District Plan Appeals Version (2018). These are shown (if applicable) on the District Plan Features Map provided with this LIM and are available on our website: kapiticoast.govt.nz/Your-Council/Planning/District-Plan1/District-Plan-Maps/ and kapiticoast.govt.nz/Your-Council/Planning/District-Plan-Review/

Further information on Earthquake Fault Rupture Hazards is also available on our website: kapiticoast.govt.nz/Our-District/cdem/Earthquakes/Earthquake-Fault-Rupture-Hazards/

Contaminated Sites

Greater Wellington Regional Council holds information on properties with a history of hazardous activity or industry. Refer to the Selected Land Use Register available on the Greater Wellington Regional Council website, gwrc.govt.nz

Coastal Erosion Hazards

Information on coastal erosion hazards on the Kapiti Coast is available on our website, kapiticoast.govt.nz/Your-Council/Planning/District-Plan-Review/Coastal-Hazards

Tsunami Evacuation Zones

Tsunami Evacuation Zone Maps have been developed by the Greater Wellington Regional Council to assist emergency preparedness by identifying the areas residents may need to evacuate in the event of a tsunami.

Each map has three evacuation zones: red, orange and yellow. The updated tsunami evacuation maps for Kapiti can be viewed at the Council's website at <https://www.kapiticoast.govt.nz/our-district/cdem/get-prepared/tsunami-zones/>

Other Information

No information located.

① For further information on this section, contact the Resource Consents Team on 0800 486 486

Land Information Memorandum

6. OTHER LAND AND BUILDING CLASSIFICATIONS

This is information which, in terms of any other Act, has been notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

No information located.

7. PRIVATE AND PUBLIC STORMWATER AND SEWERAGE DRAINS

Information on private and public stormwater and sewerage drains as shown in the Council's records.

Sewer and Stormwater

There is Council sewer reticulation available with a lateral. The location of the sewer lateral is shown on the services network plan. As-built plans of private drainage is provided with this LIM.

Stormwater discharge is confined to site in soak pit(s). There is no record of any Council services running through the property.

Copy of drainage plan attached.

① For further information on this section, contact the Plumbing & Drainage Team on 0800 486 486

8. DRINKING WATER SUPPLY

This is information on whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier; any conditions that are applicable; and any information the Council has about the supply.

Water

Council has a potable water supply system available with an ordinary on demand metered water supply connection. The Council service valve (manifold/toby) is shown on the services network plan provided with this LIM.

① For further information on this section, contact the Plumbing & Drainage Team on 0800 486 486

9. NETWORK UTILITY INFORMATION

This is information which has been notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Contact Electra for power availability

Contact Vector for gas availability

Land Information Memorandum

10. OTHER INFORMATION ABOUT THE PROPERTY

This is information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant.

Cultural and Archaeological

The settlement history of the Kapiti Coast suggests that there are still an unknown number of unidentified cultural and archaeological sites within the District and indeed these are still being discovered during earthworks from time to time. The Heritage NZ Pouhere Taonga Act 2014 provides for substantive penalties for unauthorised destruction or modification of an archaeological site. More detail on what to look for and who to contact can be found on our website: kapiticoast.govt.nz/Our-District/Tangata-Whenua

Expressway

The New Zealand Transport Agency (NZTA) have two Roads of National Significance currently under construction within the Kapiti Coast District; Transmission Gully and the Peka Peka to Otaki Expressway. Information on these roads, including their proximity to and expected effects on property, can be found on the NZTA website: nzta.govt.nz/projects/projects/9075

Development Impact Fees

Development Impact Fees consist of a combination of development contributions and financial contributions (including Reserves Contributions) from all new developments e.g. a new residential dwelling or a subdivision as well as new or expanded non-residential buildings. Further information on the range of Development Impact Fees can be found on kapiticoast.govt.nz/Your-Council/Planning/Development-Impact-Fees/

GLOSSARY OF TERMS AND MAPS ATTACHED

Aerial Photograph

A birds-eye view in colour of the property and its surrounds.

Deposited Plan

Sometimes referred to as a “Flats Plan” or “Title Plan”. A Deposited Plan covers more than one lot (or property) and has a diagram showing the boundary distances and the land area. A Record of Title relates to a specific property and shows current owner and interests (such as mortgages, encumbrances and easements).

Building Information (if requested)

This includes any information Council holds about any structure that is on the lot (property), e.g. plumbing, drainage and floor plans and elevation drawings of the building and any alterations or additions to it, together with any code compliance certificates.

Rural Subdivision Map (if applicable)

This map relates to subdividing rural land and shows the areas that District Plan subdivision rules relate to, e.g if your property is located in the alluvial plains area then a new subdivision should have a four hectare minimum and a six hectare average compared to a new subdivision in the rural residential area which generally has a one hectare average.

Services Network Map

Information on private and public stormwater and sewerage drains on the property as shown in Council’s records.

Location of Health and Alcohol Licenses

This map shows the location of registered businesses in the neighbourhood that hold health and alcohol licenses.

Resource Consents

Included with this LIM are Reports and Maps of resource consents (if applicable that relate to the property) and a list of [resource consents](#) in the neighbourhood of the property that have been notified. The District Plan contains rules about different types of activities in different parts of the district. Anything not permitted by the Plan requires a resource consent. When a resource consent application is received the Council determines whether or not to notify it on the basis of the environmental effects under Section 95A-F of the Resource Management Act 1991.

Designation(s) (if applicable)

A designation is a planning technique used by Ministers of the Crown, councils and network utility operators approved as requiring authorities under section 167 of the Resource Management Act 1991. It provides for 'spot zoning' over a site, area or route in a district plan which authorises the requiring authority's work and activity on the site, area or route without the need for a land use resource consent.

District Plan

Every city and district council is required to have a District Plan under the [Resource Management Act 1991](#). The District Plan plays a big part in how Kapiti develops. The rules in the Plan determine what you can and can't do on your property without permission from Council – whether it be subdividing, renovating, building a new garage or deck, or starting a home business. This LIM includes maps which show the Zone, the Features, and the Natural Hazards that relate to the rules in the Plan.

Proposed District Plan Appeals Version (2018)

The Operative District Plan (1999) has been reviewed and some new provisions (objectives, policies, rules, standards and maps) were developed. These have been consulted on and are now included in the Proposed District Plan Decision Version (2017) that was published on 22 November 2017. Appeals were reviewed on the Decisions and the appealed provisions are shown in red text with a reference to the relevant appeal in the Proposed District Plan Appeals Version (2018). The equivalent Operative District Plan (1999) provisions must be considered alongside the Proposed District Plan Appeals Version (2018) provisions if a provision has been appealed until any appeals on the Proposed District Plan Decision Version (2017) have been resolved. If the provision has not been appealed the Proposed District Plan rules are considered to be effectively operative.

It is important to note that the Proposed District Plan Appeals Version (2018) maps show any features on the property, in addition to the Operative District Plan (1999) features. This is because although the rules in each Plan may be different, they both have equal weight where there is an appeal on the provisions.

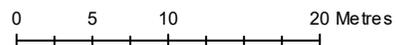
Latest Flood Hazards

To better understand the extent of the flood hazard risk on the coast and to assist in the potential mitigation of this risk, Council has over the years undertaken a number of floodplain management investigations. This map shows the latest flood hazard information; these are not necessarily included in the Operative District Plan (1999) or the Proposed District Plan Appeals Version (2018). This information is particularly relevant if you are considering subdividing the land or constructing a dwelling.



Legend

Scale @ A4 - 1:500

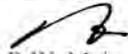


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**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Historical Search Copy**




R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier WN42D/55
Land Registration District Wellington
Date Issued 02 April 1993

Prior References

WNF1/217

Estate Fee Simple
Area 436 square metres more or less
Legal Description Lot 2 Deposited Plan 76027

Original Registered Owners

Murray John Stephens and Sacha Renee Pointon

Interests

The within land has no frontage to a legal road - See Resolution B284634.2
B725184.2 Mortgage to T.E.A. Custodians (Pacific) Limited - 2.6.1999 at 9.01 am
B817158.1 Variation of Mortgage B725184.2 - 3.1.2001 at 9.00 am
6499745.1 Discharge of Mortgage B725184.2 - 18.7.2005 at 9:00 am
6499745.2 Transfer to Murray John Stephens - 18.7.2005 at 9:00 am
6499745.3 Mortgage to ASB Bank Limited - 18.7.2005 at 9:00 am

References

Prior C/T F1/217

Land and Deeds 69

Transfer No.

N/C. Order No. B.284634.3



REGISTER

No. 42D/55

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 2nd day of April one thousand nine hundred and ninety-three under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that DEREK LEONARD SAYER of Raumati South, Sales Person

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 436 square metres more or less situate in the District of Kapiti Coast being Lot 2 on Deposited Plan 76027

Assistant Land Registrar (with signature and circular seal)

The within land has no frontage to legal road - See Resolution B.284634.2

B817158.1 Variation of Mortgage B725184.2 03.01.2001 at 9.00

B.222919.2 Mortgage to Trust Bank Wellington Limited - 13.3.1992 at 2.30 p.m.

DISCHARGED stamp with handwritten date 27/1/93

A.L.R.

for RGL (with signature)

B.292825.2 Transfer to Murray John Stephens, Technician and Sacha Renee Pointon, Placement Co-ordinator both of Raumati - 27.5.1993 at 2.56 p.m.

A.L.R.

B.292825.3 Mortgage to National Australia Bank (NZ) Limited - 27.5.1993 at 2.56 p.m.

DISCHARGED stamp with handwritten date 27/5/93 and signature

A.L.R.

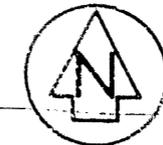
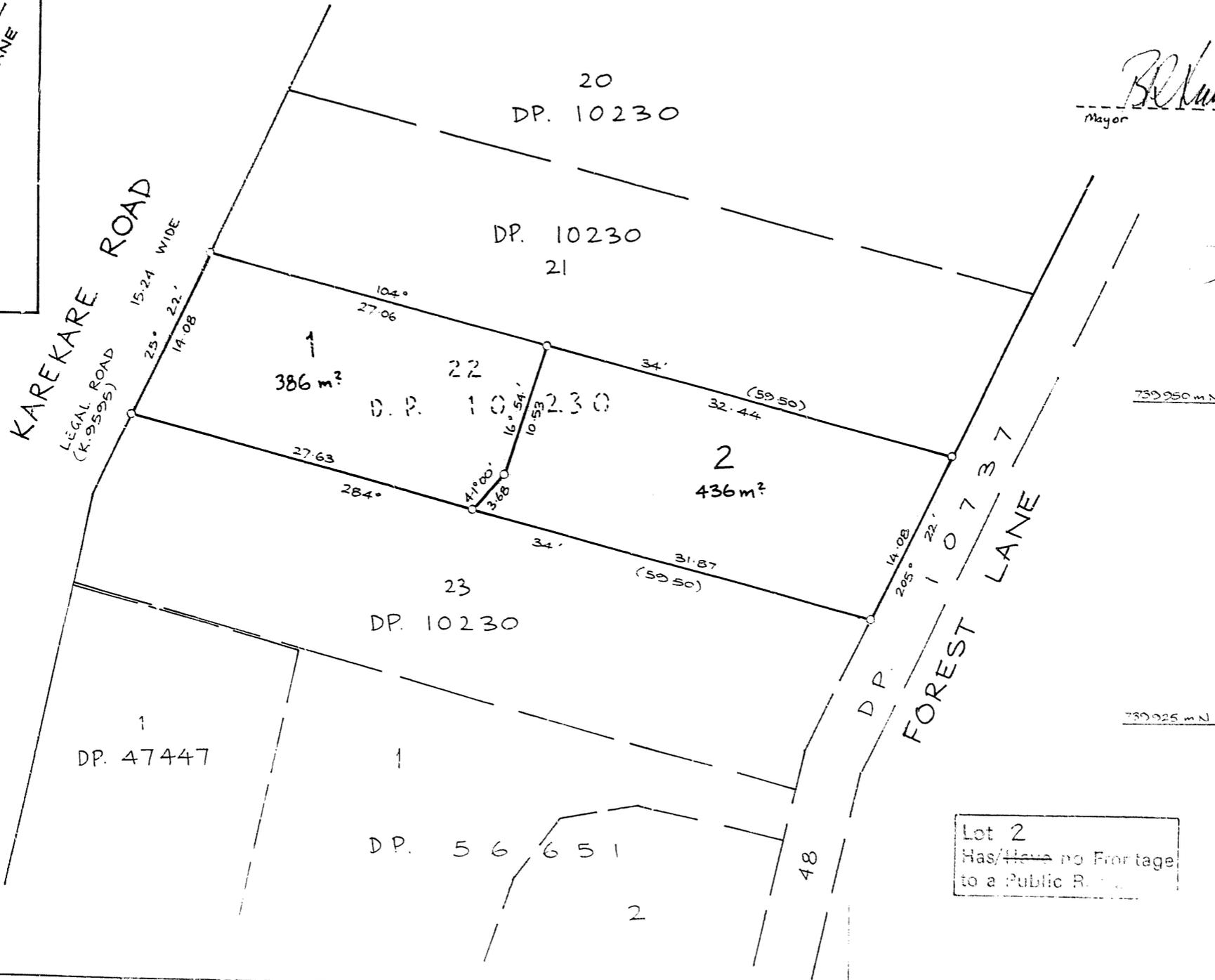
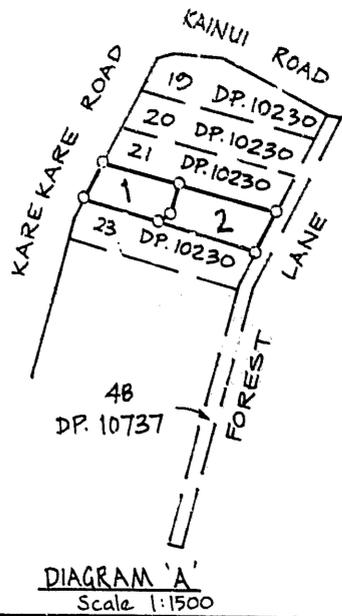
B725184.2 Mortgage to T.E.A. Custodians (Pacific) Limited

2.6.1999 at 9.01

for RGL (with signature)

Measurements are Metric

No. 42D/55



Approvals

REGISTERED PROPRIETOR

Approved pursuant to Sec 223 of the Resource Management Act 1991 on the 21st day of December 1992. The common seal of the Kapiti Coast District Council is affixed hereto in the presence of:-

General Manager

Pursuant to Sec. 224 (e) of the Resource Management Act 1991 I hereby certify that all the conditions of subdivision consent have been complied with to the satisfaction of the Kapiti Coast District Council

Dated this 19 day of 1992

General Manager

Lot 1 shown hereon is to be subject to a restrictive covenant.

Total Area 822 m²

Comprised in CT. F1/217 (PT)

I, FERRY DEAN SAVER
Registered Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1981 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.

Dated at WELLINGTON this 3rd day of OCTOBER 1992

Signature: *Ferry Dean Saver*

Field Book p. Traverse Book 511... p. 111-113
Reference Plans
Examined H.Khan Correct *H.Khan*

Approved as to Survey
8/3/93
District Land Registrar

Deposited this 2nd day of OCTOBER 1992
Assistant District Land Registrar

Received 22-1-93
Instructions

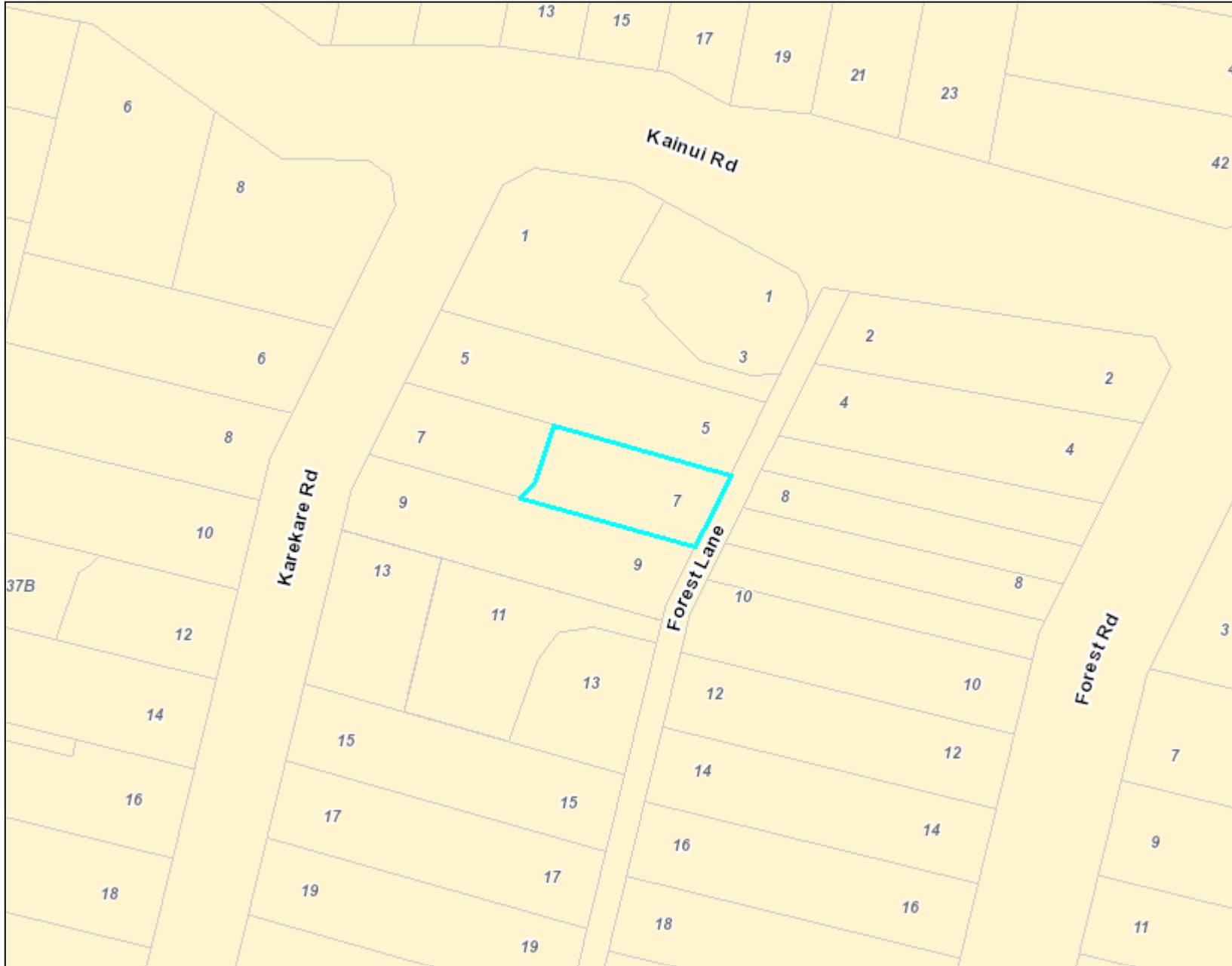
LAND DISTRICT WELLINGTON
SURVEY BLK. & DIST. II. PAKAKARIKI
NZMS 261 SHT R26 RECORD MAP No 53-17

LOTS 1 & 2 BEING SUBDIVISION OF
LOT 2 DP. 10230

TERRITORIAL AUTHORITY KAPITI COAST DIST
Surveyed by BARRY SAYER
Scale 1:250 Date OCTOBER 1992

76027

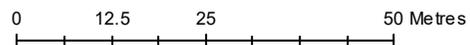
District Plan Zones



Legend

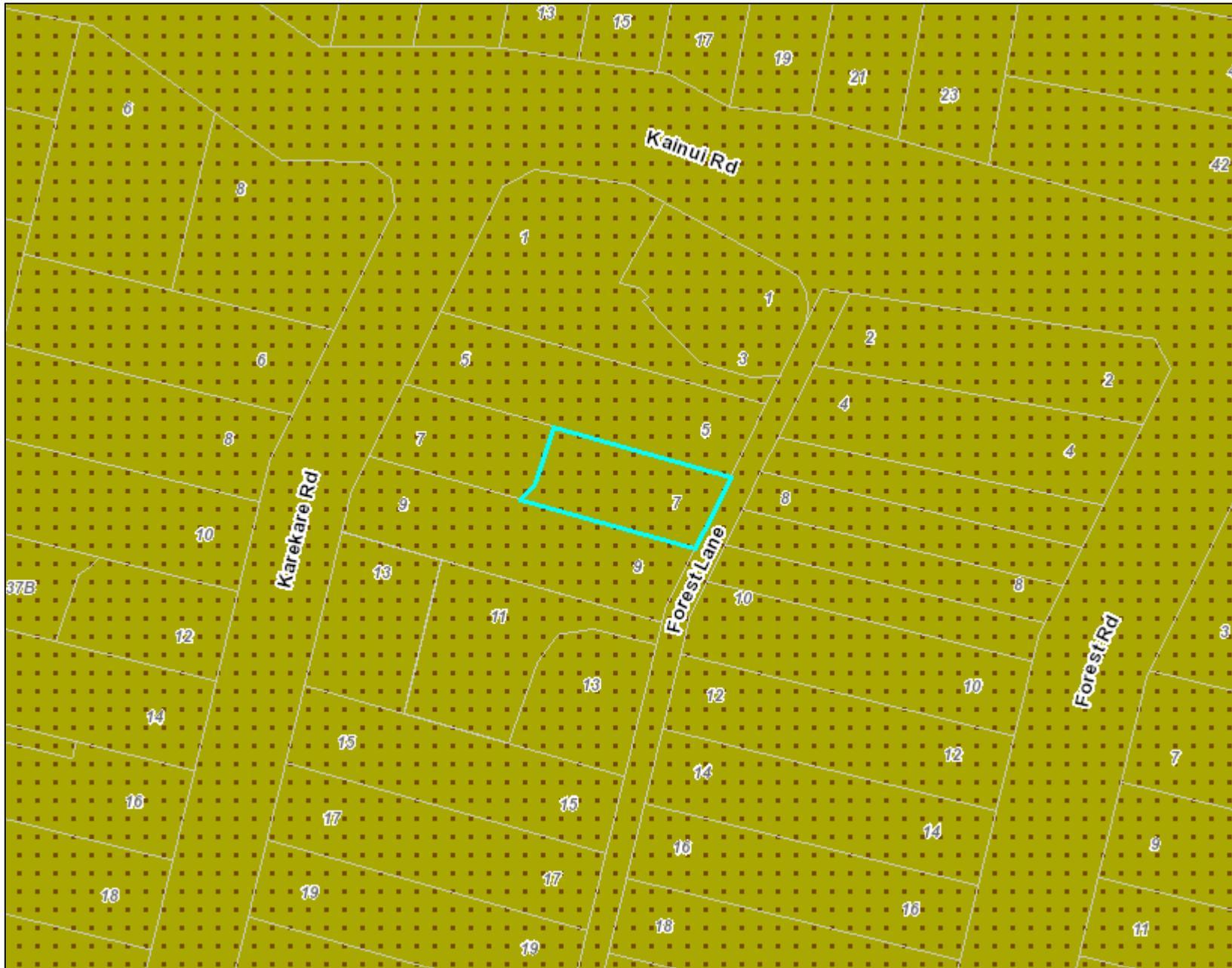
-	Wharemauku Precinct
[Red outline]	Residential Area
[Blue outline]	Commercial
[Blue outline]	Town Centre
[Blue outline]	Industrial
[Purple outline]	Open Space
[Red dashed outline]	River Corridor
[Red dashed outline]	Conservation
[Red outline]	Ngarara
[Blue outline]	Infill Residential
[Black outline]	Rural
[Black outline]	Tourist Activity Precincts
[Black dashed outline]	General Precincts
[Yellow fill]	Waikanae North
[Light blue fill]	Airport

Scale @ A4 - 1:1,000

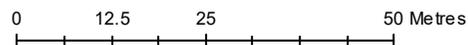


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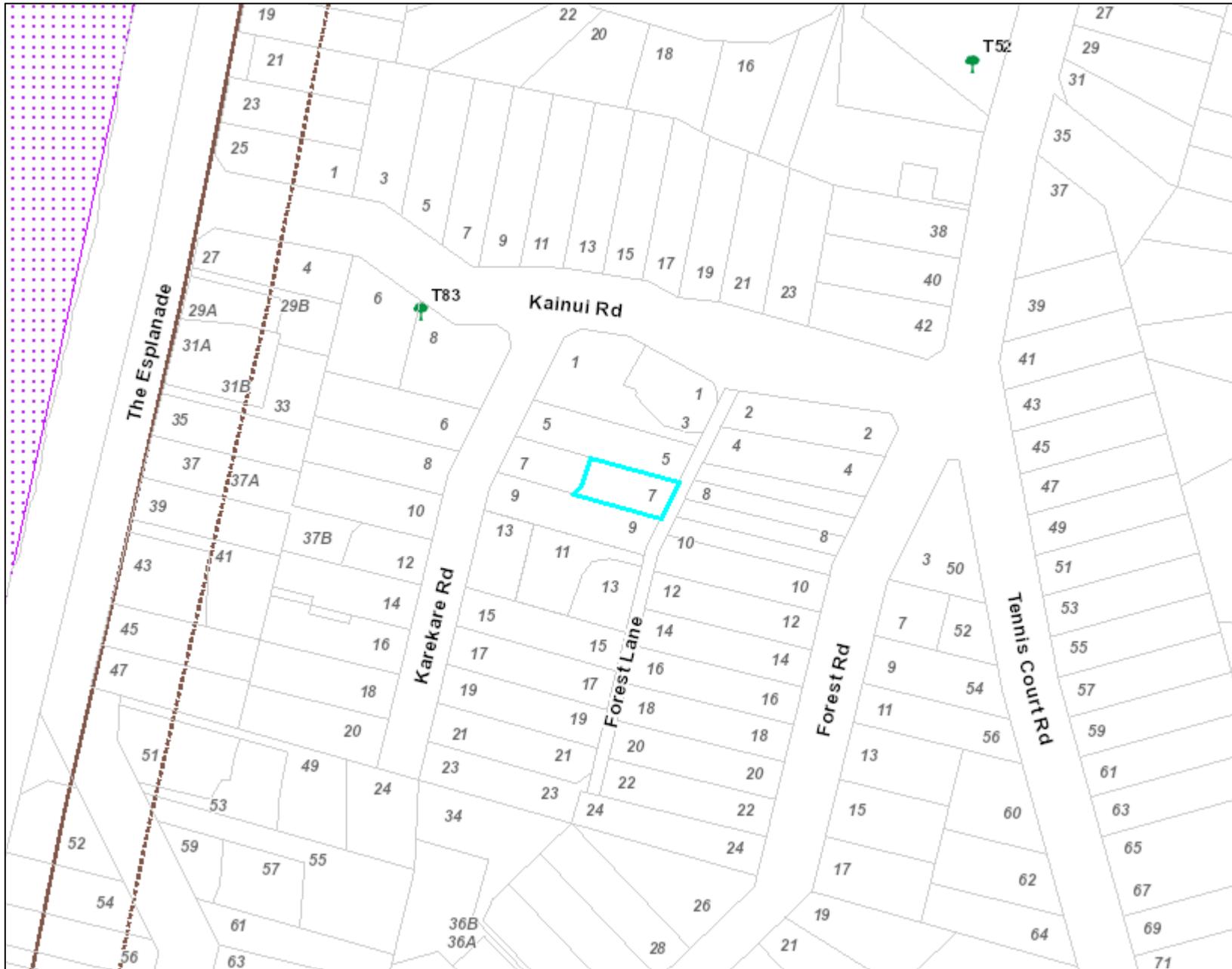
Scale @ A4 - 1:1,000



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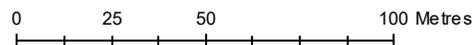


District Plan Features



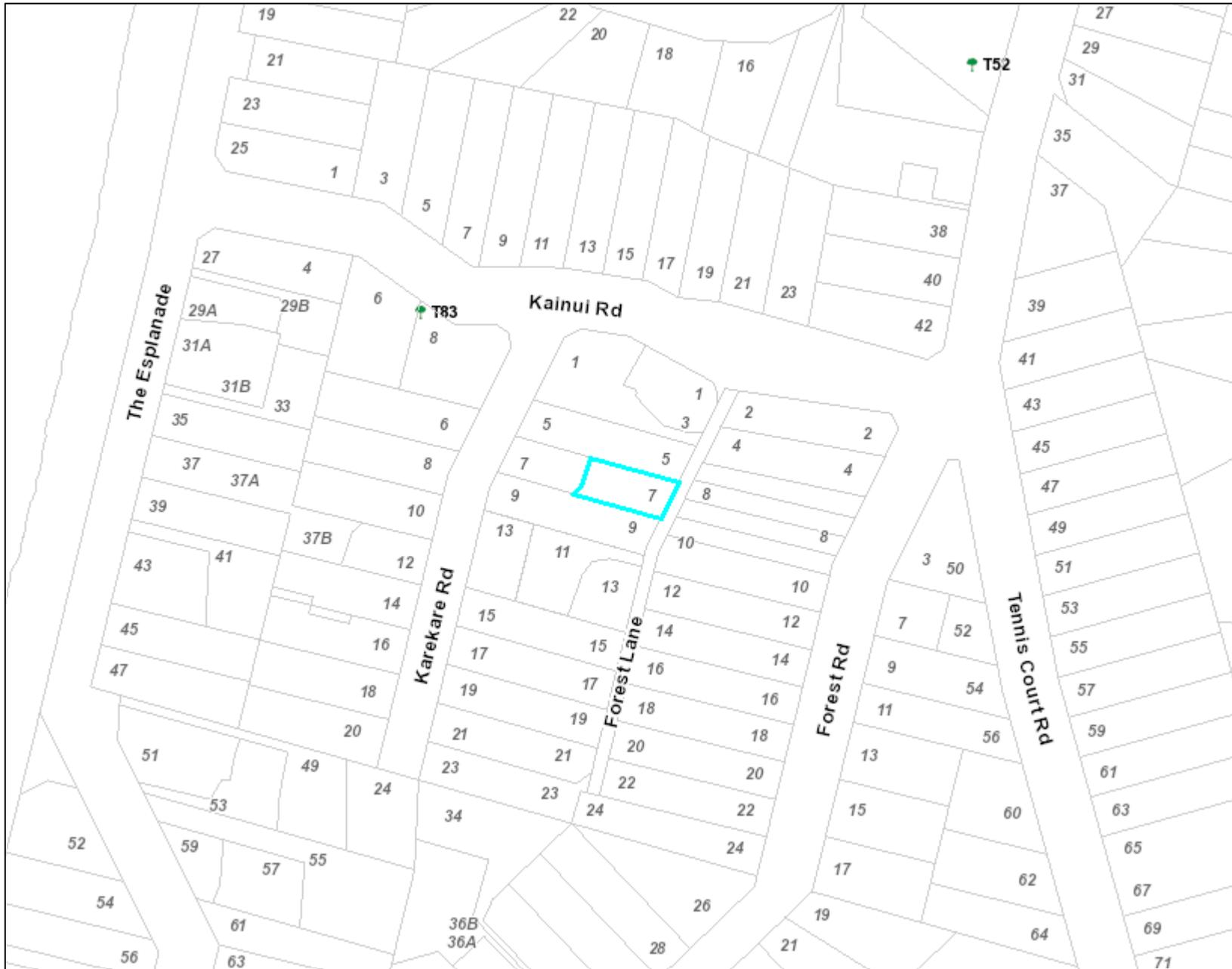
- Legend
- | | |
|--|---------------------------------|
| Geological Site | Designated General |
| Historic Building | Outstanding Landscapes |
| Heritage Tree | Notional Roads |
| Waahi Tapu Site | Airport Areas X and Y |
| 20m Building Line Restriction | Airport Curtilage |
| 30m Relocatable Area | Airport Core |
| 70m Coastal Building Line | Airport Heritage |
| 90m 6m Height Line | Airport Buffer |
| HV Transmission Lines | Airport Mixed Use |
| Natural Gas | Railway |
| Noise Corridor | SH1 |
| Air Noise Boundary | Transmission Gully |
| Outer Control Boundary | Mackays Overbridge |
| Airport Noise Effects | Peka Peka to Otaki Expressway |
| 45dba Area | MacKays to Peka Peka Expressway |
| 55dba Area | Eco Hamlet Area |
| Restricted Area | Low Impact Urban Area |
| Heritage Tree Area | Mixed Use |
| Waahi Tapu Area | Multi Unit |
| Waikanae North Urban Edge | Open Space |
| Ecological Site | Perimeter |
| Building Exclusion Zone | Preserve |
| Building and earthworks exclusion zone | Village |

Scale @ A4 - 1:2,000



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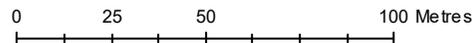




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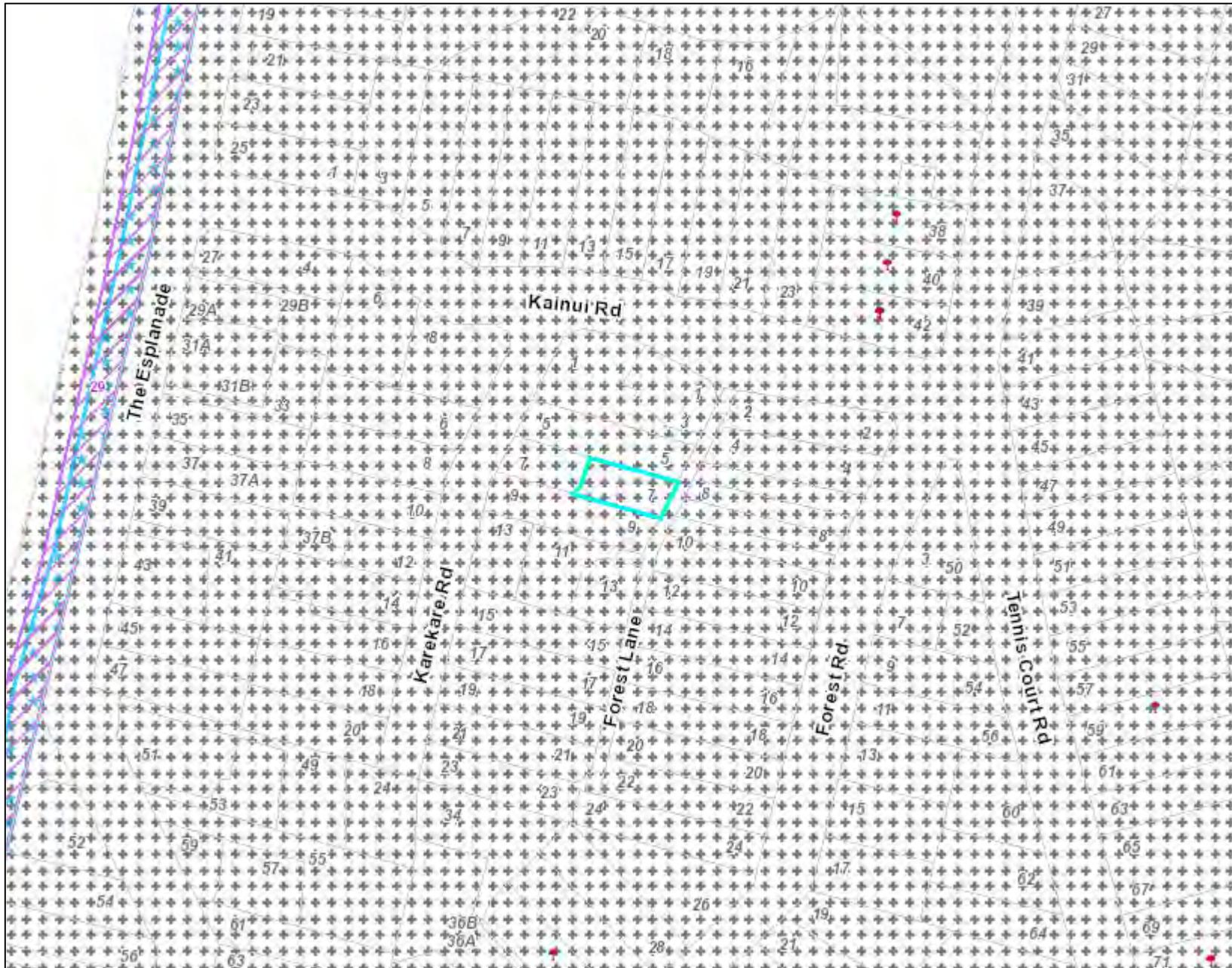
Appealed Area	Otaki North Urban Boundary
Designations	Westfield Building Exclusion Zone
Notable Trees	Airport Runways
Historic Heritage Places	Potential Residential Area
Historic Heritage Area	Railway Designation
National Grid Lines	SH1
National Grid Developed Area	M2PP Expressway Designation
Natural Gas	PP20 Expressway Designation
Noise Corridor	Transmission Gully
Waahi Tapu	Notional Roads
Notable Tree Area	Quarry
Otaki North Indicative Roads	Airport Noise Boundaries
Air Noise Boundary	Air Outer Control Boundary
Air Outer Control Boundary	Airport Noise Notification
Airport Noise Notification	Airport db areas
45db area	45db area
55db area	55db area
Waikanae Nth/Otaki Nth Urban Edge	Waikanae North Dev. Precinct
	1 Preserve
	2 Perimeter
	3 Open Space
	4 Village
	5 Multi Unit
	6 Mixed Use

Scale @ A4 - 1:2,000



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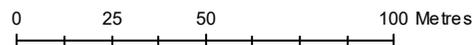




Legend

-  Appealed Area
-  Key Indigenous Trees
-  Geological
-  Geological Area
-  Extent of coastal environment
-  Ecological Sites
-  Special Amenity Landscapes
-  Outstanding Natural Landscapes and Features
-  Area of Outstanding Natural Character
-  Areas of High Natural Character
-  Coastal Environment
-  Rivers Streams and Drains

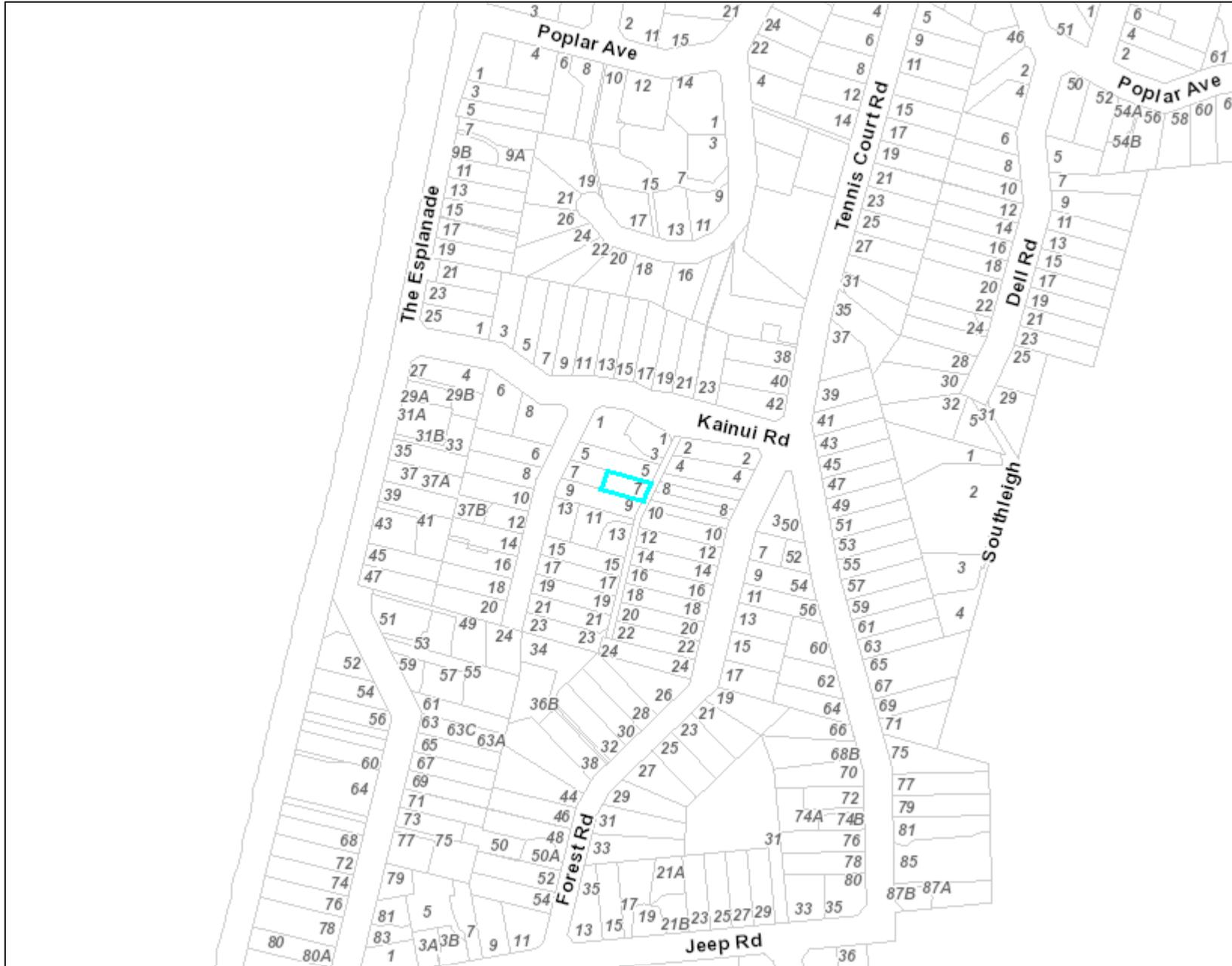
Scale @ A4 - 1:2,000



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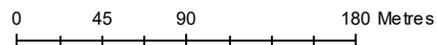
District Plan Natural Hazards - Active Faults



Legend

-  Uncertain
-  Poorly Constrained
-  Distributed
-  Well Defined
-  Well Defined Extension
-  Uncertain Constrained

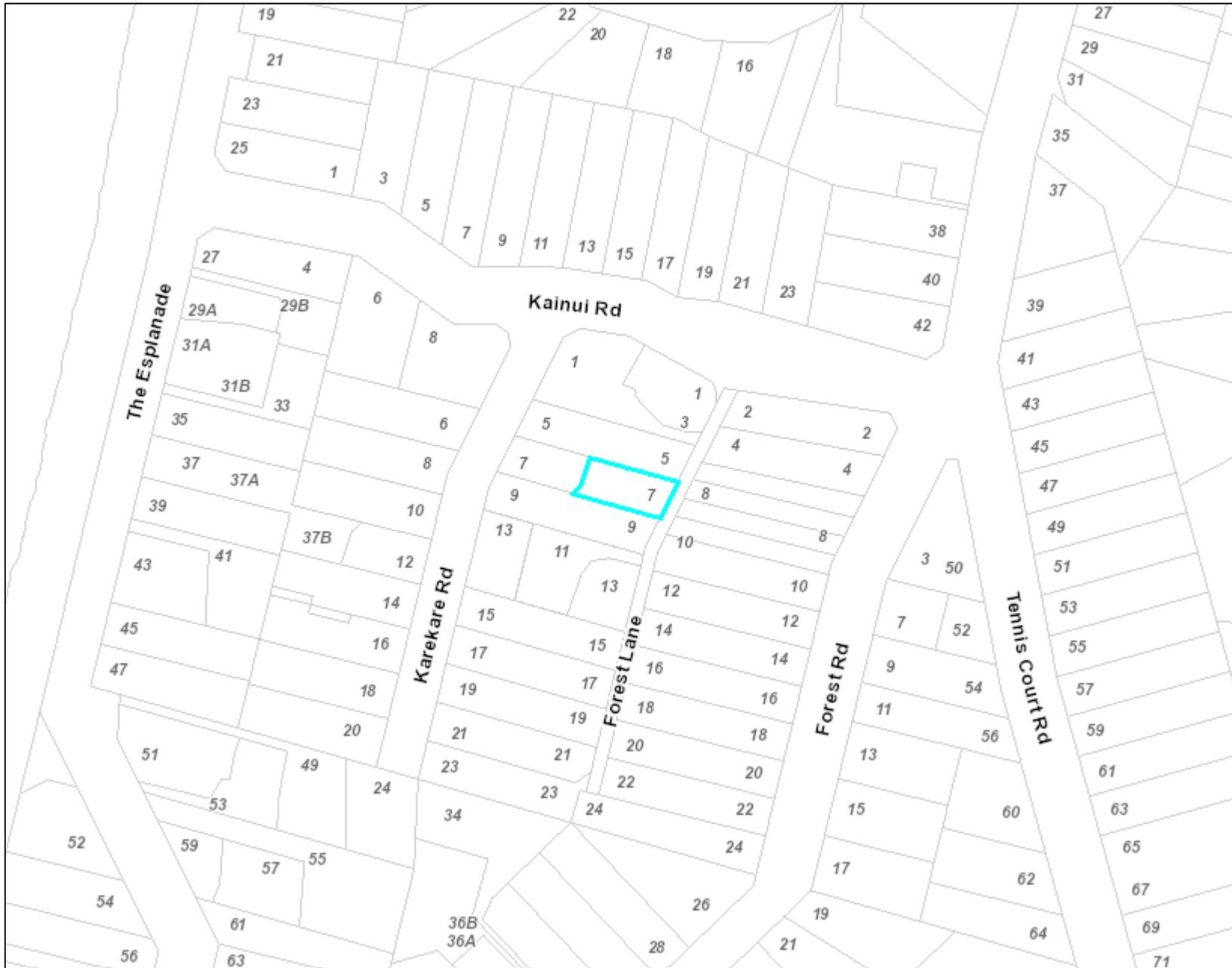
Scale @ A4 - 1:4,000



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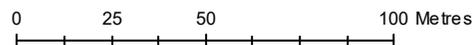
District Plan Natural Hazards - Flooding



Legend

-  Stream Corridor Unsurveyed
-  Stream Corridor
-  Erosion Area
-  River Corridor
-  Storage
-  Fill Control
-  Overflow Path
-  Ponding
-  Residual Overflow
-  Residual Ponding

Scale @ A4 - 1:2,000



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Legend

 Appealed Area

Fault Avoidance Areas

 Well Defined

 Well Defined Extension

 Distributed

 Uncertain Constrained

 Uncertain Poorly Constrained

Flood Hazard

 River Corridor

 Stream Corridor

 Overflow Path

 Residual Overflow Path

 Fill Control Area

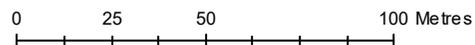
 Flood Storage Area

 Ponding Area

 Residual Ponding Area

 Shallow Surface Flow

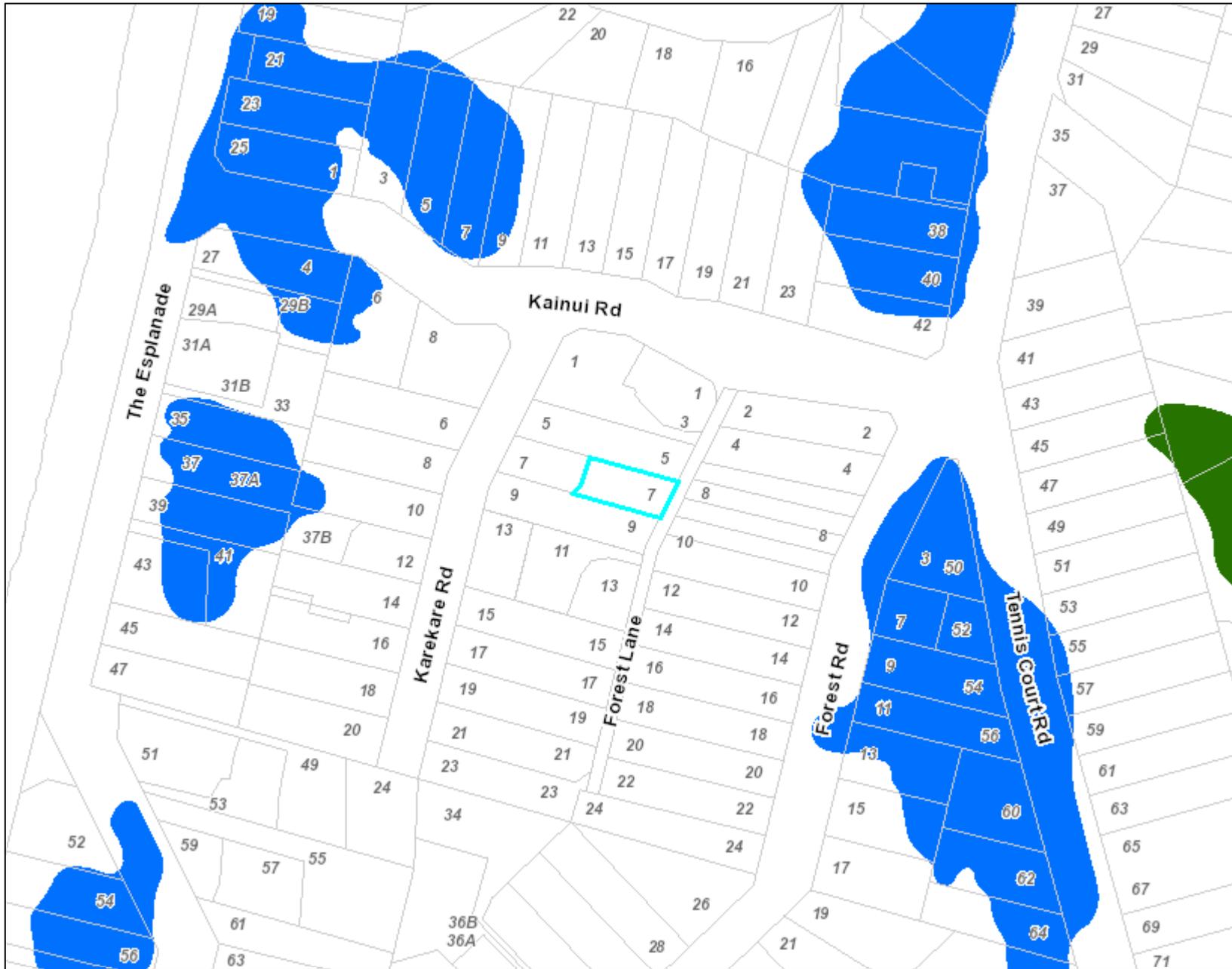
Scale @ A4 - 1:2,000



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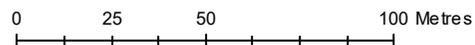
Latest Flood Hazards



Legend

- River Corridor
- Stream Corridor
- Overflow Path
- Residual Overflow
- Fill Control
- Storage
- Ponding
- Residual Ponding
- Shallow Surface Flow

Scale @ A4 - 1:2,000



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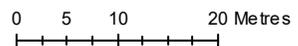
Resource Consents Map



Legend

-  Resource Consents

Scale @ A4 - 1:750



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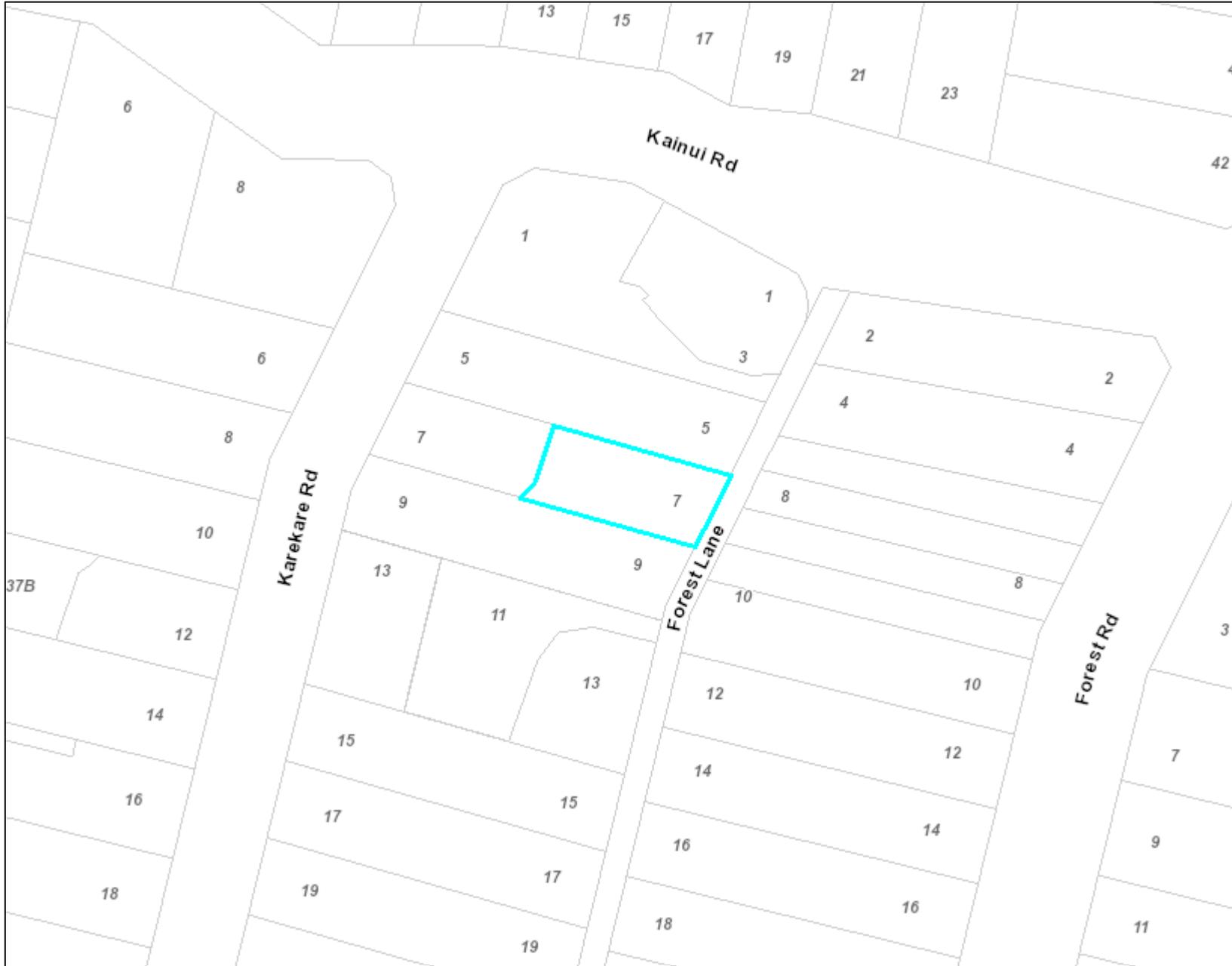
Resource Consents Report

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
010033	18 Forest Lane, Raumati South	1529213400A	FLAT 1 DP 75328 1/2 INT 809 M2 BEING	SC	AMENDMENT TO EXISTING CROSS LEASE TO SHOW ADDITIONS	N	N	s.223 Approval	1/3/2001	8/2/2001
010080	13 Karekar e Road, Raumati South	1529211901	LOT 1 DP 47447 CT 20B/434	LD	PROPOSED DWELLING ENCROACHES FRONT YARD AND	N	N	Decision Issued	27/4/2001	29/3/2001
010280	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	LD	PROPOSED FAMILY FLAT EXCEEDING 50M2	N	N	Decision Issued	10/10/2001	25/9/2001
020289	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	LD	BED AND BREAKFAST ACCOMODATION AT 1-3 FOREST LANE WITHIN	N	N	Decision Issued	10/12/2002	22/10/2002
030071	13 Karekar e Road, Raumati South	1529211901	LOT 1 DP 47447 CT 20B/434	LD	APPLICATION FOR RETROSPECTIVE EARTHWORKS CONSENT	N	N	Decision Issued	3/4/2003	20/3/2003
050130	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	SD	To undertake a three lot fee simple subdivision	N	N	s.224 Issued	5/8/2005	24/5/2005
050360	7 Forest Lane, Raumati South	1529212300	LOT 2 DP 76027 CT F1/217	LC	Addition to dwelling encroaching height envelope	N	N	Decision Issued	23/12/2005	12/12/2005
060223	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	LD	New garage and new bedroom encroaching front yard	N	N	Decision Issued	4/8/2006	31/7/2006

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
090232	1 Forest Lane, Raumati South	1529212501	LOT 2 DP 363051 C/T 256863	LD	Two storey dwelling encroaching the front and rear yard	N	N	Decision Issued	11/3/2010	18/12/2009
160184	2 Forest Road, Raumati South	1529212700B	FLAT 2 DP 65977 1/2 INT 831 M2 BEING	SN	Update a cross lease plan	N	N	s.223 Approval	10/10/2016	2/9/2016
170172	15 Karekare Road, Raumati South	1529211900	LOT 26 DP 10230 CT A2/746	LD	To construct a dwelling which encroaches the height in	N	N	Decision Issued	15/8/2017	11/7/2017
180112	15 Karekare Road, Raumati South	1529211900	LOT 26 DP 10230 CT A2/746	LD	Undertake earthworks that do not comply with the permitted	N	N	Decision Issued	6/7/2018	1/6/2018
180203	6 Karekare Road, Raumati South	1529210700	LOT 38 DP 10230 CT 446/229	LD	Construct a dwelling that exceeds maximum site coverage and	N	N	Decision Issued	10/10/2018	14/9/2018
920054	18 Forest Lane, Raumati South	1529213400A	FLAT 1 DP 75328 1/2 INT 809 M2 BEING	SC	CROSSLEASE APPLICATION	N	N	Decision Issued	24/8/1992	30/7/1992
920071	7 Forest Lane, Raumati South	1529212300	LOT 2 DP 76027 CT F1/217	SC	1 ADDITIONAL RESIDENTIAL LOT	N	N	Decision Issued	8/6/1992	15/5/1992
960206	18 Forest Road, Raumati South	1529213400B	BAL LAND 1/2 INT 809 M2 BEING	LC	ERECTION OF A DWELLING BY RELOCATING A GRANNY FLAT	N	N	Decision Issued	2/7/1996	6/6/1996
960352	13 Karekare Road, Raumati South	1529211901	LOT 1 DP 47447 CT 20B/434	LC	APPLICATION TO SEEK DISPENSATION TO 4.5 M FRONT YARD RQMT	N	N	Decision Issued	4/10/1996	5/9/1996

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
960459	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	SC	2 ADDITIONAL RESIDENTIAL LOTS	N	N	Decision Issued	11/12/1996	13/11/1996
960499	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	LC	EARTHWORKS TO FACILITATE SUBDIVISION RM 960459	N	N	Decision Issued	5/2/1997	13/12/1996
970050	4 Forest Road, Raumati South	1529212800B	BAL OF LAND 1/2 1257 M2 ON LOT 9 PT LT	SC	CROSS LEASE APPLICATION	N	N	Decision Issued	24/2/1997	17/2/1997
970136	18 Forest Road, Raumati South	1529213400B	BAL LAND 1/2 INT 809 M2 BEING	LC	RELOCATE A FLAT WITH SIDE YARDS OF 1.5M TO SOUTH AND 2.26M	N	N	Decision Issued	27/5/1997	23/4/1997
980031	18 Forest Road, Raumati South	1529213400B	BAL LAND 1/2 INT 809 M2 BEING	SD	SECOND STAGE CROSS LEASE FOR TWO LOT SUBDIVISION	N	N	s.223 Approval	19/2/1998	22/12/1997
990385	1-3 Karekar e Road, Raumati South	1529212500	LOTS 19 20 DP 10230 CT 440/151	LD	BUILD A SLIGHTLY LARGER GRANNY FLAT ENCROACHING SIDE YARD	N	N	Decision Issued	21/10/1999	24/9/1999

Health and Alcohol Licences

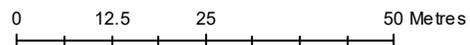


Legend

Licences

-  Health
-  Club Licence
-  Off Licence
-  On Licence

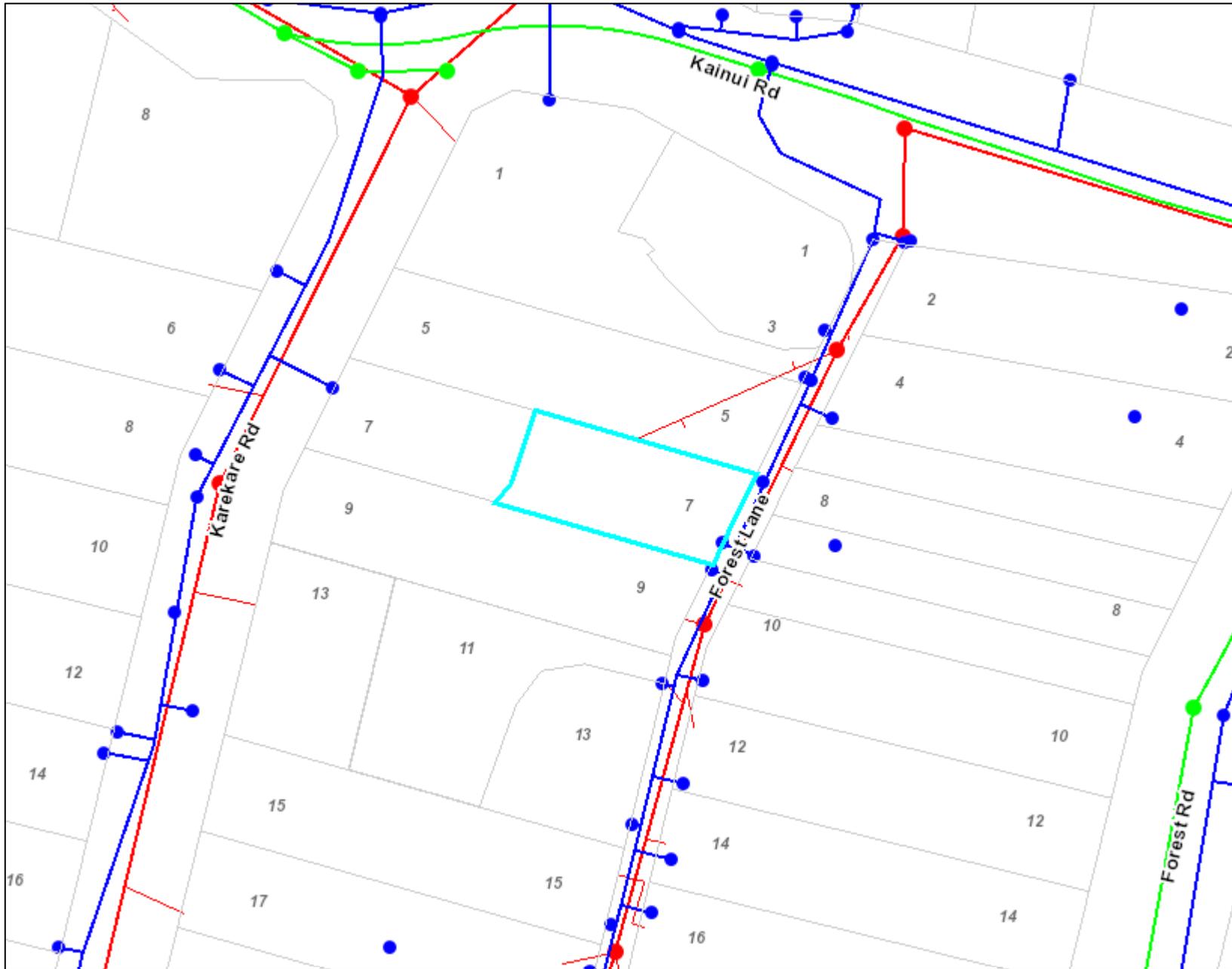
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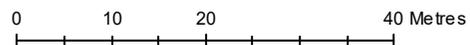
Services Network



Legend

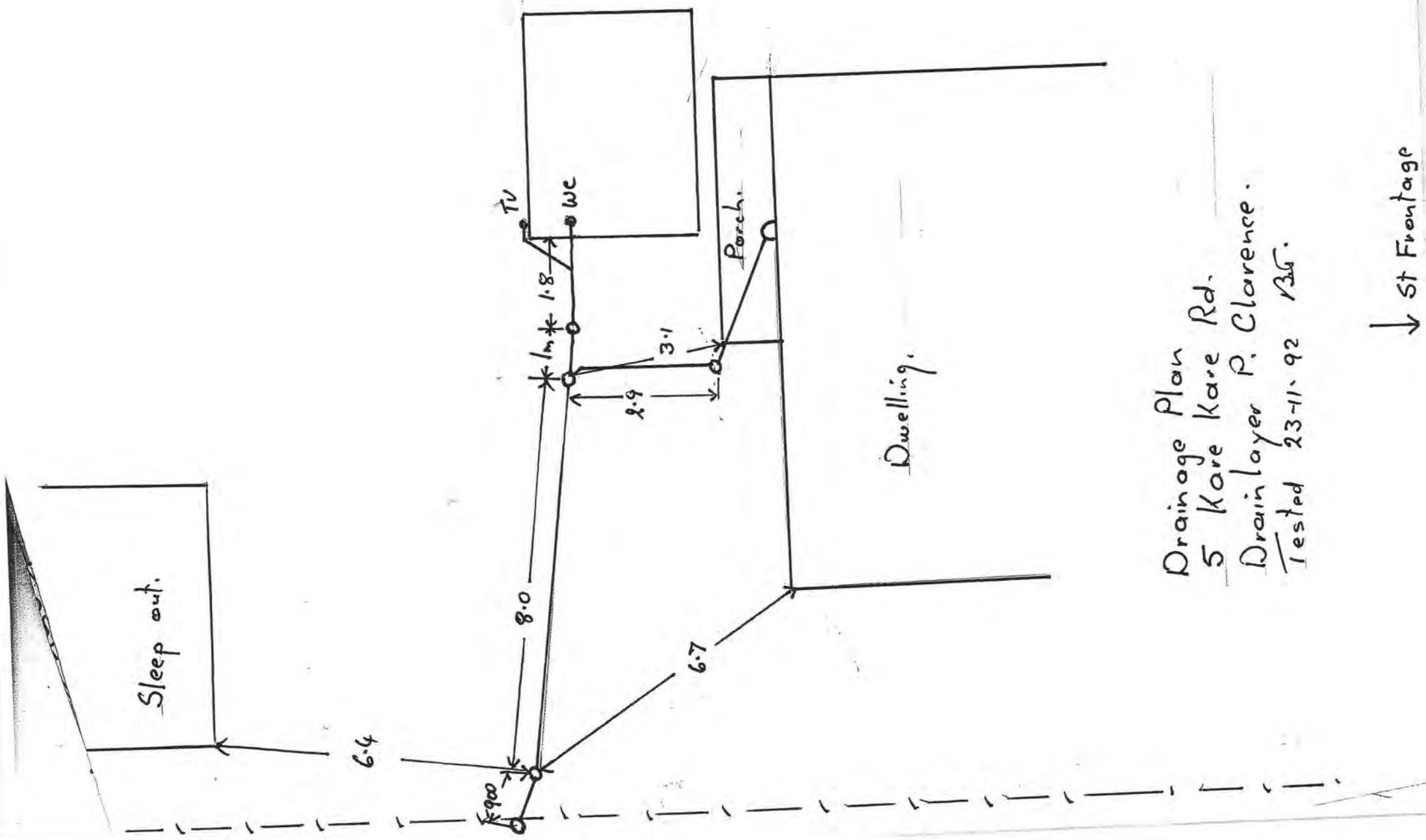
-  WS Node
-  WS Node Private
-  WS Pipe
-  SW Point
-  SW Pipe
-  SW Lateral
-  WW point
-  WW Pipe
-  WW Lateral

Scale @ A4 - 1:800



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Drainage Plan
 5 Kare Kare Rd.
 Drainlayer P. Clarence.
 Tested 23-11-92 B.G.

↓ St Frontage



23 December 2005

FILE: RM050360

Murray Stephens
7 Forest Lane
RAUMATI SOUTH

Dear Murray

RM050360: LANDUSE CONSENT TO CONSTRUCT ADDITIONS TO AN EXISTING DWELLING AT 7 FOREST LANE, RAUMATI SOUTH (LOT 2 DP 76027).

As you will see from the Resource Consent there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may object and have the matter considered by Hearing Commissioners. This is done by lodging an objection in accordance with Section 357 of the Resource Management Act 1991. Please note that, if you do wish to object, you must advise the Resource Consents Manager within 15 working days from the date of receiving this consent.

There is no deposit for an objection. However, a fee of \$144.00 (including GST) is required if Council's Subdivisional Engineer is involved. Time and costs will also be charged unless waived by the Hearing Commissioners and if an objection is upheld the deposit will be refunded in full; if upheld in part then half the deposit will be refunded.

Please note also that this consent will expire within 5 years of the date of issue of this decision. You may apply for an extension of the consent before the consent lapses. Council may grant an extension if it is satisfied that the criteria set out in Section 125 of the Resource Management Act 1991 are met.

You are also advised that before development can take place, you will need to obtain all other necessary consents and permits, including those under the Building Act 2004, and comply with all relevant Council Bylaws.

If you have any concerns or enquiries about the conditions please do not hesitate to contact me on (04) 9045 - 831

Thank you for dealing with the Kapiti Coast District Council.

Yours faithfully

Aidan Robinson
RESOURCE CONSENTS PLANNER

Kapiti Coast District Council

Phone (04) 904 5700, Fax (04) 904 5830 175 Rimu Road, Private Bag 601, Paraparaumu. Website www.kapiticoast.govt.nz



RESOURCE CONSENT NUMBER: RM050360

That Officers acting under Delegated Authority from Council and pursuant to Section 104B of the Resource Management Act 1991 **GRANT** consent to the proposal for construction of additions at 7 Forest Lane, Raumati South, being Lot 2 DP 76027, subject to the following conditions:

1. The consent holder shall notify the Council's Compliance Officer in writing **48 hours** before the consent is carried out. The consent holder shall fill out and return (by fax 04 9045815 or post Private Bag 601, Paraparaumu) the form attached to the decision letter.
2. That the consent holder shall pay to the Kapiti Coast District Council the actual and reasonable costs associated with the monitoring of conditions [or review of consent conditions], or supervision of the resource consent as set in accordance with Section 36 of the Resource Management Act 1991. These costs* may include site visits, correspondence and other activities, the actual costs of materials or services, including the costs of consultants or other reports or investigations which may have to be obtained.

*Please refer to Kapiti Coast District Council's current schedule of Resource Management fees for guidance on the current hourly rate chargeable for Council's staff.

3. The proposal shall be in accordance with the plans by Designscape Shark Bait Limited, titled: 'Stephens House: 7 Forest Lane – Raumati South: Proposed Additions' Plan number 2150-01, Sheets 1-4 of 8 and stamped 'Final Approved Plans' on 23/12/05 and other information submitted with the application RM050360.

ADVICE NOTES:

1. This resource consent is not a consent to build. Such consent must be obtained under the Building Act 2004 prior to commencement of construction.
2. Rights of objection to the conditions specified above may be exercised pursuant to Section 357(2) by the consent holder. Any objection shall be made in writing, setting out the reasons for the objection within 15 working days of this notification or within such extended period as the Council in any special case may allow.

REASONS FOR DECISION:

1. The effects on the environment of the activity are considered to be no more than minor.
2. Parties that may be adversely affected by the proposal have given their written approval.

Kapiti Coast District Council

Phone (04) 904 5700, Fax (04) 904 5830 175 Rimu Road, Private Bag 601, Paraparaumu. Website www.kapiticoast.govt.nz

3. The proposal is not contrary to the Objectives and Policies of the Kapiti Coast District Plan.

DECISION: APPROVED

RM 050360

DATE: 23 December 2005

A handwritten signature in black ink, appearing to read 'Aidan Robinson', with a long horizontal flourish extending to the right.

Aidan Robinson

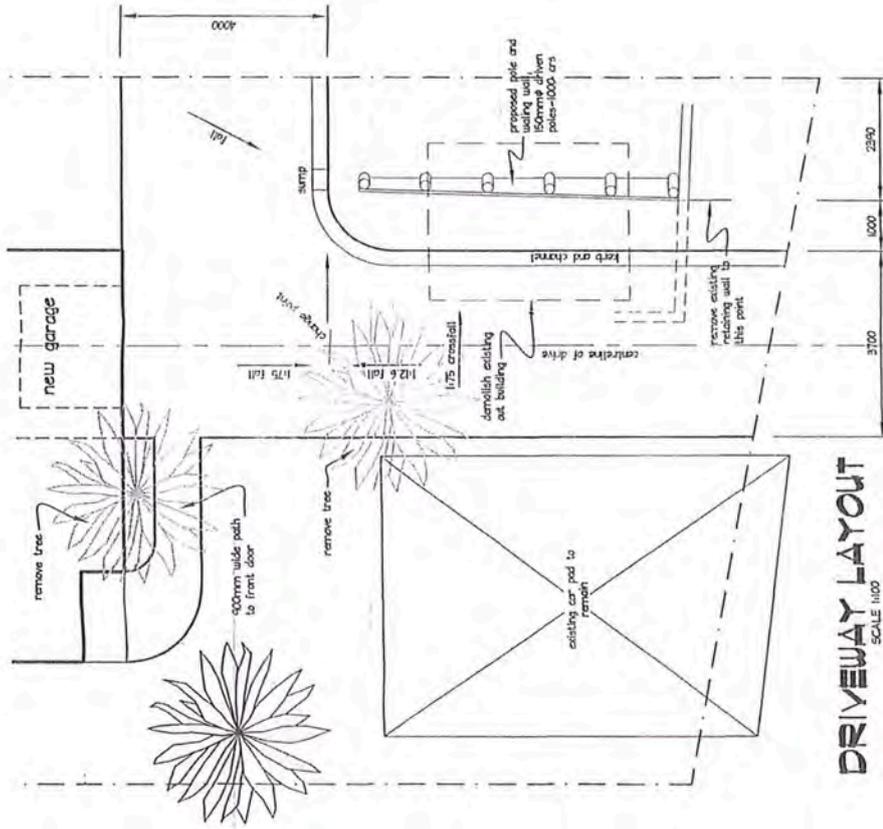
RESOURCE CONSENTS PLANNER

RAWNING COPY
safety fence not shown

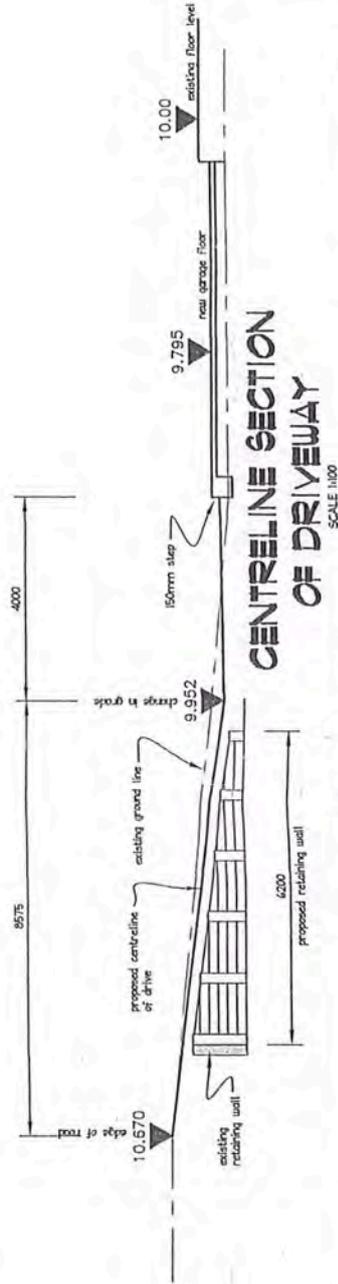


RM 050366
FINAL APPROVED PLANS
23/12/05

DRIVEWAY WALL
SCALE 1:20

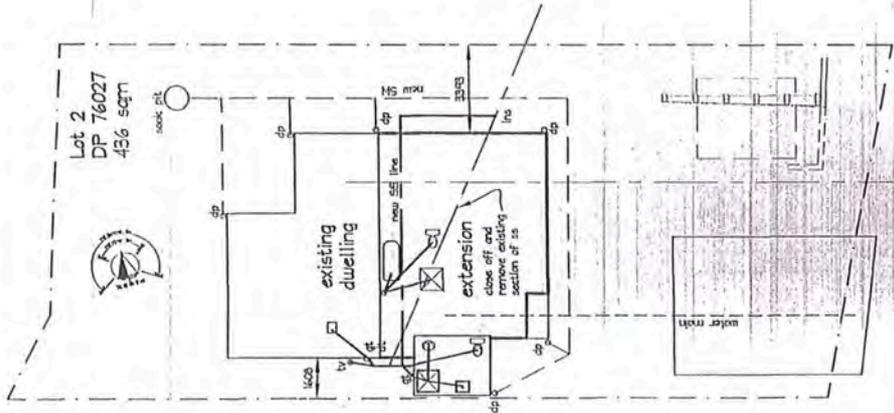


DRIVEWAY LAYOUT
SCALE 1:100



CENTRELINE SECTION OF DRIVEWAY
SCALE 1:100

the contractor shall check and verify dimensions before construction



SITE PLAN
SCALE 1:1000

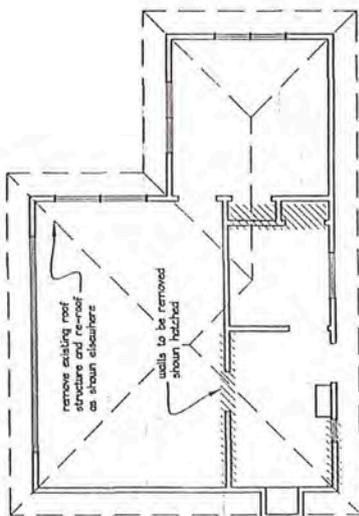
STEPHENS HOUSE
7 FOREST LANE - RAUMATI SOUTH
PROPOSED ADDITIONS

Allan Pullinger, rea, a.ipenz
298 Rosetta Road
sunny Raumati
phone & fax: 04 902 8528
Mob: 025 420-486

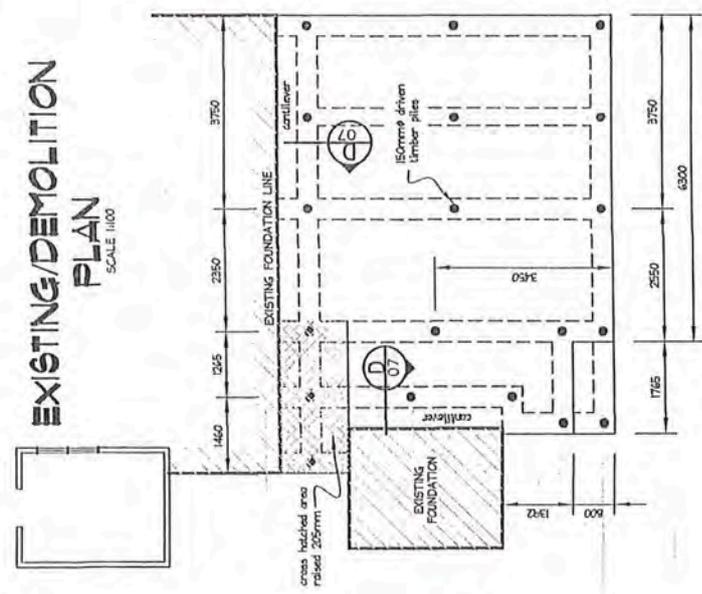
designscape
Civil, Structural and Building design
http://www.designscape.net.nz
email: info@designscape.net.nz

scale as shown
date Oct 2005
drawn Stuart Jackson
designed Allan Pullinger

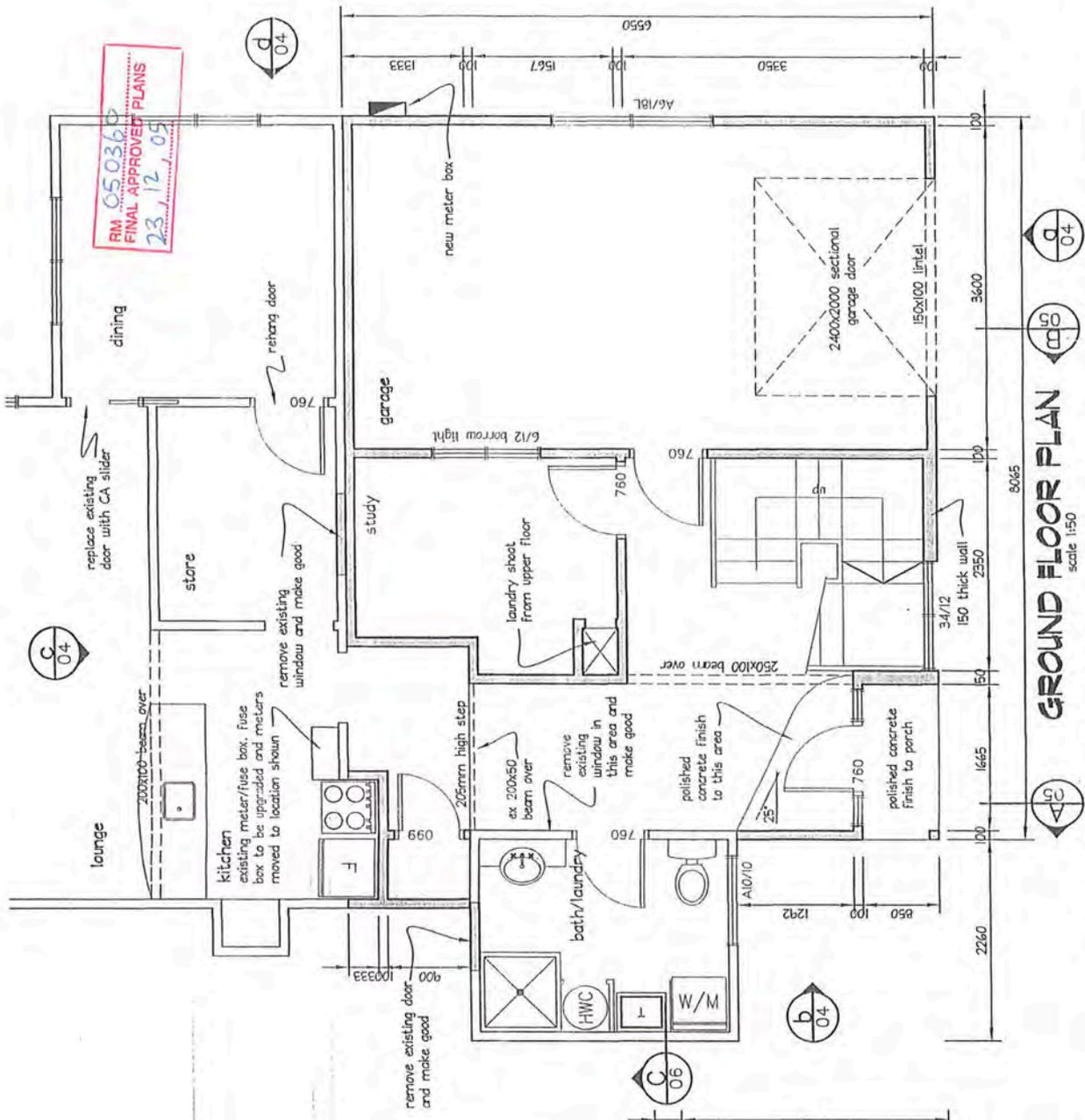
plan number 2150-01
Sheet 01 of 8



EXISTING/DEMOLITION PLAN
SCALE 1:100



FOUNDATION PLAN
SCALE 1:100



GROUND FLOOR PLAN
scale 1:150

RM 05.03.60
FINAL APPROVED PLANS
23.12.05

the contractor shall check and verify dimensions before construction

STEPHENS HOUSE
7 FOREST LANE - RAUMATI SOUTH
PROPOSED ADDITIONS

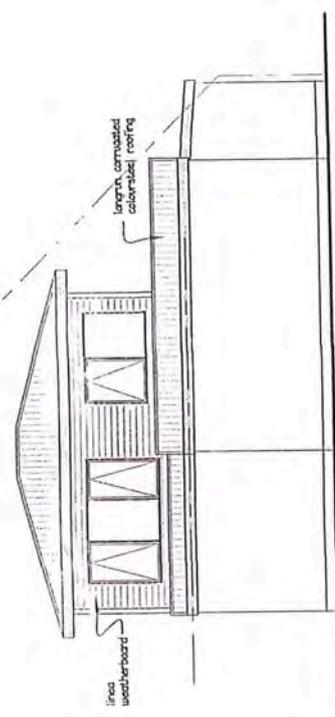
designscape
Civil, Structural and Building design
http://www.designscape.net.nz
email: info@designscape.net.nz

Allan Pullenger, rea, a.ipenz
298 Rosetta Road
sunny Raumati
phone & fax 04 902 8528
Mob 025 420-486

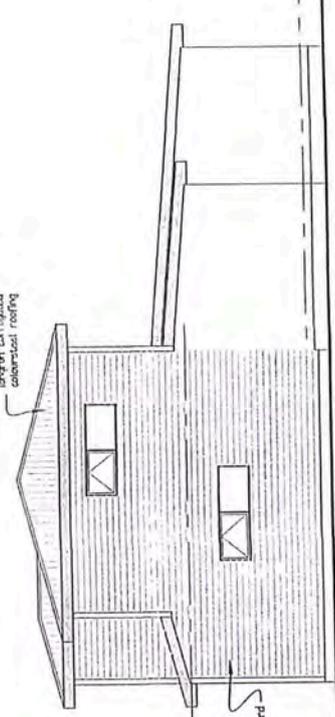
scale as shown
date Oct 2005
drawn Stuart Jackson
designed Allan Pullenger

plan number 2150-01
Sheet 02 of 8

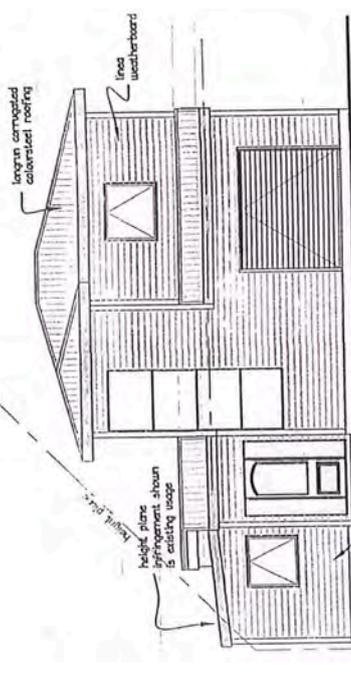
RM 050360
 FINAL APPROVED PLANS
 23.12.05



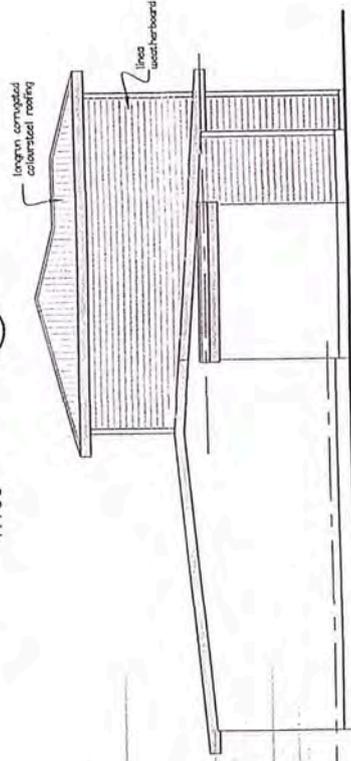
ELEVATION b
 02
 1:100



ELEVATION d
 02
 1:100



ELEVATION a
 02
 1:100



ELEVATION c
 02
 1:100

the contractor shall check and verify dimensions before construction

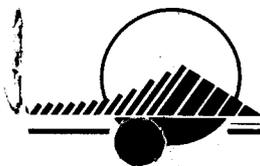
STEPHENS HOUSE
 7 FOREST LANE - RAUMATI SOUTH
 PROPOSED ADDITIONS

plan number
 2150-01
 Sheet 04 of 8

scale 1:100
 date Oct 2005
 drawn Stuart Jackson
 designed Allan Pullinger

Allan Pullinger: rea. a.ipenz
 288 Roseita Road
 sunny Raumati
 phone & fax 04 902 8528
 Mob 025 420-486

designscape
 CIVIL, STRUCTURAL AND BUILDING DESIGN
 http://www.designscape.net.nz
 email info@designscape.net.nz



KAPITI COAST DISTRICT COUNCIL

Inquiries to: Mr Chammen

Ref: SP784

Correspondence
to be addressed to:
THE GENERAL MANAGER

8 June 1992

B D Sayer
69 Heke Street
Ngaio
WELLINGTON 4

Dear Sirs

**SCHEME PLAN SP784 - PROPOSED SUBDIVISION AT 7 KAREKARE ROAD,
RAUMATI SOUTH FOR D L SAYER**

This is to advise that pursuant to Section 105 of the Resource Management Act 1991 the proposed subdivision as shown on Scheme Plan SP784 has been approved by Council subject to the following conditions:

1. The Developer's Representative is to supply a copy of the title and survey data plans and is to list and indicate how each condition has been met to the satisfaction of Regulatory Services Manager.
2. The payment of Council engineering fees of \$120.40 (GST inclusive) per new lot created.
3. The subdivider shall either:
 - (a) Certify that a building site is available on each allotment on which buildings of the type permitted may be erected using foundations not requiring specific design in terms of Kapiti Coast District Council Building Bylaw

This certification shall be in the form of Appendix B NZS 4404:1981 Code of Practice for Urban Subdivision and confirm that a safe bearing pressure of soil supporting foundations is not more than 600 mm below the surface level of the ground. The certificate shall be accompanied by the site investigation report of the Soils Engineer.

or

- (b) Supply to Council a report detailing site investigation work and findings together with recommendations for foundation design whether or not for buildings not requiring specific design in terms of Kapiti Coast District Council Building Bylaw.

In cases within the provisions of Clause 2(b) above, the subdivider shall enter into a Deed of Covenant with Council that the subdivider undertakes to notify any intending purchaser at the time of initial enquiry of the soil conditions and supply site investigation details and foundation recommendations.

The Deed of Covenant shall be prepared by Council's solicitor at the cost of the subdivider.

A separate topographical plan shall be forwarded with the Engineer's report indicating contours prior to placement of filling and on completion. Such contours to be at not greater than 1 metre intervals and the scale of the plan to be 1:500. The plan shall also show the position and approximate level of all test locations including test borings.

Attention is drawn to the Council requirement that:

"All building permit plans shall show contours of the ground surface and the presence of peat or steep banks over the whole lot and immediately adjacent land. Such contours shall be at not more than 1 metre intervals. This requirement shall apply regardless of the need for earthworks or earthfilling."

This applies to Lot 1 only.

4. All sections shall have drive-on access no steeper than 1 in 5.
5. Power and telecommunication services shall be provided to the satisfaction of the Subdivisional Engineer.
6. The subdivision shall be reticulated for sewage disposal and high pressure water. All lots shall be provided with individual service connections.
7. Any easements required by Council for drainage or other services shall be shown on the land transfer title plan. Easements are to be shown over any communal services where these pass through residential lots.

Any easement that is required by the Subdivisional Engineer is to be prepared by solicitors at the owner's expense.

8. "As built" plans of all services adequately dimensioned to show the relationship of such services to the lot boundaries shall be supplied by the subdivider and to the approval of the Subdivisional Engineer.
9. The subdivider shall comply with the requirements of the Kapiti Coast District Council Code of Practice for urban subdivision.

10. Vehicle entrances to Lots 1 and 2 shall be formed, metalled and sealed. A manoeuvre area off Forest Lane shall be provided for Lot 2 for a 90 percentile car. This shall be to the approval of the Subdivisional Engineer.
11. The payment of reserves contribution of \$3,000 plus GST (being 7.5% of the estimated value of \$40,000 for Lot 1).
12. The Subdivider shall nominate a registered Developer's Representative to supervise and administer the subdivision in terms of the Kapiti Coast District Council Code of Practice for Urban Subdivision.
13. All costs arising from any of the above conditions shall be at the expense of the subdivider.

Any objection to this decision or any condition imposed with the decision must be lodged with Council within one month of receiving this letter.

Yours faithfully

P Chammen
PLANNING OFFICER

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