

16 JUL 2010

DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE
RD 1
KATIKATI 3177

Dear Sir/Madam

Application for a Building Consent – BC NUMBER 81255

I am pleased to advise that your application for a building consent has been processed for:

INSTALLATION OF SOLAR HOT WATER HEATING SYSTEM

The Consent will be granted as soon as the attached invoice is paid. If all fees are not received within **six months** of this letter it will be deemed you no longer wish to proceed with your project in which case your application will be cancelled and documentation returned to you. Lodgment and actual processing time fees are payable even if your project does not proceed.

If you pay by mail or at a Service Centre we will post the Building Consent and plans to you. If you pay at the Barks Corner office you will be able to take the consent and plans away with you. Your Consent will have a BC number which we ask you to use when contacting us with any inquiries or booking inspections.

You must not start any work until you have received the Consent because it may have some conditions that need to be complied with. Starting work prior to receiving your consent may compromise our ability to undertake inspections to assess building code compliance and prevent the issue of a Code Compliance certificate on completion of your project.

Thank you for applying for a Building Consent with the Western Bay of Plenty District Council, we now look forward to working with you on the construction of your project.

If you have any queries regarding the account please do not hesitate to contact the Regulatory Services team on 5718 008.

Yours faithfully

Regulatory Officer

21 August 2017

THE FIREMAN LTD
PO BOX 4227
MOUNT MAUNGANUI SOUTH
MOUNT MAUNGANUI 3149

Dear Sir/Madam

Thank you for applying for a building consent with Western Bay of Plenty District Council. The consent has now been granted and documentation is enclosed herewith.

Your building consent number is **90396**, please quote this number when booking inspections.

For a Code Compliance Certificate to be issued on the completion of the project you must call for all of the inspections shown on the Consent Required Items Report attached to your copy of the plans. Our Building Control Officer (BCO) will work with you to achieve full compliance with the New Zealand Building Code.

Each inspection type required will be charged for therefore it is important that the work is ready when the BCO calls. Please note more than one inspection type may be carried out during a visit to the site. **Re-inspections to check on items that did not meet the code requirements and failed previous inspections may incur an inspection fee.**

The BCO is generally unable to approve stages of work undertaken that cannot be seen. Therefore it is important that work is not closed in before it has been inspected. Occasionally and only with the BCO's prior approval closing in work may be agreed to subject to photographs or other evidence as determined by the BCO.

Please book inspections by telephoning **(07) 579 6514** between **8am and 3pm**. You must book inspections at least 3 full working days in advance.

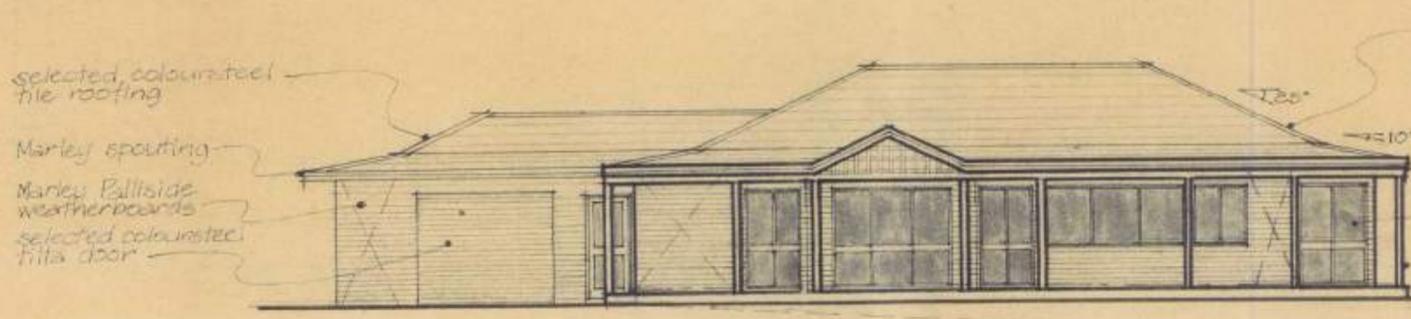
General Information Relating to this Building Consent:

This consent is issued in respect of the documents lodged with the application as approved. If you wish to make changes to the project then the prior approval of Council is required. An amendment application and revised plans and specifications may be required, additional fees will be payable.

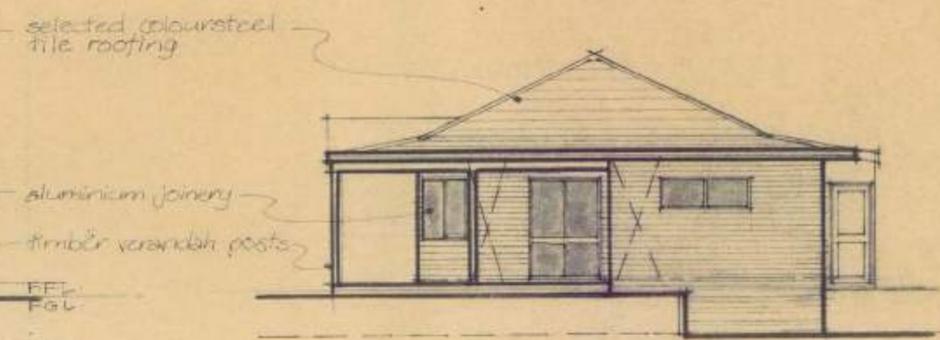
The Building Act requires you to apply for a Code Compliance Certificate when the project is fully completed.

Yours faithfully

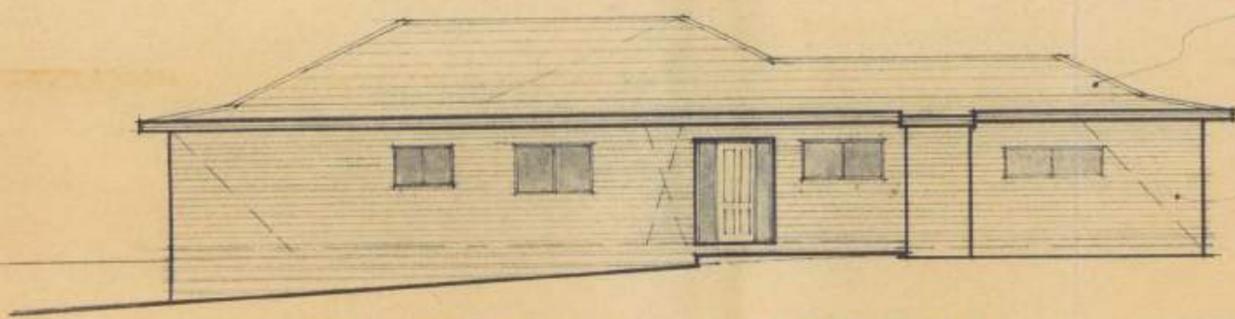
Hilary Kingma
Building Administration Officer



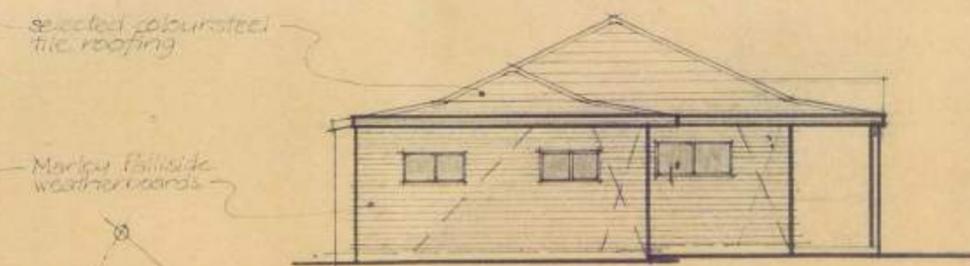
SOUTH WEST ELEVATION 1:100



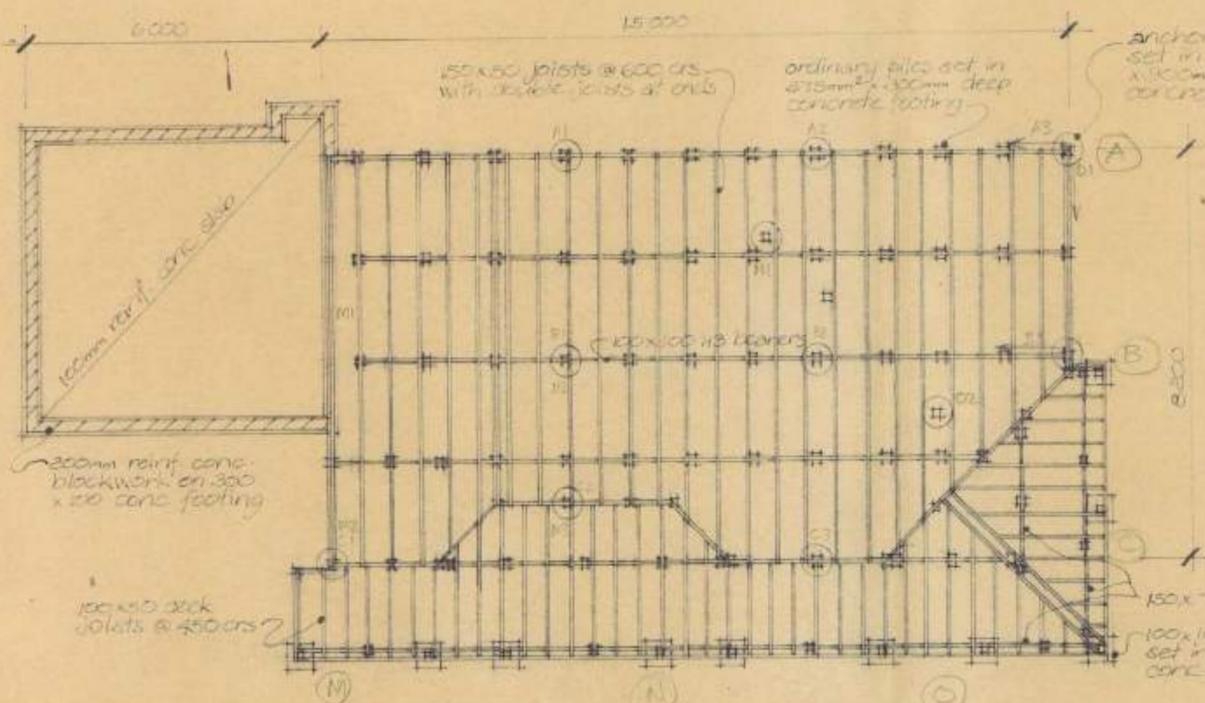
SOUTH EAST ELEVATION 1:100



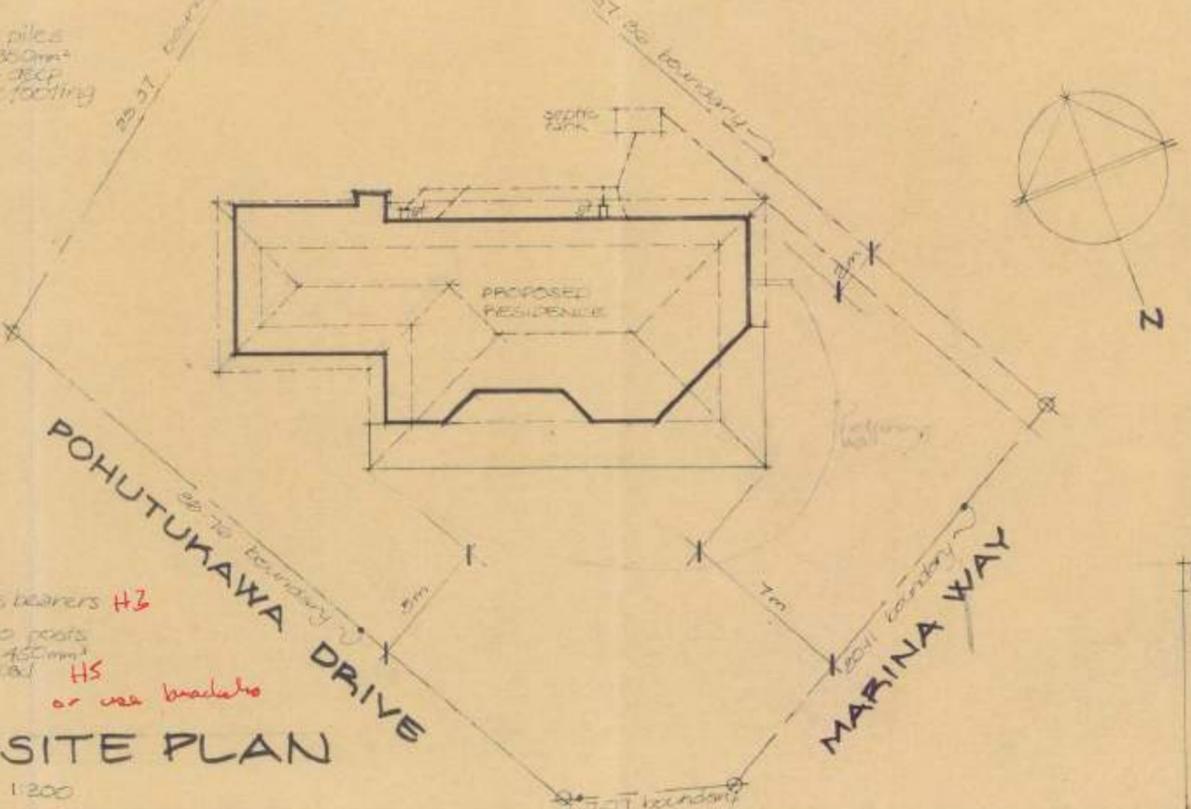
NORTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



FOUNDATION PLAN 1:100



SITE PLAN 1:200

NOTES:
 contractor shall check all dimensions on site.
 all materials & fixings to comply with NZS 3603 & 1991 Building Act.

PROPOSED RESIDENCE for
 MR R & MRS P MATHERS at LOT 22 DPS 27597
 POHUTUKAWA DRIVE ATHENREE

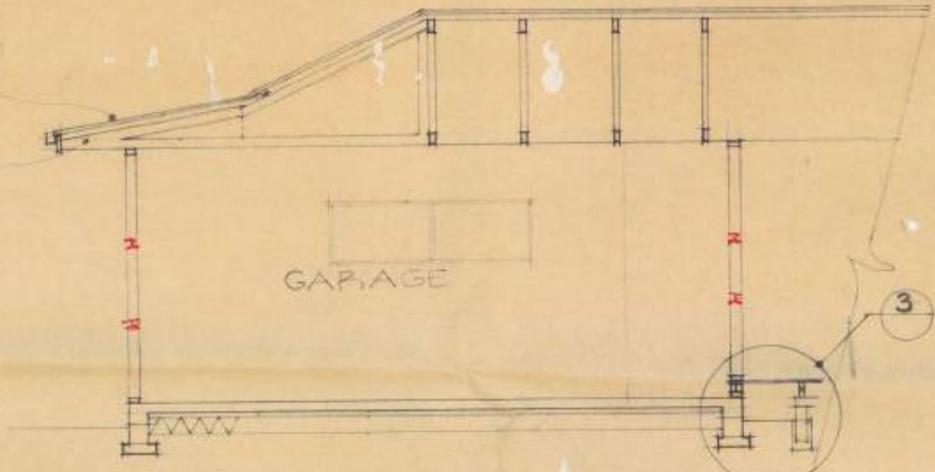
ELEVATIONS · SITE		2
FOUNDATION PLANS		
DRAWN: S. POLUNKA	DATE: MAY 1986	SCALE: AS SHOWN

Marley spouting
 150x25 H3 fascia
 250x75 H3 verandah beam bolted to top of posts with 2 M12 bolts
 100x100 H3 posts

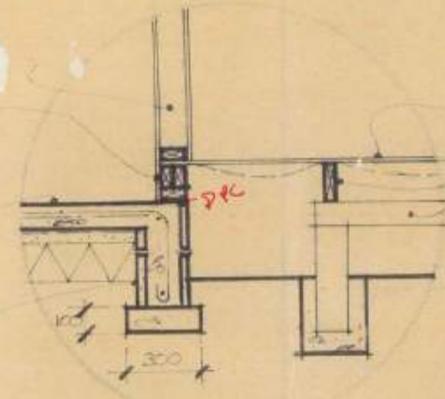
DETAIL 1 1:20

100mm timber framed wall
 2100x60 fixed to 100x100 bottom plate bolt fixed over DPC to conc slab with M12 bolt
 100mm conc slab reinf with 600 mesh laid over DPM on 50mm sand blinding & 150mm hard conc fill
 200mm conc filled conc slab foundation wall reinf with 600 & R6 @ 200 CRS

selected coloursteel tiles fixed over breather type building paper & wire netting to 75x50 purlins @ 300 CRS
 trusses to manufacturers design & specification @ 900 CRS
 75x40 soffit posts @ 450 CRS
 25mm Hardiflex soffit lining

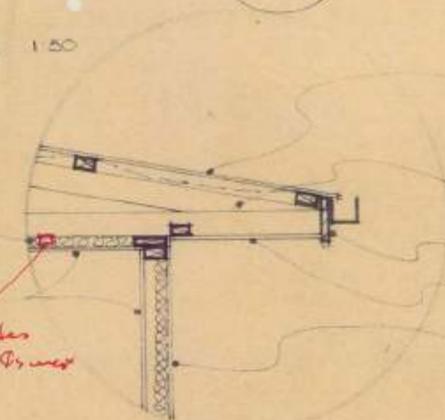


SECTION B 1:50



20mm particle board flooring over 421 sisalation
 150x50 joists @ 600 CRS
 100x100 H3 beamer
 P12 ceiling batts
 9.5mm gib board lining

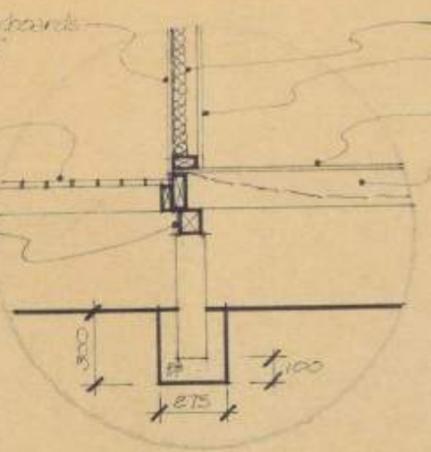
DETAIL 3 1:20



selected coloursteel tiles fixed over breather type building paper & wire netting to 75x50 purlins @ 300 CRS
 trusses to manufacturers design & specification
 150x25 H3 fascia
 45mm Hardiflex soffit lining
 Numpy Ballside weatherbeams fixed to 100mm timber framing over breather type building paper

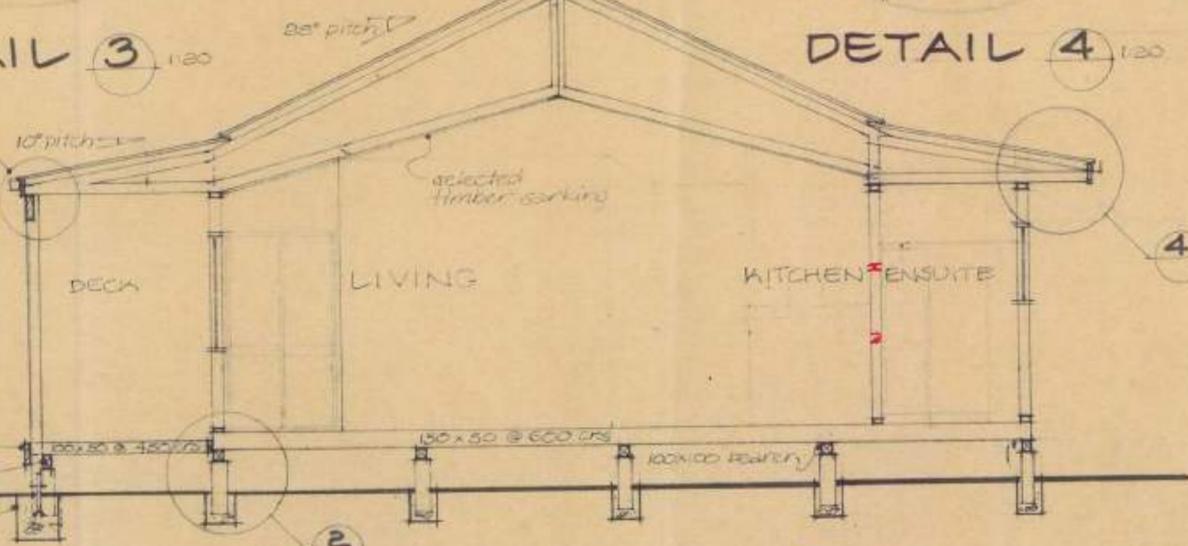
DETAIL 4 1:20

Marley Ballside weatherboards fixed to 100mm timber framing over breather type building paper
 100x40 H3 timber decking fixed to 100x50 joists @ 450 CRS
 100x100 beamer H3 fixed to top of 125mm concrete set in concrete footing



DETAIL 2 1:20

P18 wall Batts
 9.5mm gib board lining
 20mm particle board flooring over 421 sisalation
 150x50 joists @ 600 CRS
 100x50 boundary joist
 150x75 beamer
 gully 'L' bracket fixed to bottom of posts & set in 450mm³ conc pad



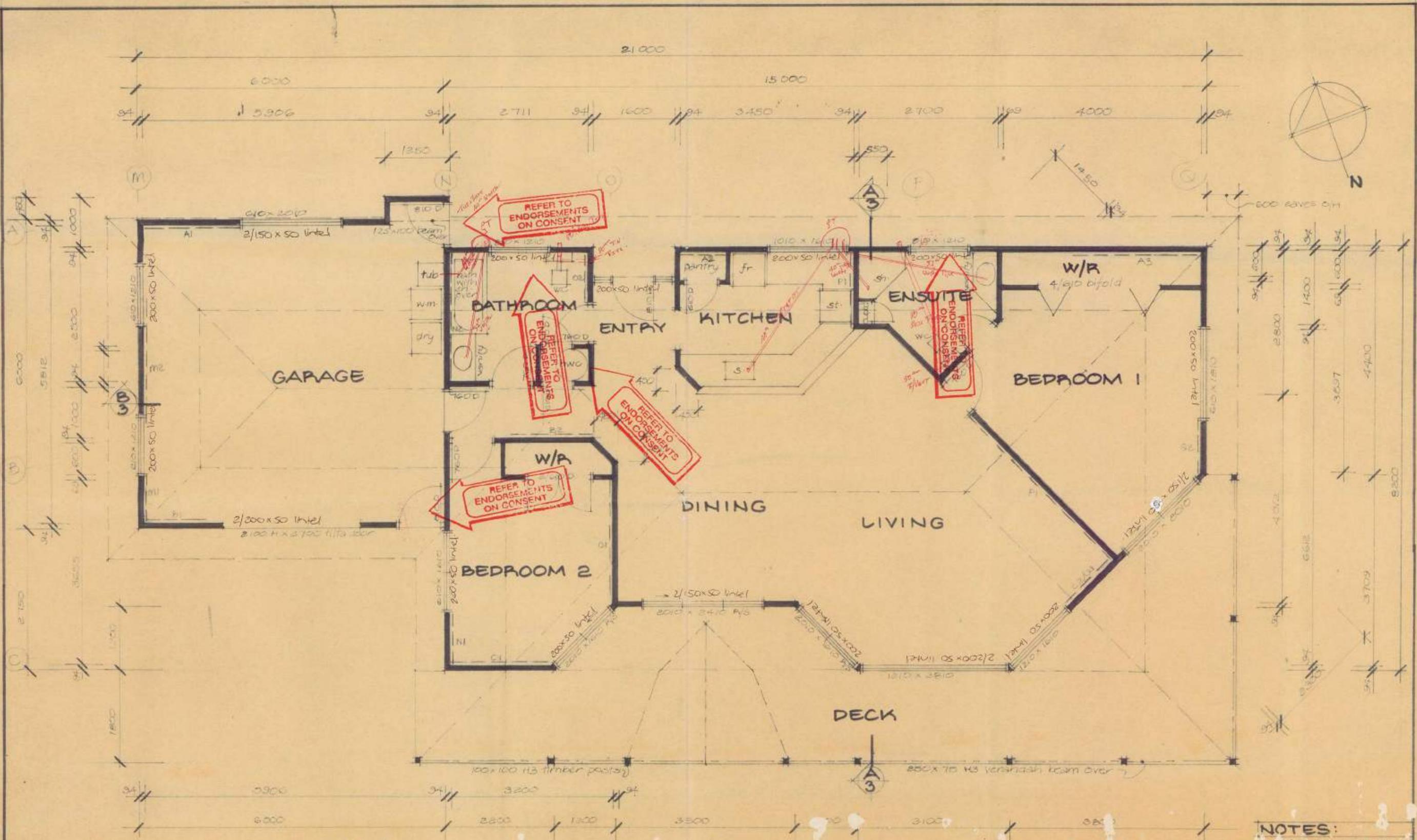
SECTION AA 1:50

CL
 2400
 FL

NOTES:
 contractor shall check all dimensions on site
 all materials and fixings to comply with NZS3604 & 1991 Building Act

PROPOSED RESIDENCE for
 MR P & MRS P MATHERS at LOT 22 DPS 27597
 POHUTUKAWA DRIVE ATHENREE

SECTIONS & DETAILS		3
DATE: 15/05/06	SCALE: AS SHOWN	



PROPOSED FLOOR PLAN 1:50

Note Area under deck to be vetted and dressed wall to be provided in front of deck not to rely on deck posts

- NOTES:**
- Control for shall check dimensions on site
 - all materials & fittings to comply with NZS3604 & 1991 Building Act
 - bracing
 - door lintels - 2/100 x 50

<p>HOUSE 118 SQ MET GARAGE 36 SQ. MET.</p>	<p>PROPOSED RESIDENCE for MR A & MRS P MATHERS at LOT 22 DPS 27597 POHUTUKAWA DRIVE ATHENREE</p>	<p>FLOOR PLAN</p> <table border="1"> <tr> <td data-bbox="2234 2021 2425 2096">DRAWN BY: S. POOLHEAD</td> <td data-bbox="2425 2021 2601 2096">DATE: MAY 1996</td> <td data-bbox="2601 2021 2895 2096">SCALE: 1:50</td> </tr> </table>	DRAWN BY: S. POOLHEAD	DATE: MAY 1996	SCALE: 1:50
DRAWN BY: S. POOLHEAD	DATE: MAY 1996	SCALE: 1:50			



CODE COMPLIANCE CERTIFICATE

Building Consent No: **56730**

PROJECT	PROJECT LOCATION
<p>DWELLING</p> <p>Intended Use: DWELLING & GARAGE</p> <p>Intended Life specified at 50 years</p> <p>Being stage of an intended stages</p> <p>COUNCIL CHARGES</p> <p>The Councils total charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are:</p> <p>SNil</p>	<p>Street Address: 12 POHUTUKAWA DRIVE</p> <p>Legal Description: LOT 22 DPS27597</p> <p>Ref No: 1016/1</p> <p>Valuation Number: 06814 007 91</p> <p>This is:</p> <p><input checked="" type="checkbox"/> A final code compliance certificate issued in respect of all the building work under the above building consent.</p> <p><input type="checkbox"/> An interim code compliance code certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.</p> <p><input type="checkbox"/> This certificate is issued subject to the conditions specified in the attached _____ page(s).</p>

Signed by or on behalf of the Council.

**THIS CERTIFICATE
DOES NOT APPLY TO
ELECTRICAL WIRING
AND GAS FITTING**

Name:



Position:

Building Officer

Date:

17/12/96



Barkes Corner, Greerton, Tauranga.

Private Bag 12803, Tauranga.

Telephone: 07 571 8008. Facsimile 07 577 9820.

Offices at Katikati and Te Puke.

NO: 56730

APPLICANT

MATHERS, RONALD CLIFFORD
6 POHUTUKAWA DRIVE
R D 1
KATIKATI

PROJECT LOCATION

12 POHUTUKAWA DRIVE

LEGAL DESCRIPTION

Property No: 1016/1

Valuation No: 06814 007 91

Legal Description:
LOT 22 DPS27597

COUNCIL CHARGES

The balance of Council's charges payable on uplifting this building consent, in accordance with the tax invoice are:

\$NIL

All fees are GST inclusive

PROJECT

DWELLING

Intended Use:
DWELLING & GARAGE

Intended Life: Not less than 50 years

Estimated Value: \$105,000.00

Signed for and on behalf of the Council:

Name: *J. Shuttle*

Position: Environmental Services Clerk

Date: 14/6/196

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is subject to the conditions specified in the attached 2 pages.



MATHERS, RONALD CLIFFORD
6 POHUTUKAWA DRIVE
R D 1
KATIKATI

Dear Sir/Madam

Thank you for applying for a building consent with the Western Bay of Plenty District Council. The consent has now been issued.

The Inspector will work with you to achieve full compliance with the NZ Building Code. To help us help you please call for all of the inspections shown on the attached sheet.

All inspections made will be charged for and it is important that the work is ready when the Inspector calls. Extra inspections to check on items that did not meet the code requirements will incur extra costs. The Inspector will not accept anything that he cannot see and this makes it important that work is not closed in before it is inspected.

Book inspections by telephone on (07) 571 8008 and ask for the Environmental Services Clerk.

Your building consent number is 56730. Please quote this number when booking inspections and make sure that your builder and subcontractors know the number.

Your Inspector will be NEAL LINDSAY and you can expect to see him on the job.

Yours faithfully

Graham Roberts
SUPERVISOR HEALTH & BUILDING



BUILDING CONSENT NUMBER 56730

**GENERAL INFORMATION RELATING TO THE
ISSUE OF THE BUILDING CONSENT**

1. All applicable items listed in the Project Information Memorandum standard requirements apply to this Building Consent.

2. The consent is issued in respect of the documents lodged with the application and approved by the Inspector. The project should not be varied.

If you wish to make changes to the project then the prior approval of the Inspector is required. Provide revised plans and specifications and complete the variation application form. Additional fees will be payable.

3. Call for inspections for all of the items listed on the inspection form.

4. Notify the Council when the project is fully completed.

5. General information applying to parts of your building project are listed below. If this information is followed then the Council will accept them as achieving building code compliance.

ANY PLACE FROM WHERE A PERSON CAN FALL 1 METRE OR MORE SHOULD BE FITTED WITH A SAFETY BARRIER. FOR EXAMPLE, DECKS BALCONIES, HIGH LEVEL OPENINGS. (NZ BUILDING CODE SECTION F4.) THE CONSTRUCTION OF BARRIERS SHOULD COMPLY WITH SECTION B1 OF THE BUILDING CODE. IN SOME CASES TOOTHED RING CONNECTORS AND NAIL PLATES WILL BE REQUIRED. (NZ BUILDING CODE SECTION B1).

EFFLUENT FROM THE SEPTIC TANK IS TO BE PIPED TO AN EFFLUENT TRENCH OF 20 METRES MINIMUM LENGTH. SOAKHOLES WILL NOT BE ACCEPTED FOR EFFLUENT DISPOSAL. (ENVIRONMENT BOP ON SITE EFFLUENT TREATMENT REGIONAL PLAN.)

EXTERIOR WINDOW AND DOOR JOINERY EXPOSED TO WEATHER CONDITIONS SHOULD BE FLASHED CORRECTLY TO SEAL THE WINDOWS FROM WATER PENETRATION. HEAD FLASHINGS SHOULD BE PROVIDED IN ALL CASES EXCEPT WHERE THE JOINERY IS HARD UP TO THE EAVES AND THE HEAD IS COVERED BY A FRIEZE BOARD OR SIMILAR. SEALING WITH



SILICONE RUBBER TYPE SEALANTS IS NOT ACCEPTABLE AT WINDOW HEADS. (NZ BUILDING CODE SECTION E2)

ALL GLAZING IS TO COMPLY WITH NZS 4223. (NZ BUILDING CODE SECTION F2.)

HOT WATER SUPPLY TO WASH HAND BASINS, VANITIES, SHOWERS, BATHS AND BIDETS IS TO BE TEMPERED TO A MAXIMUM TEMPERATURE OF 55 DEGREES CELSIUS. (NZ BUILDING CODE SECTION G12.)

PROVIDE SEISMIC RESTRAINT TO THE HOT WATER CYLINDER. (NZ BUILDING CODE SECTION B1.)

THE SEPTIC TANK MINIMUM CAPACITY IS 2700 LITRES TO LIQUID LEVEL. (NZ BUILDING CODE SECTION G13.) THIS CONSENT DOES NOT GIVE APPROVAL FOR THE INSTALLATION OF A GARBAGE GRINDER (WASTE DISPOSAL UNIT). SHOULD THE OWNER WISH TO INSTALL A GARBAGE GRINDER THEN APPLICATION SHOULD BE MADE TO ENVIRONMENT BAY OF PLENTY FOR APPROVAL. A LARGER SIZE OF SEPTIC TANK AND LARGER EFFLUENT DISPOSAL FIELD MAY BE REQUIRED IF A GARBAGE GRINDER IS INSTALLED. (ENVIRONMENT BOP EFFLUENT TREATMENT REGIONAL PLAN.)

STORMWATER IS TO BE PIPED TO STREET CHANNEL OR CESSPIT. SOAKHOLES WILL NOT BE ACCEPTED FOR STORMWATER DISPOSAL. (NZ BUILDING CODE SECTION E1.)

A COPY OF THE ENGINEERS DESIGN CERTIFICATE FOR THE ROOF TRUSSES IS TO BE PROVIDED TO THE COUNCIL. (NZ BUILDING CODE SECTION B1 [NZS3604:1990 SECTION 10.2].)

WATER SUPPLY PIPES ARE NOT TO BE RUN UNDER A CONCRETE FLOOR SLAB UNLESS THEY ARE ENCLOSED IN A SEALED WATERTIGHT DUCT. (NZ BUILDING CODE SECTION B2.)

Graham Roberts
SUPERVISOR HEALTH AND BUILDING

Fadatas o + Cor Garage efile jh 17/6/86

helmi - 26/8/86

sanity Dani ok jh 27/8/86



OFFICE USE ONLY

<i>Application Number:</i>	<i>Date Issued:</i>	<i> / /</i>
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BUILDING CONSENT APPLICATION FORM

PRIVACY OF PERSONAL INFORMATION

Information from this form is sold by Council. Businesses use it for marketing purposes and some will send information through the mail. Applicants are advised that if they do not want their name released with this information, to say so on this application.

Signed by or for and on behalf of the applicant:	Tick One ✓
Name <i>R. C. & S.P. MATHERS</i>	Owner <input checked="" type="checkbox"/>
Signature <i>R.P. Mather</i>	Agent <input type="checkbox"/>

OFFICE USE ONLY

APPROVED	
<i>[Signature]</i>	<i>10 / 6 / 96.</i>
Building Inspector	Date
Planner	Date

ENDORSEMENTS: *As per attachment.*

.....

.....

.....

.....

PROPOSED NUMBER OF INSPECTIONS	<i>8.</i>
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APPLICATION FOR BUILDING CONSENT
Section 33, Building Act 1991

56730
C 6/6
R
E
B

Tick One

- Application for building consent only, in accordance with project information memorandum. No...
- Application for building consent and project information memorandum

PART A

Complete in all cases

OWNER

AGENT (If not owner)

Surname <u>MATHERS</u>	Surname
First Names <u>RONALD CLIFFORD</u>	First Names
Postal Address <u>2 MAUNA WAY</u> <u>ATHENREE</u>	Postal Address
Phone Numbers <u>07 563 4166</u> Day Evening	Phone Numbers Day Evening

PROJECT

(Please Tick)

Description <u>PRIVATE DWELLING</u>	New Building <input checked="" type="checkbox"/>
.....	Alteration <input type="checkbox"/>
Estimate Value (including GST) <u>\$105,000</u>	Demolition <input type="checkbox"/>
Floor Area <u>HOUSE 118 m² + GARAGE 36 m²</u>	Resited <input type="checkbox"/>
Is life of building intended to be less than 50 Years <input checked="" type="radio"/> No	If yes then specify how many years

PROJECT LOCATION

Rural ID or Street No. <u>12</u>	Road <u>PONUTIRAMA DRIVE</u>	Locality <u>ATHENREE</u>
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LEGAL DESCRIPTION

Valuation Number <u>06814 007 91</u>	Land Unit/Number <u>1016/1</u>
Lot <u>22</u>	DPS <u>27597</u>
Survey District <u>Vol 25C 504034 SOUTH AUCKLAND</u>	Block <u>RORETANA</u>
Site Area (sq. metres) <u>880 m²</u>	

PAYMENT OF FEES BY:

TICK ONE

Owner <input checked="" type="checkbox"/>	Builder <input type="checkbox"/>	Other (specify) <input type="checkbox"/>
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FEES (Office use only)

	AMOUNT	DATE PAID	RECEIPT No.
Application Fee	150.00		
Project Information Memorandum	110.00		
Inspection Fees	600.00		
Code Compliance Certificate	50.00		
BIA Levy	68.25	14/6/96	96/63873
BRANZ Levy	105.00		
Rural Number			
Title Endorsement			
Vehicle Crossing <input checked="" type="checkbox"/>			
Kerb Damage			
Water Connection <u>Not Req'd. ✓</u>	394.00		
Development Impact Fee <u>(Refer to action)</u>			
Other			
TOTAL	260.00	29/5/96	96/61613

823.25

117.25

6/6

PART B

Complete all section where applicable to this project

DESIGNER(S)

Name RCY SP. MATHERS
Address 2 MARINA WAY AIHENUKE
Phone Number 07 863 4166 Fax Number

CERTIFIER(S)

Name WESTERN BAY DISTRICT COUNCIL
Address
Phone Number Fax Number
Certifying

BUILDER

Name Doug QUATROUGH
Address KOTIANUI ROAD AIHENUKE
Phone Number 07 863 5837 Fax Number 07 863 5837
Mobile Phone Number

DRAINLAYER

Name WAIHI BEACH PLUMBING
Address 91 MAIN RD WAIHI BEACH
Phone Number 07 863 5621 Fax Number
Mobile Phone Number

PLUMBER (If not as above)

Name AS ABOVE
Address
Phone Number Fax Number
Mobile Phone Number

OTHER PRODUCERS AND KEY PERSONNEL

Name MITRE 10 Home 7 TRADE General
Address WAIHI GINETTE WALKER Manager
Phone Number 07 863 5087 GRAHAM Fax Number
Mobile Phone Number

OFFICE USE ONLY

Table with 3 columns: DATE STOPPED, REASON FOR DELAY, DATE START. Multiple empty rows for data entry.

PART C (Complete in all cases) THE PROJECT INCLUDES THE FOLLOWING (PLEASE <input checked="" type="checkbox"/>)	
<input type="checkbox"/> New connection to Council Water Supply <input type="checkbox"/> New connection to Council Sewer Mains <input type="checkbox"/> New connection to Council Stormwater Mains <input type="checkbox"/> New provisions for vehicle access and parking <input type="checkbox"/> Cultural heritage significance of the site or buildings including Marae sites	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
PART D Systems requiring a compliance schedule. (Complete in all cases) THE BUILDING WILL CONTAIN THE FOLLOWING (PLEASE <input checked="" type="checkbox"/>)	
<input type="checkbox"/> Automatic fire protection system including sprinklers <input checked="" type="checkbox"/> Emergency warning system for fire or other dangers <input type="checkbox"/> Mechanical ventilation or air conditioning system <input type="checkbox"/> Automatically closing fire doors in a fire wall <input type="checkbox"/> Emergency lighting system <input checked="" type="checkbox"/> Automatic back flow preventer connected to a water supply <input type="checkbox"/> Lifts, escalators or building maintenance unit <input type="checkbox"/> Escape route pressurisation system <input type="checkbox"/> Any other mechanical, electrical or hydraulic system necessary for compliance with the NZ Building Code <input type="checkbox"/> Signs required by the NZ Building Code for any of the above <input type="checkbox"/> None of the above	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
PART E Complete Part E only if your project has any of the items in Part D THE BUILDING WILL CONTAIN THE FOLLOWING (PLEASE <input checked="" type="checkbox"/>)	
<input type="checkbox"/> Access and facilities for use by people with disabilities <input type="checkbox"/> Means of escape from fire <input type="checkbox"/> Hand held hoses for fire fighting <input type="checkbox"/> Signs required by the NZ Building Code <input type="checkbox"/> Safety Barriers	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

APPLICATION FOR BUILDING CONSENT
Section 33, Building Act 1991

56730
C. E. K. ✓
C. E. K. ✓

Tick One

- Application for building consent only, in accordance with project information memorandum. No....
 Application for building consent and project information memorandum

PART A

Complete in all cases

OWNER

AGENT (if not owner)

Surname <u>MATHERS</u>	Surname _____
First Names <u>RONALD CLIFFORD</u>	First Names _____
Postal Address <u>2 MARINA WAY</u> <u>ATHENS</u>	Postal Address _____
Phone Numbers <u>07 363 4166</u> Day _____ Evening	Phone Numbers _____ Day _____ Evening

PROJECT

(Please Tick)

Description <u>PRIVATE DWELLING</u>	New Building <input checked="" type="checkbox"/>
Estimate Value (including GST) <u>\$105,000</u>	Alteration <input type="checkbox"/>
Floor Area <u>HOUSE 115 m² + GARAGE 26 m²</u>	Demolition <input type="checkbox"/>
Is life of building intended to be less than 50 Years <input checked="" type="checkbox"/> <u>No</u>	Revised <input type="checkbox"/>
If yes then specify how many years _____	

PROJECT LOCATION

Rural ID or Street No. <u>12</u>	Road <u>PONHARANA DRIVE</u>	Locality <u>ATHENS</u>
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LEGAL DESCRIPTION

Valuation Number <u>06814 007 21</u>	Land Unit Number <u>1016/1</u>
Lot <u>22</u>	DPS <u>27597</u>
Survey District <u>SOUTH CANTONMENT</u>	Site Area (sq. metres) <u>380 m²</u>

PAYMENT OF FEES BY:

TICK ONE

Owner <input checked="" type="checkbox"/>	Builder <input type="checkbox"/>	Other (specify) _____
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FEES (Office use only)

	AMOUNT	DATE PAID	RECEIPT No.
Application Fee	150.00		
Project Information Memorandum	110.00		
Inspection Fees	600.00		
Code Compliance Certificate	30.00		
BIA Levy	68.25	14/6/96	96/63873
BRANZ Levy	105.00		
Rural Number			
Title Endorsement			
Vehicle Crossing <input checked="" type="checkbox"/>			
Kerb Damage			
Water Connection <u>Not Paid. ✓</u>	877.00		
Development Impact Fee <u>(return to actions)</u>			
Other			
TOTAL	260.00	24/5/96	96/61613

323-25

1 17-25

6/6

P/1016/1/1

32121

COPY

**WESTERN
BAY OF PLENTY
DISTRICT COUNCIL**



PAYMENTS VOUCHER

Please draw a cheque in favour of:

R. B. Mathers

12 Pohutukawa Drive

R.D.I. Katikati

Payment is for:

Refund overcharge on inspections paid Rec 9/6/3873

Expenditure code to be charged

Enter J, P or G.L in first box

--	--	--	--	--	--	--	--	--	--	--

\$ _____

--	--	--	--	--	--	--	--	--	--	--

\$ _____

--	--	--	--	--	--	--	--	--	--	--

\$ _____

--	--	--	--	--	--	--	--	--	--	--

\$ _____

G.L	C	S	4	+	C	S	3	2	3	2
-----	---	---	---	---	---	---	---	---	---	---

\$ 177.78

Initiating Officer
Checked and Authorised
R. Little

GST \$ 22.22

Authorising Officer
[Signature]

TOTAL \$ 200.00

Date
30/1/96

Checked by

Cheque Number

Financial Accountant

Creditor Number

Please Post
Please return cheque to
Chq 4892 5/2/96



30 May 1996

Mr. Graham Walker
Mitre 10 Home and Trade
P.O. Box 70 Waihi

Dear Sir/Madam

NEW RESIDENCE
R. MATHERS

APPLICATION FOR A BUILDING CONSENT FOR 12 Pohutukawa Drive.

The documents with your building consent application have been checked and the following additional information is required:

as highlighted on ~~see~~ check list attached.
to building consent.

lintel sizes to be shown on plan, waste sizes/pipes
to be shown on plan, floor bracing calculations
& bracing fixings.

Your application will not be processed further and has been put on hold. Processing will recommence when the information requested has been provided.

We are sorry that this has happened but we do provide a checklist with every application so that applicants know what is required. Without that information compliance with the N Z Building Code is difficult to determine.

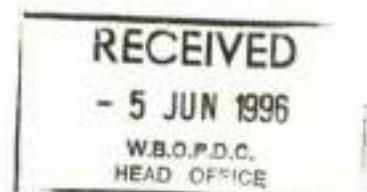
Yours faithfully
Graham Roberts
SUPERVISOR HEALTH & BUILDING

Per:

Graham Allum

gjr:lmh:55523

56730





PROJECT INFORMATION MEMORANDUM

Number: 56730

APPLICANT

MATHERS, RONALD CLIFFORD
6 POHUTUKAWA DRIVE
R D 1
KATIKATI

PROJECT LOCATION

12 POHUTUKAWA DRIVE

LEGAL DESCRIPTION

Ref No: 1016/1

Val No: 06814 007 91

Legal Description:

LOT 22 DPS27597

COUNCIL CHARGES

Council charges payable for this
Project Information Memorandum

\$Nil

All fees are GST inclusive

PROJECT

DWELLING

Intended Life: Not less than 50 years

This is:

- Confirmation that the proposed work may be undertaken subject to the requirements of the Building Act 1991 and Building Consent.
 - Not yet applied for
 - No: attached
- Notification that other authorisations must be obtained before a building consent will be issued
- Notification that the proposed work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes the following.

(cross each applicable box and attach documents)

- Information identifying relevant special features of the land concerned.
- Information about the land or buildings concerned notified to Council by any statutory organisation having the power to classify land or buildings.
- Details of relevant utility systems.
- Details of authorisations which have been granted.
- Details of authorisation which must be obtained before a building consent will be issued.
- Details of authorisation which have been refused.

Signed by or on behalf of the Council.

Name: _____

Position: Environmental Services Clerk

Date: 14 June 1996

PROJECT INFORMATION MEMORANDUM NUMBER 56730

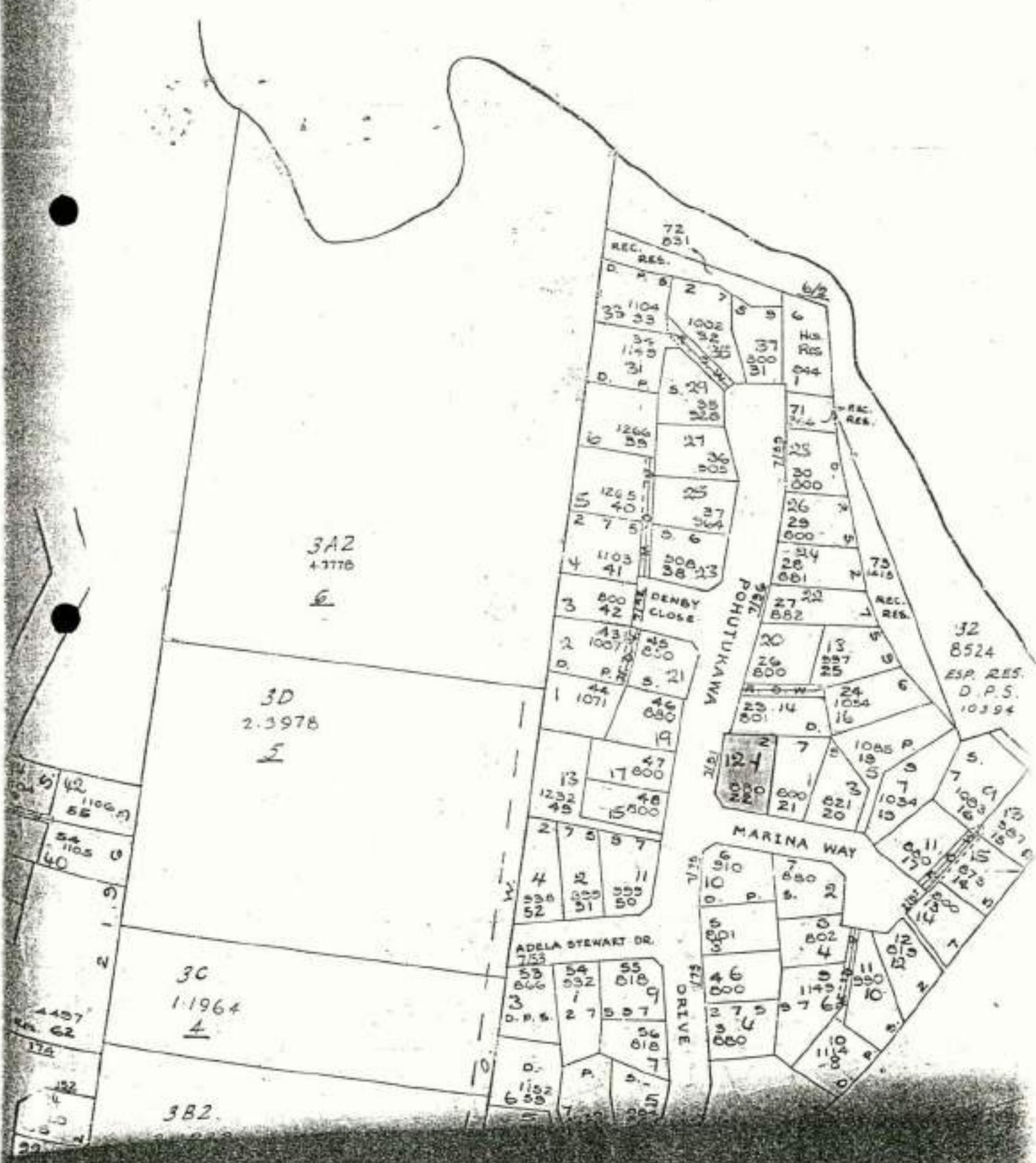
INFORMATION FOR THE APPLICANT

1. A list of standard Council requirements is attached to the Memorandum.
2. The Project Information Memorandum is not a Building Consent. Obtain your Building Consent before commencing any work.
3. Special notes applying to this Project Information Memorandum are:

HIGH WIND ZONE

76104

Valuation Reference 6814 00791		Computer Codes Q: 00000 L: 111000		Date of Revision 1/09/95	Date form printed 30/10/93
VI LV CV	Special Values 0	Nature of Improvements RATEABLE		Occupier (within the meaning of the Rating Act) DEVLIN PETER DESMOND DEVLIN HARLENE MARY R D 2 WAIUKU	
	34000				
	34000				
50 METRES		Address of Property/Situation 880 12 POHUTUKAWA DR		Name of District WESTERN BAY OF PLENTY 22	
<small>The appearance of data here is: Order of other than Occupier, Special Rating Area Information (if any), Description of Property</small>					
REGION: 04 BAY OF PLENTY REGION			WARD: 02 Waihi Beach		
LOT 22 OPS 27597					
REASON.....GENERAL REVALUATION					



3A2
4.3778
6

3D
2.3978
5

3C
1.1964
4

3B2

REC. RES.
72
831

D. P. S.
33
1104
33

D. P. S.
31
1149

D. P. S.
6
1266
59

D. P. S.
5
1265
40

D. P. S.
2
7
5

D. P. S.
4
1103
41

D. P. S.
3
800
42

D. P. S.
2
1007
43

D. P. S.
1
44
1071

D. P. S.
13
1232
49

D. P. S.
2
7
5

D. P. S.
4
52
52

D. P. S.
3
53
53

D. P. S.
54
532

D. P. S.
55
518

D. P. S.
3
56
56

D. P. S.
6
1152
59

D. P. S.
7

6/2

REC. RES.
71
1104

REC. RES.
26
800

REC. RES.
29
800

REC. RES.
28
800

REC. RES.
27
882

REC. RES.
20
800

REC. RES.
23
800

REC. RES.
24
1054

REC. RES.
12
800

REC. RES.
7
800

REC. RES.
10
800

REC. RES.
4
800

REC. RES.
11
800

REC. RES.
10
800

REC. RES.
11
800

REC. RES.
11
800

REC. RES.
11
800

REC. RES.
11
800

32
8524
ESP. RES.
D. P. S.
10394

MARINA WAY

DRIVE

POHUTUKAWA

WY.

10

10

42
1106
55

54
1105
40

4497
62
174

152
150
150



PROJECT INFORMATION MEMORANDUM

ARCHAEOLOGICAL SITES

An archaeological site or sites exist at or within 100m of the locations shown on the attached plan of your property. Potentially the sites are located on your property. The actual extent of sites is not shown. Additional, as yet unrecorded, sites may also be present in any area. All archaeological sites are protected under the provisions of the Historic Places Act 1993, which is administered by the New Zealand Historic Places Trust. If the proposed building interferes in any way with an archaeological site, a consent must be sought from the Trust.

The Western Bay of Plenty District Council holds no further information except that the sites have been identified as follows:

E1 - pa with pits and midden

AM - pit(s)

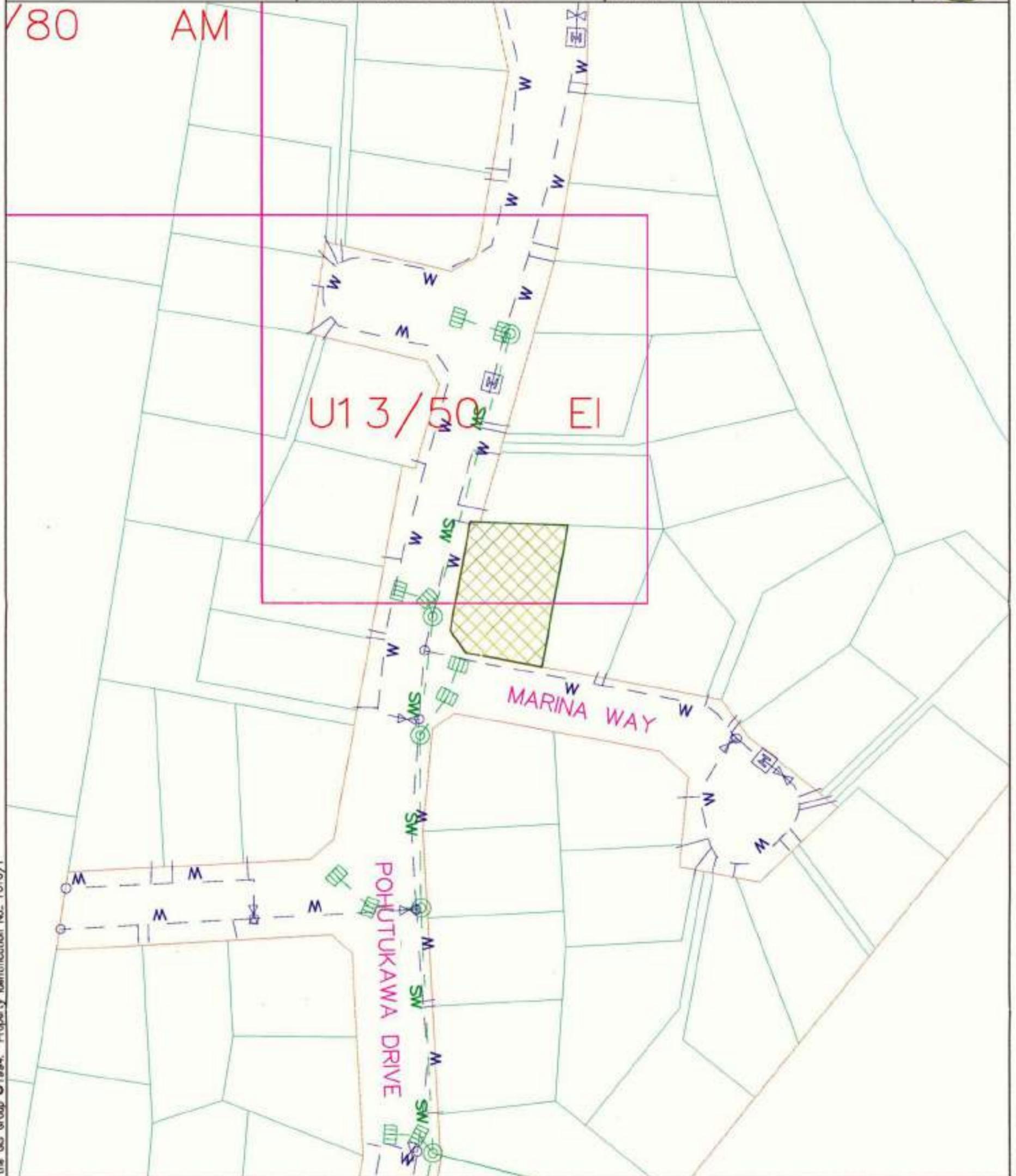
Further information about the site can be obtained from the relevant New Zealand Archaeological Association filekeeper. The Regional filekeepers are:

Dr N. Ritchie
C/- Department of Conservation
Private Bag 3072
Hamilton.

Ph (07) 838-3363

Mr R. Regnault (except for T or U13 sites)
P.O. Box 1798
Rotorua.

Ph (07) 345-6668



Produced using GenMap by the GIS Group ©1994. Property Identification No: 1015/1

<ul style="list-style-type: none"> — Water Connection - - - w - - - Water Main - - - sw - - - Stormwater Connection - - - SW - - - Stormwater Main - - - o - - - Stormwater Open Drain - - - s - - - Sewer Connection - - - S - - - Sewer Main - - - SM - - - Sewer Riser Main 	<ul style="list-style-type: none"> — Property Boundary — River Boundary — Road Boundary — Rail Boundary 	<ul style="list-style-type: none"> ⊗ Water Valve ⊕ Water Connection ⊙ Water Pump ⊕ Water Hydrant ⊙ Water Meter ⊕ Water Flow Meter ⊙ Water Well ⊕ Water Reservoir 	<ul style="list-style-type: none"> ⊕ Storm Sump ⊕ Storm Connection ⊙ Storm Pump ⊕ Storm Manhole ⊙ Culvert Headwall ⊕ Culvert End ⊙ Archaeological Site 	<ul style="list-style-type: none"> ⊕ Sewer Rodding Eye ⊕ Sewer Connection ⊙ Sewer Pump ⊕ Sewer Manhole ⊙ Power Pylon ⊕ Street Light ⊙ Telephone Pole ⊕ Power Pole
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PROJECT INFORMATION MEMORANDA

PROCESSING REMINDERS

1. APPLICATION

- Form completed
- Intended Use
- Value of Project
- Fees

2. PROCESSING

- Computer Entry
- Rates Map
- GIS Map
- Land Features or Hazards
- Flooding
- Services
- Archaeological Sites
- Planning Requirements
- Outstanding Notices
- Notices to Rectify
- Limited Building Life
- Special Endorsements. List on reverse.

3. INFORMATION FOR PIM

- Can job proceed. Yes No
- The wind zone is High
- The PIM is approved for issue. Date: 10/6/96

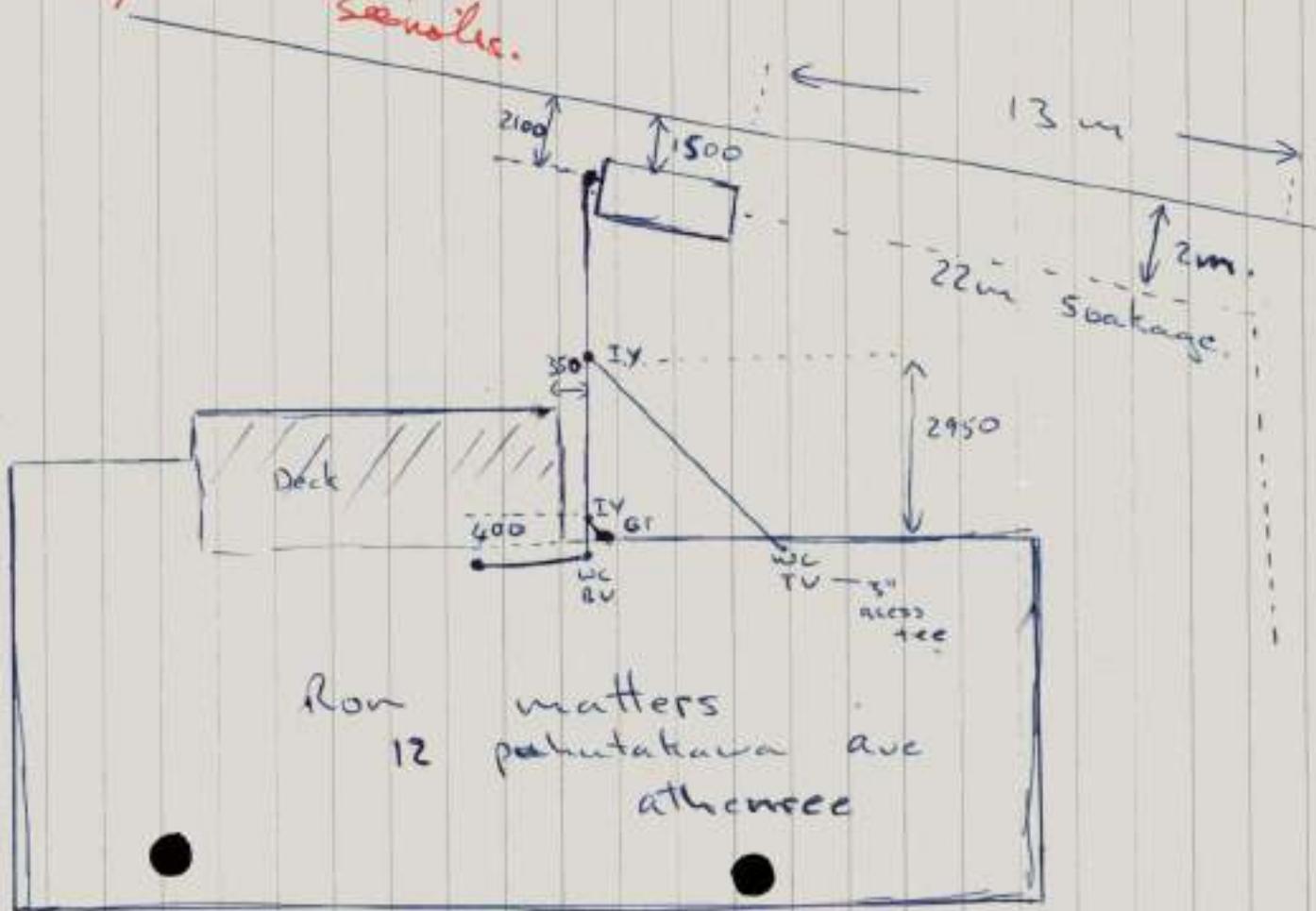
Inspectors Name: N L

Signature: 

4. ISSUE

- Enter Computer
- Standard Requirements
- Archaeological Sites Note
- Rates and GIS Map
- Notify Wind Zone

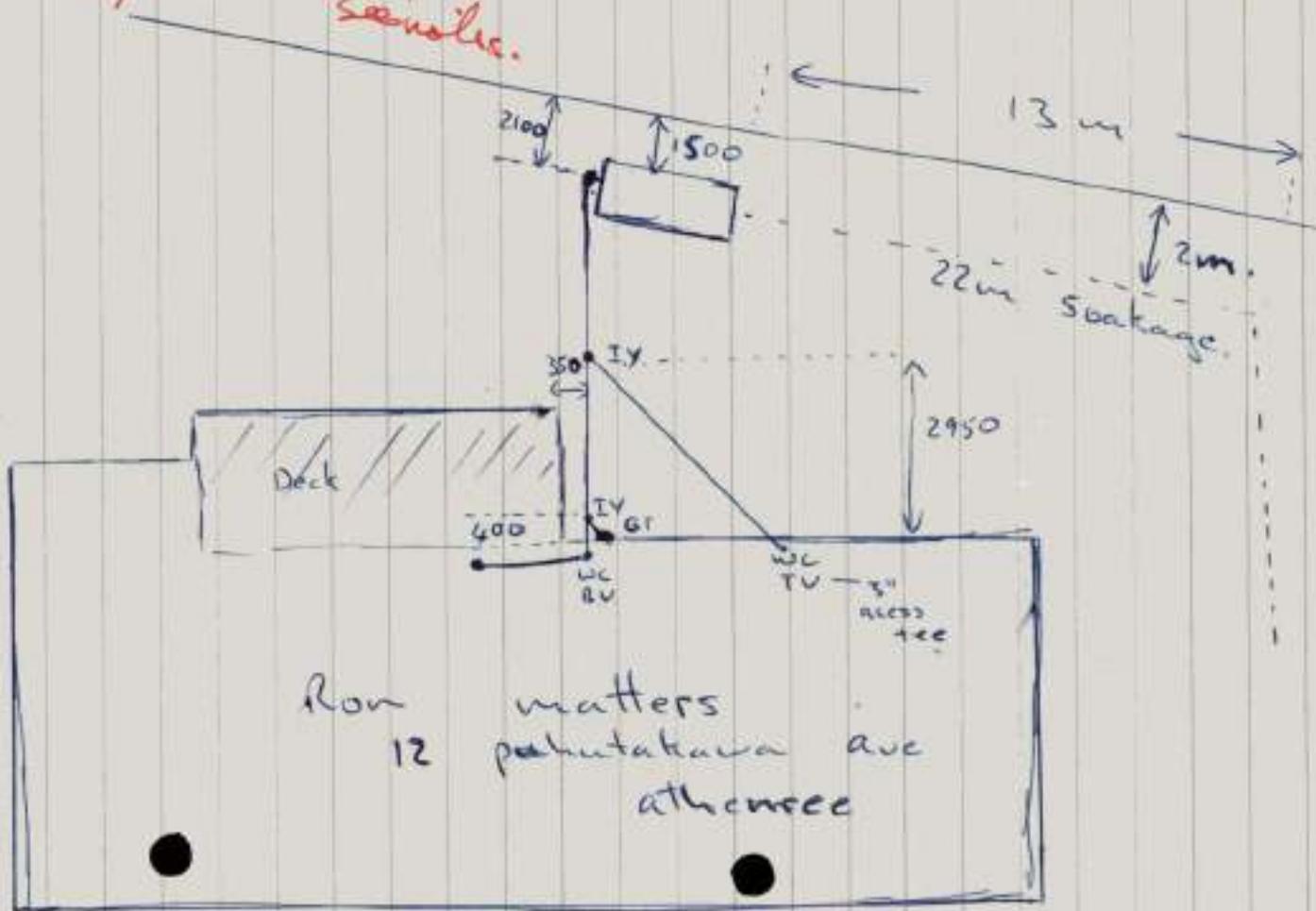
v/pw
27/8/96
Samples.



Row matters
12 pakūtākawa ave
athensce

Rd frontage

v/pw
27/8/96
Samples.



Row matters
12 pakūtākawa ave
athensce

Rd frontage

WESTERN BAY OF PLENTY DISTRICT COUNCIL
BUILDING INSPECTION REQUEST

Request Date 10/12/96 Consent Number 56730
Owners Name R Mathers
Builder/~~Plumber~~/Drainlayer self.
Project Address Pohutuhanga Drive Athen
Type of Building Dwelling Inspection Requested Final
Contact Phone _____ Mobile Phone _____
Inspection Day Monday am/pm Date 16/12/96.

INSPECTORS NOTES

Inspection Date 16/12/96 Time 2:00 Inspector PLH
Work is approved: Yes No Advice form left: Yes No
Builder/Owner on site. Advised by telephone: Yes No

Extensive oil
Seal ^{wastes} cracks into gully trap
blocks at bottom of HWC
Owner to clean today
Issue CCC



type	request date/ inspection date & time	inspector/notes	appl appr
FOOT	14 Jun 1996 17 Jun 1996 11:00am	NEAL LINDSAY BEARING OK - EXTRA 12MM ROD TO BE P GARAGE FOUNDATION. - POLYTHENE AND	YES
PR	23 Aug 1996 26 Aug 1996 02:00pm	NEAL LINDSAY MOISTURE 16-22%. WOOL INSULATION I PLUMBING O.K. 2 SETS OF BRACE STRA	YES
DRAINS	26 Aug 1996 27 Aug 1996 01:15pm	NEAL LINDSAY MARTIN ROGERS/KEITH CHEYNE ON SITE. TANK - SOAKAGE TRENCH. DUG METAL O	YES
FINAL	10 Dec 1996 16 Dec 1996 02:00pm	NEAL LINDSAY EXTERIOR OK, SEAL WASTES INTO GULLY BOTTOM OF HWC, OWNER DOING TODAY.	YES

< items listed, end of data >

type	request date/ inspection date & time	inspector/notes	appl appr
FOOT	14 Jun 1996	NEAL LINDSAY	YES
	17 Jun 1996 11:00am	BEARING OK - EXTRA 12MM ROD TO BE P GARAGE FOUNDATION. - POLYTHENE AND	
FR	23 Aug 1996	NEAL LINDSAY	YES
	26 Aug 1996 02:00pm	MOISTURE 16-22%. WOOL INSULATION I PLUMBING O.K. 2 SETS OF BRACE STRA	
DRAINS	26 Aug 1996	NEAL LINDSAY	YES
	27 Aug 1996 01:15pm	MARTIN ROGERS/KEITH CHEYNE ON SITE. TANK - SOAKAGE TRENCH. DUG METAL O	

●ems listed, end of data>

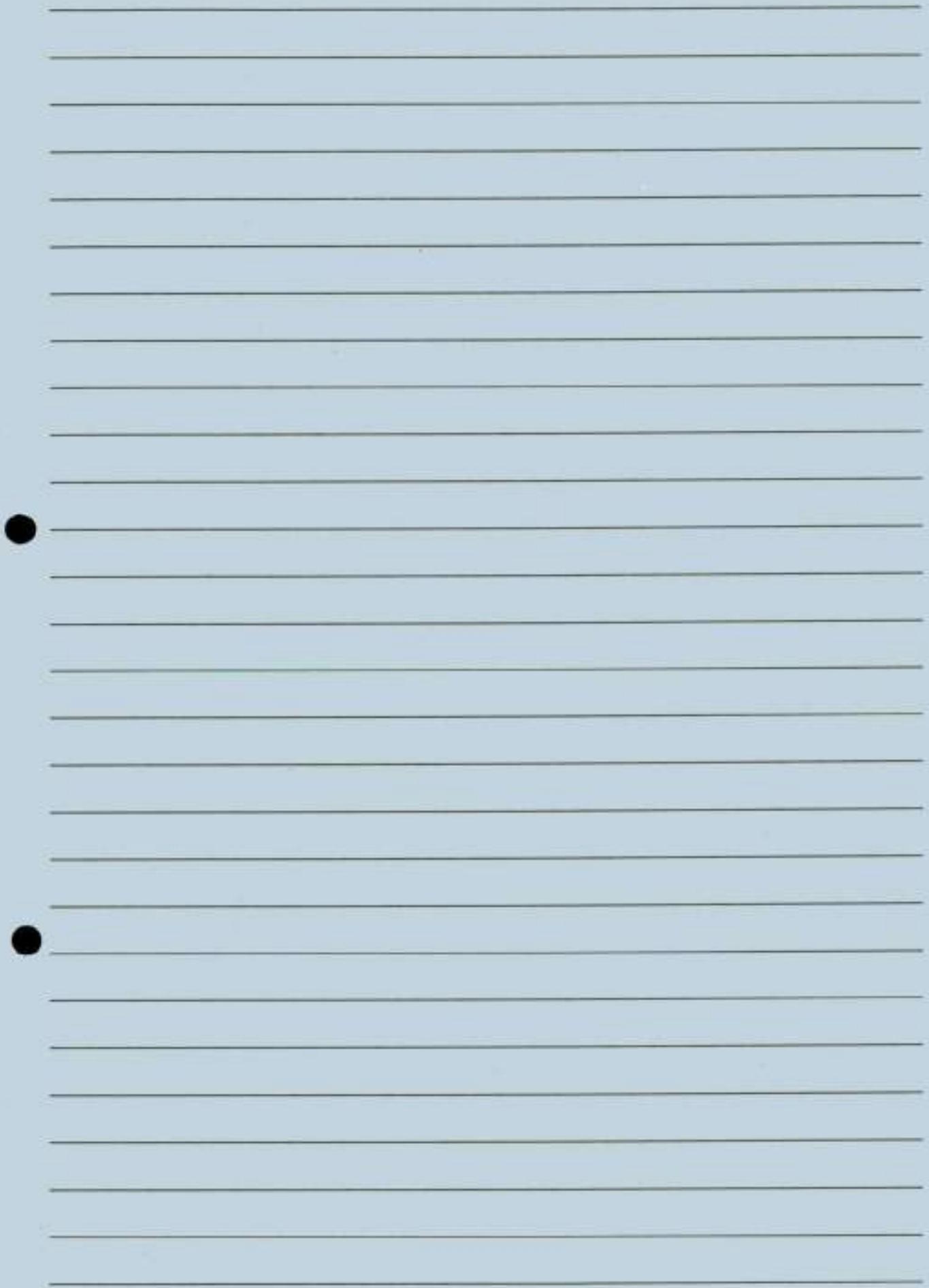
WESTERN BAY OF PLENTY DISTRICT COUNCIL
BUILDING INSPECTION REQUEST

Request Date 26/8/96 Consent Number 56730
Owners Name Mathews
Builder/Plumber/Drainlayer Martin Rogers
Project Address Cnr Bohutentawa / Main Highway
Type of Building _____ Inspection Requested Drainage ^{Sewer only}
Contact Phone (01) 263 521 Mobile Phone (01) 263 521
Inspection Day Tuesday am/pm (am) Date 27/8/96

INSPECTORS NOTES

Inspection Date 27/8/96 Time 1.15 Inspector NL
Work is approved: Yes No Advice form left: Yes No
Builder/Owner on site. Advised by telephone: Yes No

Martin Rogers / Keith Cheyne on site.
2700 litre septic tank - soakage trench
dug - metal on site ready to go in
Drain under tent OK
off



WESTERN BAY OF PLENTY DISTRICT COUNCIL
BUILDING INSPECTION REQUEST

Request Date 23/8/96 Consent Number 56720
Owners Name Mathers
Builder/Plumber/Drainlayer _____
Project Address 12 Pohutukawa Drive
Type of Building _____ Inspection Requested Prelim
Contact Phone 01 863 4166 Mobile Phone _____
Inspection Day Monday am/pm _____ Date 26/8/96

INSPECTORS NOTES

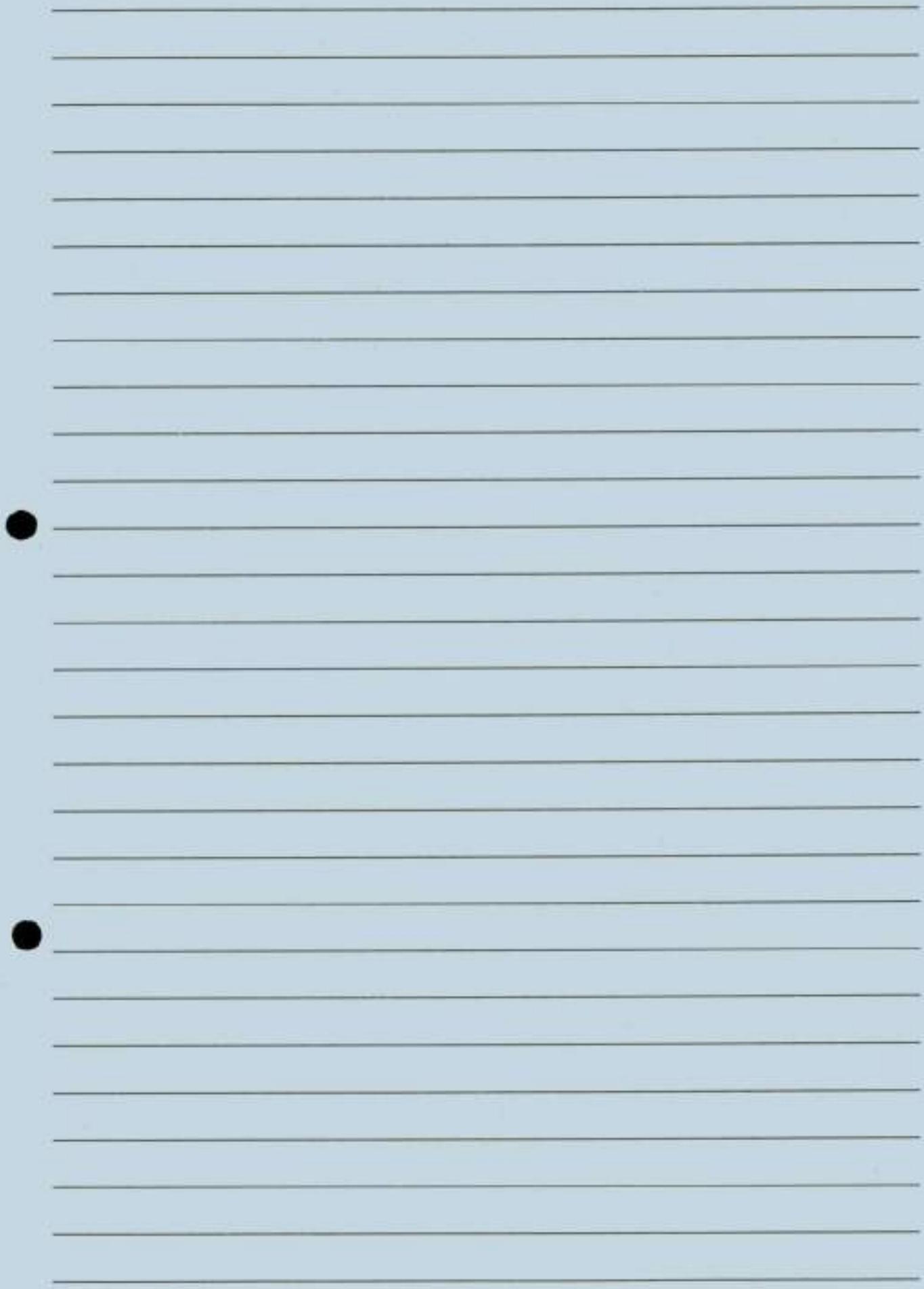
Inspection Date 26/8/96 Time 2:00 Inspector NL
Work is approved: Yes No Advice form left: Yes No
 Builder/Owner on site. Advised by telephone: Yes No

Masonry 16 - 22%

Wool ventilator in walls and roof
Pully: OK

2 sets of brace straps in corner of garage
to be installed

Roof Bracing OK ✓



WESTERN BAY OF PLENTY DISTRICT COUNCIL
BUILDING INSPECTION REQUEST

Request Date 14.6.96 Consent Number 56730

Owners Name Robb

Builder/Plumber/Drainlayer _____

Project Address 12 Pohukana Drive

Type of Building Dwelling Inspection Requested Footing

Contact Phone 025853270 Mobile Phone _____

Inspection Day mon am/pm _____ Date 17.6.96

INSPECTORS NOTES

Inspection Date 17/6/96 Time 11:00 Inspector NL

Work is approved: Yes No Advice form left: Yes No

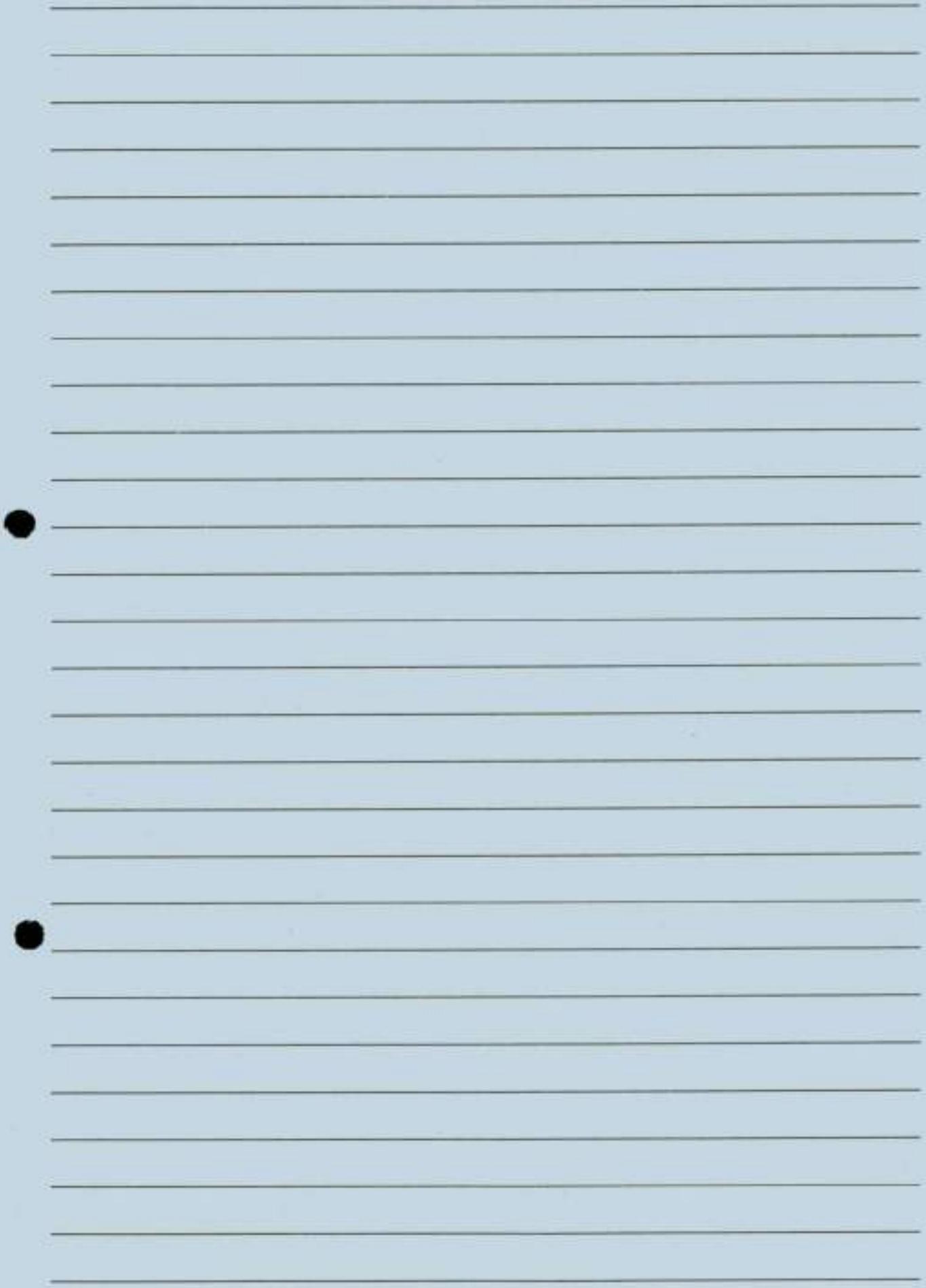
Builder/Owner on site. Advised by telephone: Yes No

Beam OK - exha 12 mm used to
~~be~~ be placed at top of garage
sends.

Polythene e seal on gage floor

Many piles will now be braced plus
add to excavate 2nd pile hole for brace to 650

OK to pour



BUILDING CONSENT - GENERAL INFORMATION

OWNER:

R C Mathers

CONSENT NO:

56730

ADDRESS:

12 Pohutukawa Drive
Adams

1. ✓ Any place from where a person can fall 1 metre or more shall be fitted with a safety barrier. For example, decks, balconies, high level openings (NZ Building Code Section F4). The construction of barriers is to comply with Section B1 of the Building Code. In some cases toothed ring connectors and nail plates will be required. (NZ Building Code Section B1).
2. ✓ All glazing is to comply with NZS 4223 (NZ Building Code Section F2).
3. ✓ The septic tank minimum capacity is 2700/~~3200~~ litres to liquid level (NZ Building Code Section G13). This consent does not give approval for the installation of a garbage grinder (waste disposal unit). Should the owner wish to install a garbage grinder then application should be made to Environment BOP for approval. A larger size of septic tank and larger effluent disposal field may be required if a garbage grinder is installed (Environment BOP On-Site Effluent Treatment Regional Plan).
4. ✓ Effluent from the septic tank is to be piped to an effluent trench of 20 metres minimum length. Soakholes will not be accepted for effluent disposal (Environment BOP On Site Effluent Treatment Regional Plan).
5. ✓ Stormwater is to be piped to ~~an approved outlet~~ street channel or cess pit. Soakholes will not be accepted for stormwater disposal (NZ Building Code Section E1).
6. ✓ Water supply pipes are not to be run under a concrete floor slab unless they are enclosed in a sealed watertight duct (NZ Building Code Section B2).
7. ✓ Hot water supply to washhandbasins, vanities, showers, baths and bidets is to be tempered to a maximum temperature of 55°C (NZ building Code Section G12).
8. Water supplies taken from anywhere other than a Council supply are likely to be infected with bacteria, giardia or both. Please seek advice from an expert on the most appropriate treatment system for your property. ~~Some form of treatment will be needed to provide a potable water supply and filtration will be needed to eliminate giardia. A Code Compliance Certificate will not be issued until an adequate supply of potable water is provided and evidence is produced to show that the water is potable. Testing for giardia will not be required if an appropriate filter has been installed (NZ Building Code Section G12).~~
9. Concrete bond beam blocks supporting ~~concrete floor slabs and brick~~ veneer should be 250mm nominal width. ~~Standard 200mm nominal width blocks will not be accepted (NZ Building Code B.1).~~



ADVICE OF COMPLETION OF BUILDING WORK

Section 43(1), Building Act 1991

TO: Western Bay of Plenty District Council

Regarding: Building Consent Number 56730

FROM: MATHERS, RONALD CLIFFORD
POHUTUKAWA DRIVE

The project is now completed and you are requested to issue a code compliance certificate.

The project is for DWELLING

Signed by/for and on behalf of the owner:

Name:

Owner

Tick One

Signature:

Agent

**PLEASE COMPLETE AND RETURN THIS FORM
WHEN THE PROJECT IS FULLY FINISHED**

Send to Western Bay of Plenty District Council, P O Box 12803, Tauranga.

OFFICE USE ONLY

FINAL INSPECTION MADE

ISSUE CCC Signed: Building Inspector



INSPECTIONS

This building consent is approved subject to inspections being requested.

PLEASE GIVE PRIOR NOTICE OF AT LEAST ONE WORKING DAY WHEN REQUESTING INSPECTIONS. QUOTE THE CONSENT NUMBER.

Keep this copy of plans and specifications on site at times of all inspections.

CALL FOR INSPECTIONS FOR ALL ITEMS TICKED.

1. **FOOTINGS**
We want to see the excavations and ground before any concrete is poured.
2. **FOUNDATIONS**
We want to see the reinforcing in place before concrete is poured.
3. **CONCRETE SLABS**
We want to see the D.P.C. basecourse, reinforcing and underfloor services.
4. **TIMBER FLOORS**
We want to see the piles, sub-floor bracing and connectors.
5. **CONCRETE BLOCKWORK**
We want to see the reinforcing in cells and bond beams before concrete is poured.
6. **PRELINING INSPECTION**
We want to see all framing, bracing, connectors, vapour barriers, insulation, timber moisture.
7. **BRICK VENEER**
We want to see the walls when they are at about half height to inspect cavities and ties.
8. **STUCCO OR PLASTER FINISH**
We want to see the under surface and reinforcing prior to application of the plaster.
the plaster.
9. **PLUMBING INSPECTION**
We want to see all plumbing and water pipework under test before it is enclosed.
Can be combined with the Prelining inspection.
10. **FIREPLACE OR SOLID FUEL HEATERS**
We want to see the foundations, seismic restraint, clearances, flue and liners, and
ceiling plate.
11. **DRAINAGE (Foulwater and Stormwater)**
We want to see all drainage work under test before it is closed in.
12. **SEPTIC TANK AND EFFLUENT TRENCH**
We want to see the tank before it is filled with liquid and effluent line before covering.
13. **FINAL**
We want to make a final inspection before issuing a code compliance certificate.

KEEP DOGS TIED UP WHEN INSPECTOR CALLS

GENERAL SPECIFICATION
FOR
RESIDENTIAL DWELLINGS

I N D E X

SHEET	1 - 4	PRELIMINARIES & GENERAL
"	5	EXCAVATION & FILLING
"	6 - 7	CONCRETOR
"	8	BRICKLAYER & BLOCKLAYER
"	9 - 11	CARPENTER
"	12	METAL WORKER, SOLID PLASTERER & INSULATION
"	13 - 15	PLUMBER
"	15	DRAINLAYER
"	15 - 17	ELECTRICIAN
"	17	GLAZIER
"	18 - 20	PAINTER & PAPERHANGER
"	20	SCHEDULE OF MATERIALS & FINISHES
"	21	SPECIAL ADDENDUM

ACC RECOMMENDATION

TO ENCOURAGE THE DESIGN AND CONSTRUCTION OF SAFER HOUSES, THE ACC DEPARTMENT RECOMMENDS ALL THOSE INVOLVED IN THE BUILDING INDUSTRY TO READ THE FOLLOWING PUBLICATION, WHICH IS AVAILABLE FOR PURCHASE FROM ACC, IT IS ALSO AVAILABLE FOR REFERENCE AT THE PUBLIC LIBRARY.

"CODE OF PRACTICE FOR SAFER HOUSE DESIGN"

Of prime importance is to recognise that the Building Act 1991, along with the Building Regulations 1992 provide legislative controls for all building work, and one cannot contract out of legislative requirements. The means of compliance with the Building Regulations is detailed in various sections of the New Zealand Building Code as published by the Building Industry Authority. If any conflict exists between the requirements of this Specification and the Building Regulations, then the Building Regulations will take precedence.

THIS SPECIFICATION MUST BE USED AT THE USER'S RISK.

PRELIMINARIES AND GENERAL

1. SPECIFICATION:

This specification is an Outline Specification only and will therefore not cover all details. Any additional clauses inserted, existing clauses altered or crossed out, or any other changes that may be made to this Specification by the Owner and/or the Contractor should be initialled by both Contracting Parties (i.e. the Owner and the Contractor).

2. CONDITIONS OF TENDERING:

The lowest or any Tender is not necessarily accepted. The Contractor shall obtain all necessary consents, pay all fees required, and complete the work as shown and specified in accordance with the Building Act and be passed by their respective Inspectors. The standard of construction shall be that as required under the provisions of the Building Act.

3. THE WORK AND THE SITE:

Consists of the satisfactory erection and completion of a:

..... *NEW DWELLING*
at *LOT 22... POKUTUKAWA DRIVE ATHORREE*
for *MR & MRS R. C. MATHERS* *PH 07863 4166*

The Contractor shall supply all labour and materials - supply and maintain the required tools and plant, scaffolding (if required) - and generally complete the work in the best trade manner in accordance with the true intent and meaning of the accompanying Drawings and this Specification taken separately or collectively. All usual items and work shall be allowed for, even though not mentioned in the Specification or shown on the Drawings. The Contractor shall ascertain the correct position of all boundaries and the position of the work according to the Site Plan.

4. INSURANCE:

FIRE and EARTHQUAKE insurance to the full amount of the contract price and PUBLIC RISK insurance with an approved insurance corporation shall be taken out by the Contractor and maintained until the completion of the work. The Contractor shall maintain insurance on his own tools and plant, etc.

5. LEVELS:

Indicated ground levels shown on the Drawings are to be correct. Check floor datum with Owner.

6. PROGRESS PAYMENTS:

Progress payments shall be paid monthly on demand up to 90% of the estimated value of the work performed and the materials on the Site for the first two-thirds of the Contract Sum, and thereafter at 85%. Up to 95% of the Contract Sum will be paid 31 days after completion, the balance of 5% to be paid at the end of the Maintenance Period - (i.e. days after completion).

7. VARIATION or EXTRAS:

Any variations or extras shall be at a price agreeable to both the Owner and the Contractor, recorded in writing, signed by both parties and attached to the Contract.

- 8. P.C. (Prime Cost) SUMS and PROVISIONAL SUMS:
The Owner reserves the right to select or purchase items under the P.C. Sum and the accounts will be adjusted accordingly on completion.
- 9. CONTINGENCY SUM:
The Contractor shall allow the sum of \$..... as a Contingency Sum for unforeseen work to be expended as the Owner shall direct.
- 10. GENERALLY:
Materials to be installed to manufacturers' specifications. All materials shall be the best of their respective kinds and all workmanship to be according to the best trade practices. All timber shall be true to class and size specified. All timbers shall comply with the requirements of the Building Code, and its grading shall conform to N.Z.S. 3031 National Grading Rules.
- 11. BY-LAWS:
Allow for giving all notices, for obtaining all Building Consents, for paying all fees and charges, and for indemnifying the Owner against any fee or expenses arising through failure on the Contractor's part to comply herewith.
- 12. TEMPORARY WATER SUPPLY:
From the Council's main, take a 19 mm dia. copper pipe to a point on the boundary determined by the Owner (where the Toby Box will be installed) and provide a stand-pipe and hose tap for use during the building operations.
.....
.....
- 13. TEMPORARY ELECTRIC POWER:
Allow for the provision of all electric power required for the erection and completion of the building; the provision and maintenance of all temporary wiring, sub-board and switch gear in accordance with the Wiring Regulations, and for the removal thereof on completion of the work.
Allow for the provision of all temporary watching and lighting requirements for the protection of the works and persons entering therein.
- 14. TEMPORARY CONVENIENCE:
Provide a temporary convenience for use during building operations; site in an inconspicuous place and keep clean during the progress of building operations. Remove at completion - fill the hole and disinfect around.
The new W.C.s and other lavatory fittings belonging to the new building shall not be used under any circumstances, and if necessary shall be kept under lock and key until handed over in complete and clean condition on completion.
- 15. MAKE GOOD DAMAGE to EXISTING PROPERTIES, ETC:
The Contractor shall be responsible and pay for the repair of any damage to adjacent buildings, fencing, paving, gardens, plants and trees and to public utility services, at no additional cost to the Owner.
- 16. SUB-CONTRACTORS - MAKE GOOD:
Allow for each trade attending upon performing all necessary jacking for, and making good after all trades.

17. CLEAR AWAY and CLEAN at COMPLETION:

Allow for clearing and carting away all packings, shavings, and waste matter which may collect from time to time, for broom sweeping all floors before joinery is brought in. At completion filling in all truck tracks, cleaning all roofs and gutters and leaving free from waste materials, remove wrappings and paper from sanitary fittings and equipment and leaving vinyls and floors clean and free from cement, paint, stains and blemishes; replacing all cracked glass, thoroughly cleaning-off cement and putty, paint and dirt, excess silicone, and polishing all glass both sides, cleaning down thoroughly the whole of the building and the surroundings, and leaving the premises and site clean and fit for immediate use and occupation.

The Contractor shall take all necessary precautions to keep the works free from vermin and shall leave the building entirely vermin-proof at completion.

18. FIGURED DIMENSIONS shall be used in preference to SCALING OFF THE DRAWINGS:

The scale to which the Drawings are made shall only be made use of when no figured dimensions are given either in the Drawings or Specifications and the figured dimensions shall always be followed though they may not coincide with the scale of the Drawings. Whenever possible, dimensions shall be taken from the building.

19. STABILITY:

The Contractor shall carefully brace and support all parts of the work against damage by wind, and also protect same from damage by water. The Contractor shall insure the works against damage due to temporary propping failure by any cause.

20. PROTECTION OF WORKS:

During the currency of the works, the works and materials upon the site shall be protected from all damage, in particular from the elements. Should the Contractor fail to carry out this provision and damage takes place, same shall be made good by the particular Contractor and any loss or expense incurred shall be deducted from monies due or which may become due.

21. FLUCTUATION IN COST:

Should there be either a rise or fall in the price of labour or materials between the date the quotation is submitted and completion of the works, adjustment to the Contract Price shall be made accordingly, provided that the Contract Price has been affected by such rise and fall in prices.

22. INSPECTION OF COMPLETED WORKS:

On completion of the works and prior to occupation by the Owner, the Owner shall, in company with the Contractor or his appointee, make final inspection of the works. Should occupation by the Owner take place prior to this inspection and approval, the Owner does same on his own responsibility and the Contractor is absolved from all liability for damage during such occupancy and the period of maintenance shall be taken from the date of occupation.

23. TERRITORIAL AUTHORITY:

The Contractor shall ensure that the construction meets the requirements of the Building Code 1991 and the Territorial Authority in whose area the work is being carried out, and shall arrange all necessary inspections. Any variation to the works must be brought to the notice of the Owner before relevant work is carried out or materials included in the works.

The Contractor shall afford full and free access to the authorised agent of the Territorial Authority for the purpose of inspection or testing the works.

24. SETTING OUT:

The Contractor shall be responsible for the setting out of the building to the position detailed in the drawings and for establishing the correct finished floor level. The Contractor shall maintain and protect all survey and set out pegs. Any damaged or lost pegs shall be replaced at the Contractor's cost.

25. DISPUTES:

Any dispute between the parties shall be referred to arbitration in terms of the Arbitration Act 1908.

26. ADDENDUM CLAUSES TO PRELIMINARIES AND GENERAL:

CONTRACTOR to inspect the site before making a firm quote.

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EXCAVATION AND FILLING

1. CODES:

The site shall comply with Section 3 of NZS 3604 or the New Zealand Building Code B1/VM4.

2. CLEAR SITE:

Clear the whole of the building site and area to be excavated, of vegetation and rubbish and allow to cart away. Remove topsoil from the building site and allow to deposit in a heap where it will not be buried under sub-soil that is subsequently excavated.

3. GENERAL EXCAVATIONS:

Excavate for the site, levelling, terrace foundations, chimney base, posts, blocks, footings, steps, wall pipes, etc, to the various depths, levels and grades required. Take base walls and footings down to a min. of 300 mm below the cleared ground level, or down to the solid (which ever is the greater). All sub-soil from foundations and other excavations is to be evenly spread or deposited on the site with falls as directed by the Owner. Secure and maintain the sides of all excavations, and keep clear of water and fallen material. In the event of excavations for foundations being taken out too deeply, such excess depth must be filled with concrete at the Contractor's expense.

4. BACKFILLING:

Backfill around all foundation walls with selected thoroughly compacted clean dry fill, placed in 150 mm layers, and well rammed to give through consolidation. Replace a minimum of 100 mm of topsoil as last layer to exterior and grade to existing levels.

5. HARDFILLING:

Hardfilling under all concrete floors unless shown otherwise on the Drawings is to consist of a min. of 100 mm of sand or pumice sand, compacted to 98% of maximum dry density.

6. ADDENDUM CLAUSES TO EXCAVATION AND FILLING:

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CONCRETOR

1. MATERIALS:

- (a) Cement: Shall be fresh, approved Portland cement, complying with NZS 3122.
- (b) Sand:
Shall be approved clean, silicious, sharp, coarse, free from loam, salt, organic or other deleterious matter and graded from 5 mm to 0.06 m.
- (c) Coarse Aggregate:
Shall be approved crushed blue metal, from the nearest quarry, and shall pass through 25 mm, 20 mm, 12.5 mm and 6.5 mm sieves mixed in equal proportions. All aggregate must be free from harmful amounts of loam, dust and vegetable matter. Alternatively, natural gravel, grading from 20 mm to 5 mm may be used. If natural gravel is used, mix shall be 1:5 (cement-natural gravel).
- (d) Water: Shall be organically clean and fresh, and comply with NZS 3121.
- (e) Reinforcement:
Shall consist of standard plain round steel bars, or deformed steel bars, complying with NZS 3402P, free from loose rust, paint and oil, with ends of all rods lapped for lengths equal to 40 diams. Bend all horizontal rods not less than 600 mm around angles. All intersections of rods shall be bound together with 1.6 mm black soft wire.
Steel wire mesh shall comply with NZS 3421 and NZS 3422.
- (f) Formwork:
All concrete shall be cast in clean formwork complying with NZS 3109, and strong enough to ensure that the finished surface is straight and true. Joints shall be tight enough to prevent leakage of liquid. Dressed formwork shall be used for exposed faces where plastering is not required - joints on these faces shall be straight and square and the formwork fixed horizontally. Form for all openings and chases as required.

2. CONCRETE MIX: All concrete work shall comply with NZS 3109.

Concrete shall be ordinary grade concrete as specified in NZS 3108 and have a minimum specified compressive strength of 17.5 MPa for foundations and 20 MPa for floor slabs at 28 days standard cured. ALL CONCRETE IS TO BE SUPPLIED FROM A CERTIFIED PLANT. Any additional water or additives to the batched concrete shall be done at the certified plant only.

3. PLACING OF CONCRETE:

All concrete is to be placed immediately upon delivery to site, and no concrete that has commenced to set will be accepted. Convey and deposit concrete so that no separation of ingredients takes place. Concrete shall be thoroughly tamped and worked around all reinforcing. Construction joints shall be reasonably straight and square and shall be thoroughly cleaned before placing fresh concrete. Concrete shall not be dropped through a height greater than 1500 mm, and shall be deposited as nearly as possible in its final position.

4. REMOVAL OF FORMWORK:

No formwork shall be removed until concrete has sufficiently cured for continued construction, and all work is to be kept thoroughly saturated with water until cured. Cut back all formwork tie wires behind the concrete face.

5. SLUMP: Concrete slump shall not exceed the following:

<u>Position</u>	<u>Vibrated</u>	<u>Hand Compacted</u>
Slabs	50 mm	75 mm
Walls	75 mm	100 mm

7. COVER TO STEEL:

50 mm to sides of foundation walls if boxed, otherwise 75 mm.
75 mm to underside of steel in footings.
30 mm top cover to steel in floor slabs.

7. INSERTS:

Install all holding down bolts, and other inserts required for subsequent construction as required in NZS 3604 and the Drawings.

8. FOUNDATIONS:

Construct foundations as shown on the Drawings and where not detailed, in accordance with NZS 3604 or NZS 4229 as appropriate, and the New Zealand Building Code.

9. CONCRETE FLOOR SLABS:

Construct concrete floor slabs as shown on the Drawings and in accordance with NZS 3604, NZS 4229, and Building Code 1991.

10. PILES:

Construct concrete pile footings, including ordinary, cantilever, and anchor piles, in accordance with NZS 3604 and as shown on the Drawings.

11. PORCHES AND STEPS:

Where required by the Drawings, construct porches and steps in accordance with NZS 3109 and the Drawings.

12. CHIMNEY:

Where required by the Drawings, construct a chimney and base in accordance with the New Zealand Building Code: B1/AS3.

13. GENERAL:

All concrete, formwork, and reinforcing construction is to comply with the Drawings, NZS 3604, NZS 4229, and NZS 3109.

14. DEFECTS:

Defective concrete (not complying with this Specification) shall be replaced at the Contractor's cost.

BRICKLAYER and BLOCKLAYER

1. MORTAR:

- (a) Shall consist of 4 parts clean sharp sand to one part of fresh Portland cement; mix on a watertight surface with clean water and an approved plasticiser, using proportions recommended by the manufacturers.
- (b) Shall consist of one part of lime to 9 parts of clean sharp sand; to be mixed with clean water and allowed to stand for 48 hours. Immediately before using gauge with fresh cement in the proportions of 2 parts of cement to 9 parts of lime and sand mix. Re-made mortar is not to be used. Colour may be added to mortar, but not more than 10% of the cement content.

2. BRICKS: Shall be *n/a*

3. BRICKWORK:

To be executed by skilled tradesmen. Bricks to be laid damp. Walls to be laid true to line, level, plumb at corners.

Allow for weep-holes in the bottom course and vent holes in top course, at not more than 1200 mm c/s; build-in strips of approved vermin-stop with adequate laps; with fall to brickwork and secure to vermin plate with rust-proof nails or staples. Flush-up the inside joints and allow no mortar to fall into the cavity. Build-in "grounds" of Ht Totara as required. Joints not to exceed 10 mm if possible.

Face joints to be pointed or *n/a*

4. SILLS:

Sills to brickwork to be..... and shall have appropriate silicone or polysulphide sealant joint underneath wooden sills.

5. CLEANING:

Face of brickwork is to be kept clean; accidental splashes of mortar to be removed with a weak solution of Spirits of Salts and water (1-10).

6. BLOCKS:

Concrete blocks shall be masonry units to the requirements of NZS 4210.

7. BLOCKWORK:

Blockwork shall be constructed in accordance with NZS 4229, and NZS 4210, and comply with the Drawings.

8. ADDENDUM TO BRICKLAYER AND BLOCKLAYER:

CHIMNEY:.....

..... *n/a*

.....

SURROUND:.....

.....

.....

CARPENTER

1. MATERIALS:

All timbers to be the best of their respective kinds and grades and to comply with NZS 3602 & 3604. All dressed timber to be thoroughly dry; all framing, etc, having lining on both sides shall be gauged to an even width. All finishing timber shall be machine dressed, and interior finishing timber shall be sand-papered to a smooth surface in addition.

2. SCHEDULE:

All components, maximum span, centres and sizes as per accompanying Drawings and in accordance with NZS 3604.

3. WORKMANSHIP:

Construct all carpentry work in accordance with NZS 3604 and as specified or implied in the Drawings.

4. EXTERIOR JOINERY:

(a) Wooden: Sashes shall be type and shall finish not less than 45 mm thick. Frames shall be ex jamba and heads, ex 150 x 50 mm sills, ex 100 x 75 mm mullions, with ex 75 mm or 100 x 25 mm exterior facings. Frames and sashes to be constructed of approved quality timber, properly seasoned; to be mortised, grooved, rebated, throated and housed in accordance with the best trade practice. Frames, including joints, to be primed before assembly and installing. To be wedged and securely fixed level, plumb and square (sizes on Drawings).

Exterior Doors:

Front: *Aluminium Joinery*

Back: " "

Access Doors:

Where piled and battened foundations are used, provide a ledged door. In continuous concrete and stepped foundations construct a door and frame, leaving complete with hasp and staple or tower bolt.

(b) Aluminium or Metal:
.....
.....

INTERIOR JOINERY:

Doors: (Sizes to Drawings). To be flush type, ply faced, with clashing strip.

To be *MDF P/Quality* quality for main rooms, hung on 1 1/2 prs; 75 mm butts.

To be paint quality for service rooms.

6. LINING:

All internal walls to be covered with 9.5 mm Gib. Board fixed as per manufacturer's instructions.

Bathroom ... *H/GLAZE... WHERE... APPLICABLE*

Shower Recess .. *AS ABOVE*

Fit architraves and skirting to all rooms, including wardrobes and cupboards; mitre neatly at external corners and scribing at internal angles; punch all finishing nails and brads, ready for Painter.

7. MANHOLE:

Form a 600 x 600 mm manhole in ceiling where directed, line with dressed timber and finish off with architrave properly mitred at corners; allow to stand over 10 mm.

8. WARDROBES:

Allow for ex 300 mm shelf at door height and full width shelf at 1500 mm from floor, with clothes rail of 12.5 mm G.W.I. pipe supported on cleats, 100 mm below shelf.

9. LINEN CUPBOARD and/or H.W. CUPBOARD:

Allow for 5 rows of ex 75 x 25 slatted shelves.

10. COAT CUPBOARD:

Allow for ex 300 mm shelf, and 4 only hat and coat hooks.

11. BATHROOM CABINET:

Allow for bathroom cabinet to be installed where directed, size:

..... *N/A*

12. SOAP RECESS:

Allow for soap recess over bath, tub and in shower recess.

13. BATH:

To be properly cradles and enclosed to have toe recess.

14. CEILINGS:

(a) To be of 9.5 mm fibrous plaster, properly slung and wadded and stopped smooth with Plaster of Paris, ready for the Painter.

Fibrous plaster cornice to Owner's choice in the following areas:

..... *N/A*

.....
.....
.....
remainder in wooden scotia, size *40x20*

(b) To be of: *GIB BOARD Ceilings*

(c) Other Type:

15. FITMENTS:

Allow P.C. Sum \$....., for the following fitments, to be properly constructed and installed:-

Kitchen:.....
.....
.....

Bathroom:.....
.....
.....

Laundry:.....
.....

Dining Room:.....
.....

Lounge:.....
.....

16. PELMETS:

Allow for *N/A* metres ofpelmet to the following areas:-

.....
.....

17. HARDWARE:

Allow P.C. Sum \$.....*N/A* for supply only of selected hardware. The Contractor to fix into position.

.....
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18. ADDENDA TO CARPENTER:

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METAL WORKER

Supply the following in exact lengths, sizes, etc.

Contractor shall fix in position:-

- (a) Galvanised weather bars for door sills. Drill for countersunk head galvanised screws.
- (b) Supply and fix in position all other, rafter straps, etc, or as otherwise required but not shown.
- (c)
 *N/A*

SOLID PLASTERER

All solid plaster work to be 2-coat plaster:-

- (1) Min. 6.5 mm thick base skim coat.
- (2) Min. 12.5 mm thick final coat.

External plaster work to have *N/A* finish.

Where plastering on to smooth concrete or brick or block, the surface is to be roughened, or one coat of 'Vinstik' applied.

All plastering shall comply with NZS 4251.

INSULATION

In compliance with the Building Act and Building Regulations.

(1) All exterior walls to be insulated with:-

..... *R1.8 WALL BATT*

(2) All ceilings to be insulated with:-

.....
 *R1.8 Ceiling BATT*

(3) All floors to be insulated with:-

..... *UNISEAL 400 PERFORATED UNDER FLOOR FOIL*

7. HOT WATER SUPPLY:

Run supply from H.W. cylinder in 19.1 mm copper to bath and 12.7 mm to all fixtures requiring hot water supply.

NOTE: All hot water pipes shall be completely covered with spirally wound "Plumbers' Felt", tightly wrapped and secured in position with 0.7 mm copper wire wound at 100 mm pitch in opposite direction to lagging.

Copper Pipe

8. TAPS:

All shall be high pressure, chromium plated, streamlined, to be indicated and to have extensions as required.

9. HOT WATER CYLINDER:

Provide and fix one 180 litre electric hot water cylinder of approved make to be installed in a removable position.

10. SANITARY FITTINGS:

All sanitary fittings shall be free from all blemishes and fitted with plugs and chains and C.P. brass, grated waste connections.

11. BATH, BASIN and W.C. PAN:

Provide and fix first quality bath, basin and W.C. pan. The W.C. pan shall be complete with double plastic seat and buffers, C.P. flush pipe and a 14 litre low down flushing cistern, etc.

12. WASTES and VENTS: To comply with Building Code.

13. SHOWER TRAY:

Provide and fix a shower tray with trapped outlet size with 150 mm upstands.

14. CLEANING and PROTECTION:

Thoroughly clean all sanitary fittings on completion of building with non-abrasive cleaner. Take due care to protect all work of other trades and all finished work of this trade.

15. ADDENDUM CLAUSES TO PLUMBER:

WASH TUB:	Single/Double	Stainless Steel/Concrete
SINK BENCH:	Length:.....	Stainless Steel/Formica

15. ADDENDUM CLAUSES TO PLUMBER - continued

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DRAINLAYER

1. GENERALLY:

All materials shall be the best of their respective kinds, and all workmanship shall be in accordance with the best trade practice, and comply with the Building Code and as detailed on Plans and/or Drawings.

2. ADDENDUM CLAUSES TO DRAINLAYER:

.....
..... *SEPTIC TANK AS PER Requirements*
..... *P.C. Council.*
.....

ELECTRICIAN

1. WORK AND MATERIALS:

All work and materials must comply with the requirements of the Building Act. Give all necessary notices to the Supply Authority and obtain any necessary permits for the permanent supply of electric power to this building.

2. SUPPLY LINE:

Allow for overhead/underground supply to a point of entry (which shall be determined by the Local Authority Engineer).

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.....

3. METER AND SWITCH BOARD CABINETS: (Exterior Meter Board)

Provide and install where indicated on Plans, hinged, flush recessed type approved switch and meter board cabinets of suitable size and set at the required height. Hinge boards and set into walls (recess in wooden walls to be lined with fire-resistant material). Each item on the boards shall be clearly labelled or sign-written. Meter board to be glazed if required.

Sub-Main and Fuse-Board where directed:
.....
.....

4. INSTALLATION OF T.P.S. CABLES:

Cables shall be placed in protected positions where they are not likely to be damaged by subsequent nailing of linings, etc. Cables shall not be directly embedded in concrete or plaster work.

5. FLUSH PLATES AND BOXES:

Flush boxes shall be adequately backed by a 25 mm dwang and fitted flush with the finished surface of the wall. Flush plates to be of plastic and to match their surroundings. Use multi-gang where switches or sockets are grouped.

6. SWITCHES AND SOCKETS:

Switches may be either tumbler or rocker type and fixed generally at 1350 mm from floor. Socket outlets shall be 10 amp located 300 mm above floor in all main rooms, 1050 mm above floor in Kitchen and Laundry or where directed. All sockets must be provided with switches in a combined flush-plate. No circuit-breakers on heat-points.

.....

7. LIGHT POINTS

HEAT POINTS

<u>Room</u>	<u>Lights</u>	<u>Wall Lights</u>	<u>No. of Outlets</u>
Lounge
Dining
Kitchen
Back Porch
Front Porch
Laundry
Bathroom
Toilet
Bedroom No. 1
Bedroom No. 2
Bedroom No. 3
Bedroom No. 4
Hall
Passage

.....

TOTAL:.....

8. SPECIAL FITTINGS:

Allow P.C. Sum \$..... for the supply only of light fittings. Allow in addition for fixing and connecting up as required. To all light points not allowed for Special Fittings, provide white conical shades.

9. ELECTRIC RANGE:

Allow P.C. Sum \$..... for supply of selected Electric Range

.....

Fix in position; provide range point with approved isolating switch.....

.....

10. WATER HEATING:

Provide water heating circuit with control switch on adjoining switchboard.

Provide an approved make of heating element and thermostat for fitting into the cylinder by Plumber.

Element shall be as recommended.

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11. RADIO (Earth and Aerial), T.V.:

Provide and fix where directed aerial and earth plate. Provide separate earthing electrode.

Provide and fix T.V. connection where directed.

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.....

12. TESTING:

Carry out all testing as required by the Electrical Wiring Regulations and make ready for inspection by the Electrical Supply Authority's Inspector.

13. THE OWNER SHALL SUPPLY:

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14. ADDENDUM CLAUSES to ELECTRICIAN:

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GLAZIER

1. GENERAL:

All glazing and window joinery shall comply with NZS 4223, NZS 3504, or NZS 3619 as appropriate and the Building Act, Building Regulations, and as detailed on the Drawings.

Glass for windows shall be

2. ADDENDUM CLAUSES to GLAZIER:

.....
.....
.....
.....

n/a

PAINTER and PAPERHANGER

1. WORK:

All work shall be in accordance with the best trade practice and in accordance with NZS 7703. All materials shall be the best of their respective kinds.

2. PREPARATION OF SURFACES:

It shall be the responsibility of the Painter to ensure that all surfaces, including the surface of each successive coat, are in suitable condition to produce a first class job. Wash, dust, or otherwise clean down all surfaces (including undercoats), remove imperfections by filling, sandpapering, etc. and apply such sealers and/or neutralisers as are necessary in accordance with sound trade practice; such preparatory work being deemed to form part of this Contract. No paints containing oil shall be applied to damp surfaces. All timbers exposed to view or contact by hand shall be hand-dressed (see under 'Joinery').

3. PROTECTION OF SURFACES:

The Painter must protect all surfaces to be clear varnished immediately they are placed, by giving a coat of sealer and varnish to all faces and edges; similarly, surfaces to be painted must be protected by priming coats.

4. EXTERIOR WOODWORK:

One coat of primer, one coat of approved undercoat and one coat of exterior quality gloss finish of approved manufacture; colour to Owner's choice.

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5. EXTERIOR METAL WORK:

Clean down and then treat as follows: Work supplied zinc sprayed (or galvanised):

- 1st coat Zinc Chromate, or
- 2nd coat Exterior Undercoat
- 3rd coat Exterior Gloss Finish

Before priming or painting metal work, make sure that it is free from moisture, rust, scale and then galvanising or zinc spraying if sound.

6. EXTERIOR CEMENT BASE SHEETING:

- 1st coat Resene P.V.A. paint
 - 2nd coat " " "
- Apply as per manufacturer's instructions.

7. EXTERIOR PLASTER WORK:

Paint as follows:
.....
.....

7a. EXTERIOR BLOCKWORK:

Subfloor

Please Photocopy

Bracing Calculation Sheet A

Job Details

box 1

Name Mr R & Mrs P Mathers
 Street and Number Our Pohutukawa Drive & Mana Way
 Lot and DP Number _____
 City/Town/District Athenree
 Location of Storey: single/upper of two/tower of two subfloor
 Building height to apex 4.3 m Roof weight light/heavy
 Roof height above eaves 2 m Cladding weight light/heavy
 Stud height 2.4 m Room in roof space yes
 Average roof pitch _____
 Building length BL = 15 m Gross Building _____
 Building width BW = 8.2 m Plan Area, GPA = 118 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
 Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 Inland 0 Sheltered 0 Gentle 0
 R2 1 Coastal 1 Exposed 1 Moderate 1
 Extreme 3
 Total points 2
 Wind zone: Low (0) Very high (3)
 Medium (1) Specific Design (4)
 High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BUs required Wind

box 4

From Table W1A/W1B
 W along = 128 BUs/m
 W across = 121 BUs/m
 Total wind load,
 W ALONG:
 W along x BW = 1049.6 BUs
 W ACROSS
 W across x BL = 1815 BUs

BUs required Earthquake

box 5

From Table EQ1
 E = 5 BUs/m²
 Note: For a room in the roof space use E+1
 Total earthquake load,
 EQ ALONG and EQ ACROSS:
 E x GPA, BUs = 590 BUs

Subfloor

Please Photocopy

Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake							
1	2	3	4	5	6 W	7 W	6 E	7 E						
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E						
A	150	1	14	1	160	160	/							
		2	14	1	160	160								
		3	14	1	160	160								
B	70	1	14	1	160	160			/					
		2	14	1	160	160								
		3	14	1	160	160								
C	150	1	14	1	160	160					/			
		2	14	1	160	160								
		3	14	1	160	160								
D							/							
E						/								
Totals Achieved					W									1440
From Sheet A		Totals Required			W				10496	E				590
Wreq/Ereq =		1.7												

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

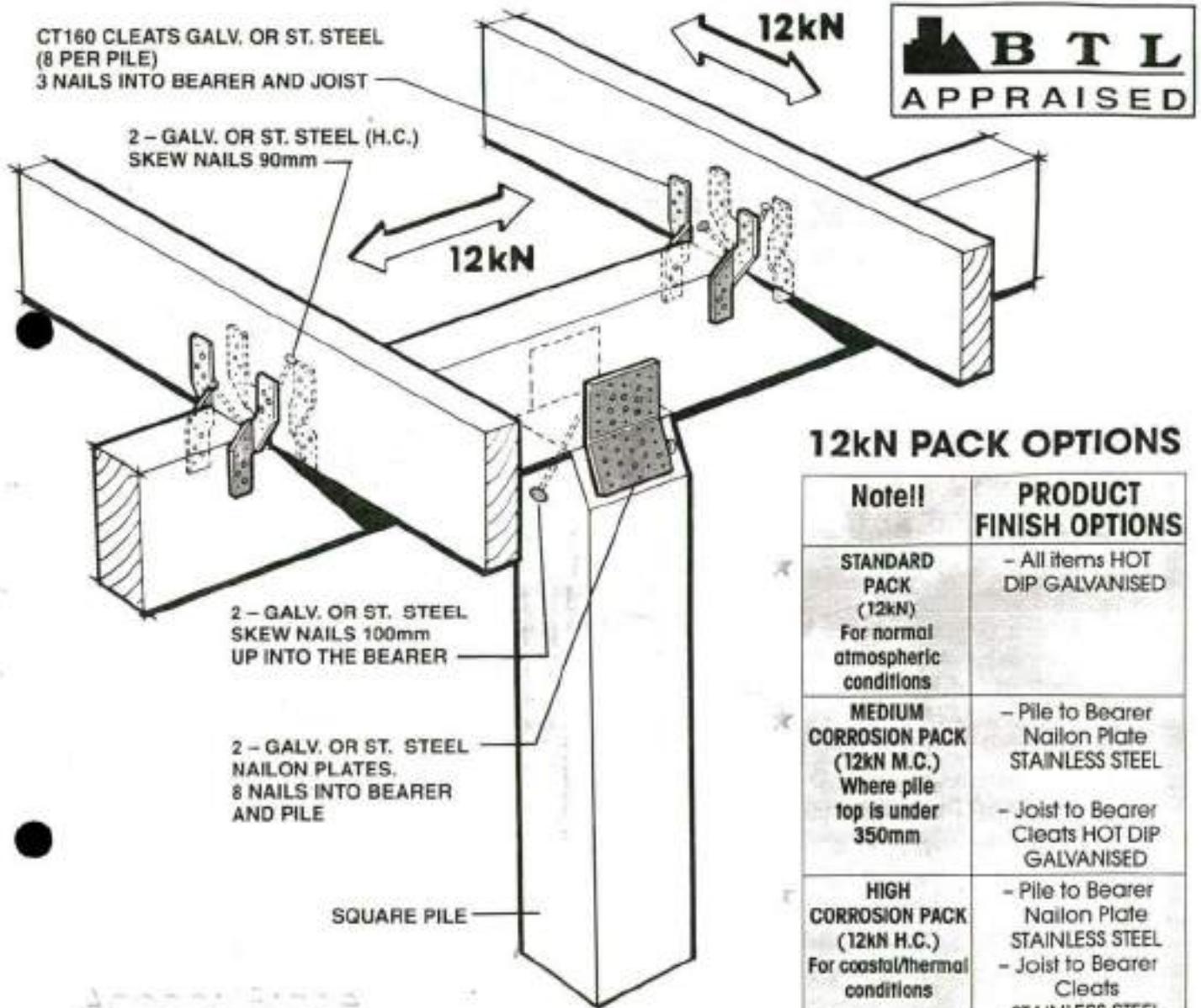
Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake									
1	2	3	4	5	6 W	7 W	6 E	7 E								
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E								
M	82	1	7	5.5	300	1657	/									
		2	14	1	160	160										
N	70	1	14	1	160	160			/							
		2	14	1	160	160										
		3	14	1	160	160										
O	82	1	14	1	160	160					/					
		2	14	1	160	160										
P													/			
Q															/	
Totals Achieved					W	2637	E									
From Sheet A		Totals Required			W	1015	E	590								
Wreq/Ereq =		2.5														

12kN PILE FIXING

94/4

For Braced Piles or Anchor Piles

- ✦ BTL Appraisal Certificate No. 297 1994
- ✦ Auckland University Tested. Test Ref. 4613
- ✦ Complies with NZS-3604 1990
- ✦ Suitable for Bearers and Joists up to 150mm deep.



12kN PACK OPTIONS

Notell	PRODUCT FINISH OPTIONS
STANDARD PACK (12kN) For normal atmospheric conditions	- All items HOT DIP GALVANISED
MEDIUM CORROSION PACK (12kN M.C.) Where pile top is under 350mm	- Pile to Bearer Nailon Plate STAINLESS STEEL - Joist to Bearer Cleats HOT DIP GALVANISED
HIGH CORROSION PACK (12kN H.C.) For coastal/thermal conditions	- Pile to Bearer Nailon Plate STAINLESS STEEL - Joist to Bearer Cleats STAINLESS STEEL

★ See Over For Corrosion Table.

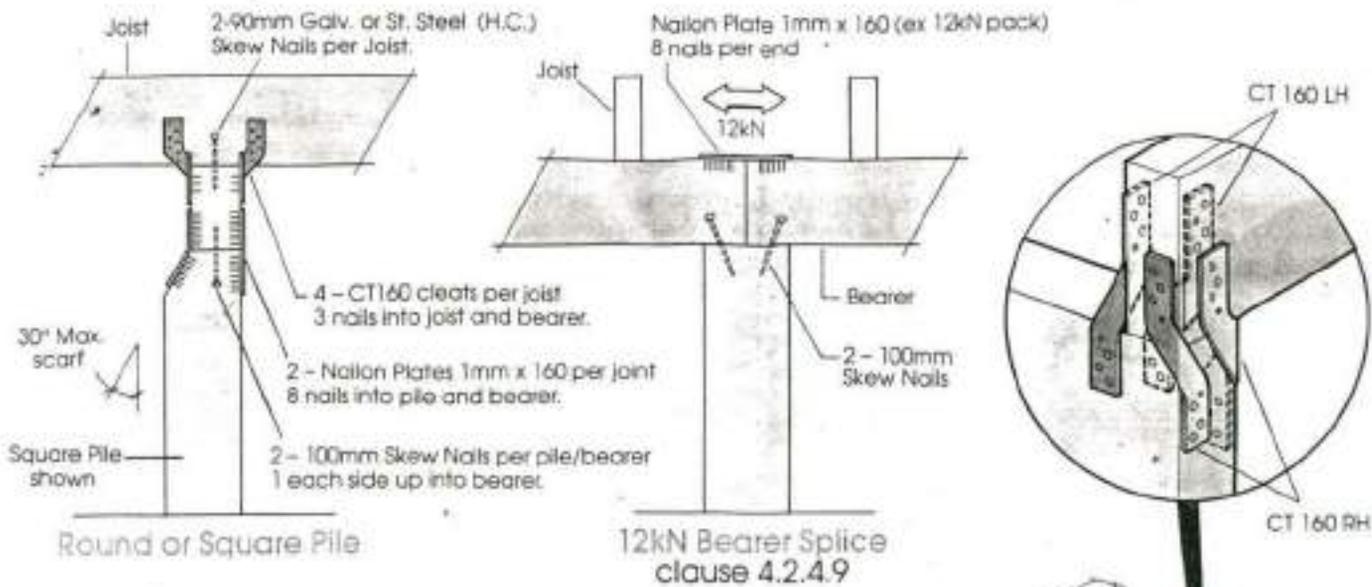
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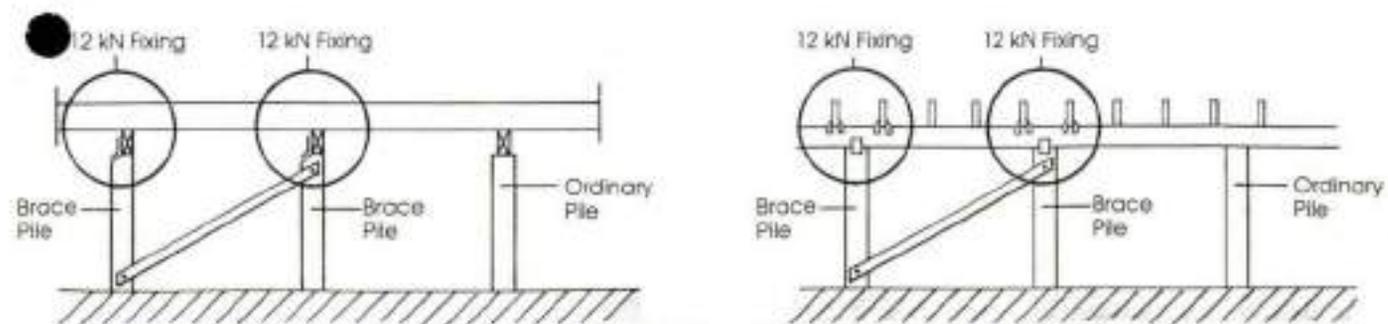
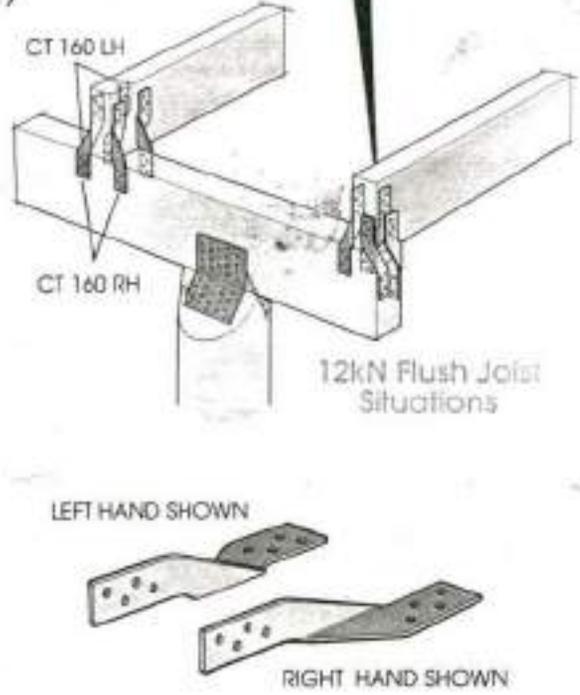
LUMBER-LOK N.Z. LTD

3-5 Zealandian Drive, East Tamaki,
 P.O. Box 58-014, Greenmount, Auckland.
 Phone (09) 274-7109.
 Fax (09) 274-7100.

Kotzikas Place,
 P.O. Box 8387, Christchurch.
 Phone (03) 348-8691.
 Fax (03) 348-0314.



CORROSION HAZARD USE TABLE	
Standard Pack (12kN Std) - For normal atmospheric conditions - Greater than 500m from sea - Pile top less than 350mm from ground	All items hot dip galvanised
Medium Corrosion Pack (12kN MC) - Greater than 500m from sea - Pile top less than 350mm from ground	Pile to bearer fixings stainless steel (304). Joist to bearer fixings hot dip galvanised.
High Corrosion Pack (12kN HC) - Coastal / Thermal situations - Pile top less than 350mm from ground	All items stainless steel (304).
- For corrosion zone geographical areas refer to BTL Appraisal Certificate. (Figure 1.) - All above connections must be covered with a thick layer (at least 2mm) of grease after installation.	
- For details on ventilation of subfloor and other specific information, refer to BTL Appraisal Certificate.	



Sample Subfloor Elevations
12kN Fixing - Pile to Bearer
- Joists to Bearer

12kN Joist Fixing Schedule

- PILE TO BEARER**
- Nailon Plate (2 per joint) 1mm x 100mm x 160mm long
 - 8 nails per plate into Pile
 - 8 nails per plate into Bearer
 - 2 skew nails 100mm (1 per face)
- JOIST TO BEARER**
- CT160 cleats (4 per joist) 160mm long
 - 3 nails per cleat into Joist
 - 3 nails per cleat into Bearer
 - 2 skew nails 90mm (1 per side). Not included in pack.
- NAILS**
- 80 45mm x 3.55 dia. Spiral Nails
 - 2 100mm x 4 dia. St. Steel Nails (Med. corrosion and High corrosion pack only)
 - 4 90mm x 4 dia. St. Steel Nails (H.C. pack only)

- 12kN Pile Set Contents** Each set represents 1 12kN Pile (packed 4 sets per carton)
- 2 x Nailon Plates 160mm long
 - 8 x CT160 cleats
 - 80 x 45mm x 3.55 dia. Spiral Nails
 - 2 x 100mm x 4 dia. St. Steel Angular Groove
- Refer front page for Product Finish Options

90mm Galv. Skew Nails not included.

FACSIMILE TRANSMISSION from:

Tauranga Shop
 Tauranga Building Supplies
 Waihi
 Kaikati

DATE: 12/5/96 pages

TO: Doug Quattro

FAX No: 07-8635837

FROM: Dave Lemon

ATTENTION: Doug

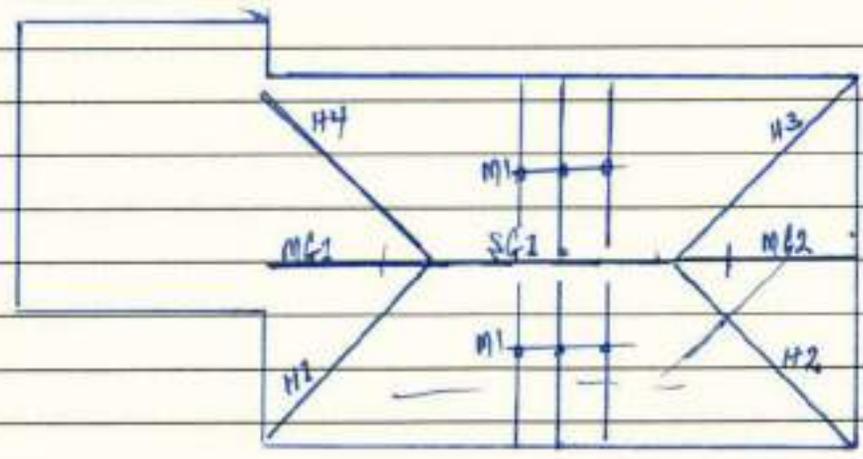
FAX REPLY REQUIRED TODAY: YES / NO

MESSAGE: Re: Makers job

Doug,

Following is my tentative steel truss design for this job. We will probably make all walls standard stud height and higher wall areas to be infilled between trusses.

Please ring me with any queries



Dave

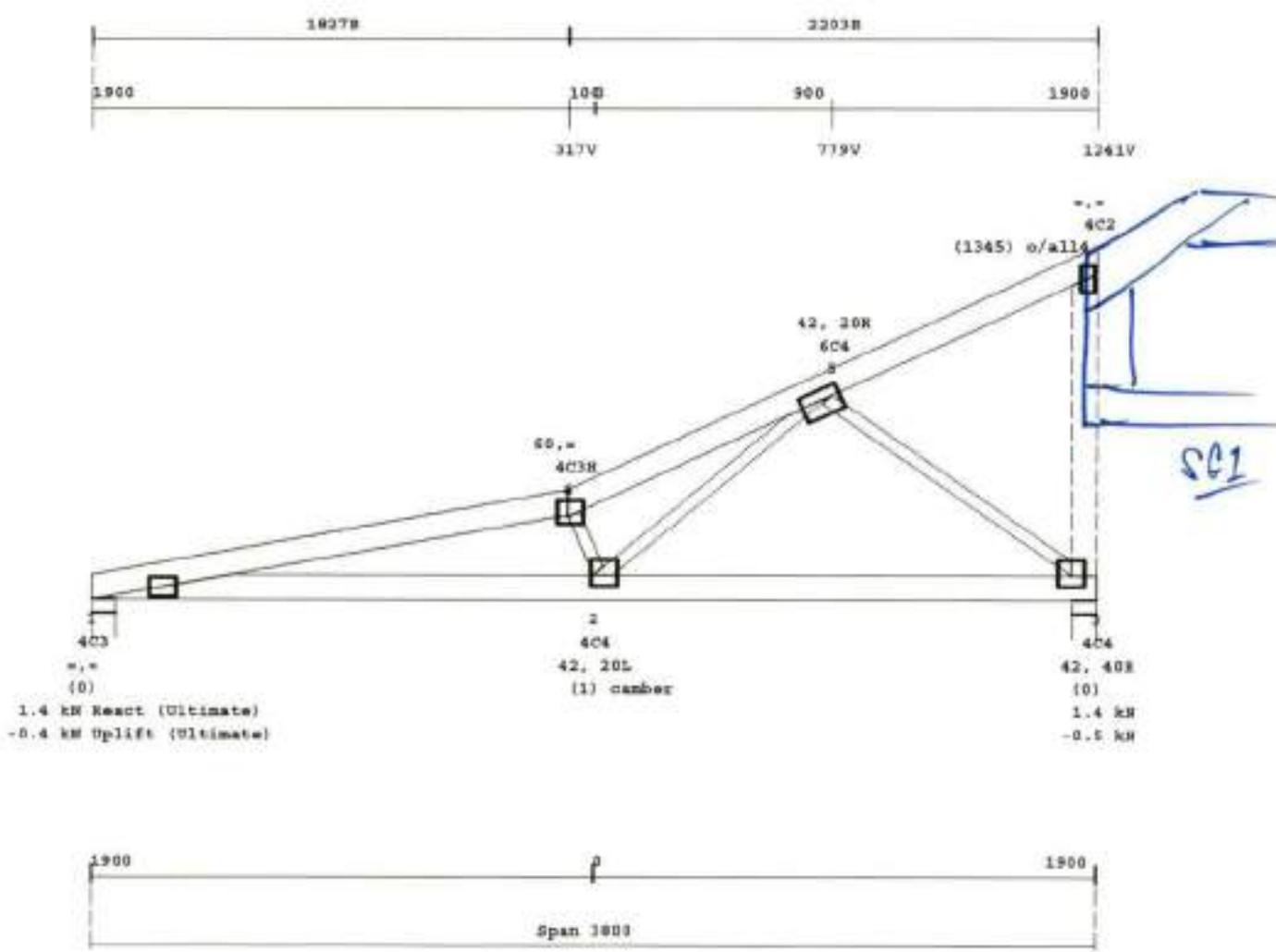
TRUSS DETAIL SHEET

Job Ref: 81-96

Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENREE

TRUSS DATA	CHORDS	WEBS
Truss Type : Non St	1 3 94f 5 J4	u.o.n 47f 5 J4
TC pitch 1 : 10.00	6 4 94f 5 J4	3 4 94f 5 J4
Thickness : 47	1 6 94f 5 J4	
Spacing : 900		
Species : GREEN		
TC Restraint: 900		
BC Restraint: 600		
Roofing Material : Longrun		60 Pa
Ceiling Material : Timber (25mm)		140 Pa
Jig Rates (Hours) Set = 0.40 Press = 1.00 Total = 1.40		
Truss Mark <MG2 > 1 Double Truss		



TRUSS DETAIL SHEET

Job Ref: 81-96

Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENREE

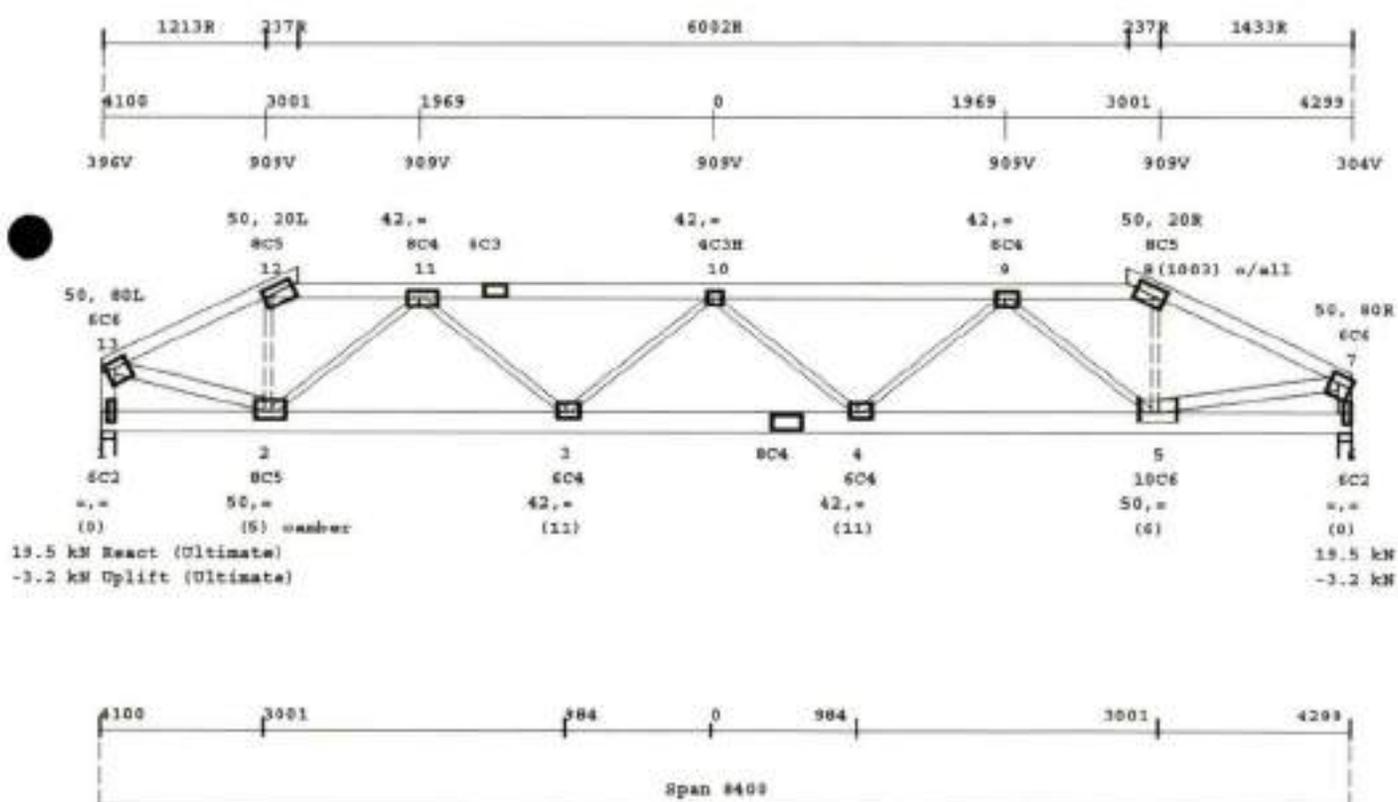
TRUSS DATA	CHORDS	WEBS
Truss Type : T/Std	1 6 144f 5 J4	u.o.n 47f 5 J4
TC pitch 1 : 25.00	7 8 94f 5 J4	1 13 94f 5 J4
Lh cut-off : 851	8 12 94f 5 J4	2 13 94f 5 J4
Rh cut-off : 652	13 12 94f 5 J4	5 7 94f 5 J4
Station : 2152		6 7 94f 5 J4

Carriage : 10600
Thickness : 47
Spacing : 900
Species : GREEN

TC Restraint: 900
BC Restraint: 600
Roofing Material : Longrun 60 Pa
Ceiling Material : Timber (25mm) 140 Pa

Jig Rates (Hours) Set = 1.25 Press = 2.50 Total = 3.75

Truss Mark <SG1 > 1 Double Truss Note! anti-split plates required.



TRUSS DETAIL SHEET

Job Ref: 81-96

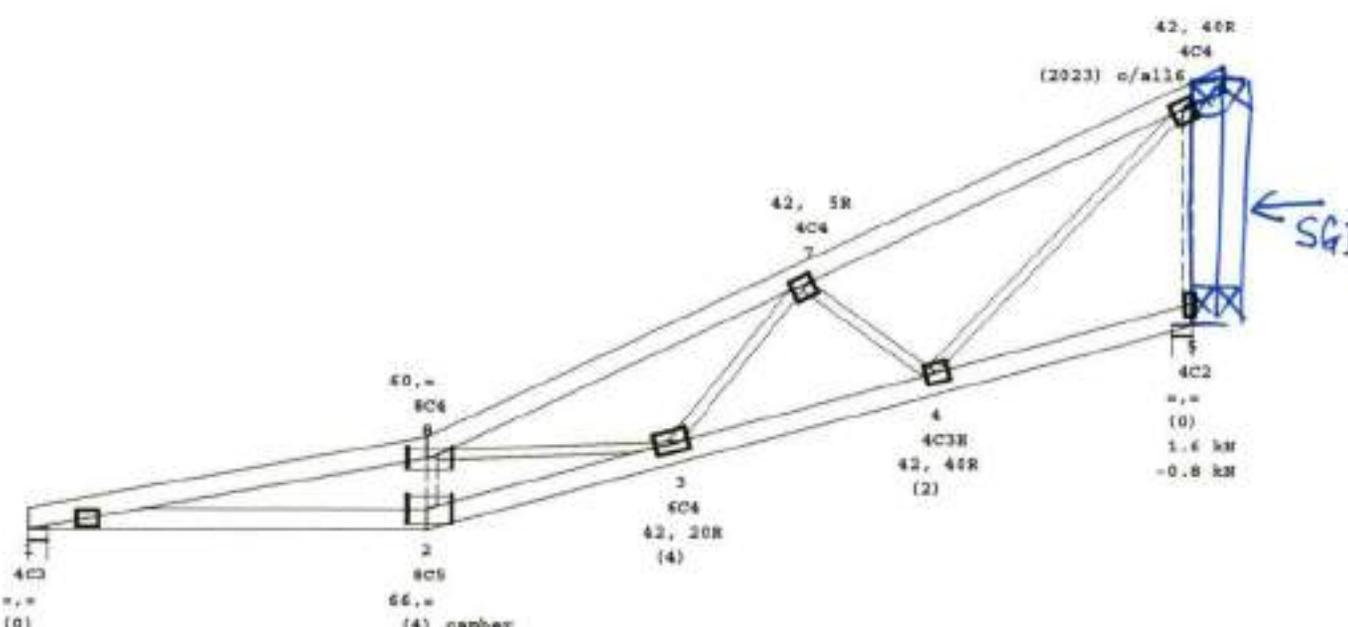
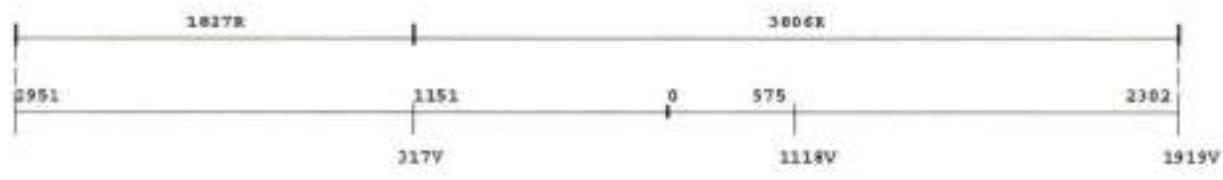
Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENREE

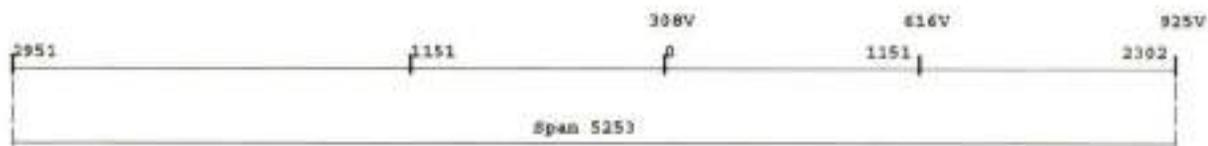
TRUSS DATA	CHORDS	WEBS
Truss Type : Non St	1 2 94f 5 J4	u.o.n 47f 5 J4
TC pitch 1 : 10.00	2 5 94f 5 J4	
Thickness : 47	8 6 94f 5 J4	
Spacing : 800	1 8 94f 5 J4	
Species : GREEN		
TC Restraint: 900		
BC Restraint: 600		
Roofing Material : Longrun		60 Pa
Ceiling Material : Timber (25mm)		140 Pa

Jig Rate (Hours) Set = 0.53 Press = 10.67 Total = 11.20

Truss Mark <M1 > 16 Single Trusses



1.6 kN Swact (Ultimate)
-0.5 kN Uplift (Ultimate)



TRUSS DETAIL SHEET

Job Ref: 81-96

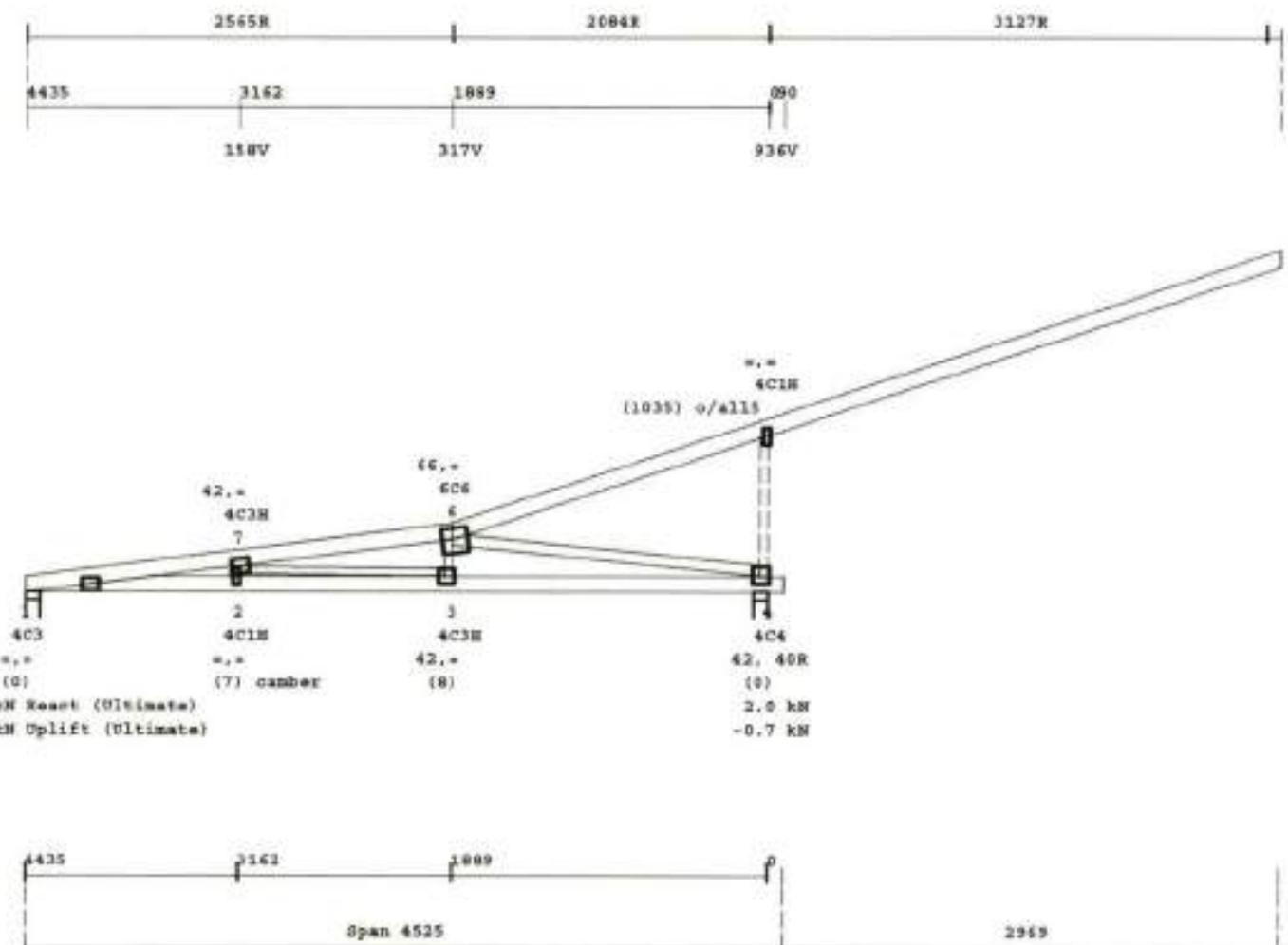
Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENRBE

TRUSS DATA	CHORDS	WEBS
Truss Type : Hip	1 4 94f 5 J4	u.o.n 47f 5 J4
TC pitch 1 : 7.11	6 5 94f 5 J4	4 6 69f 5 J4
Thickness : 47	1 6 94f 5 J4	
Spacing : 900		
Species : GREEN		
TC Restraint: 900		
BC Restraint: 600		
Roofing Material : Longrun		60 Pa
Ceiling Material : Timber (25mm)		140 Pa

Jig Rates (Hours) Set = 0.29 Press = 0.70 Total = 0.99

Truss Mark <H2 > 1 Single Truss



TRUSS DETAIL SHEET

Job Ref: 81-96

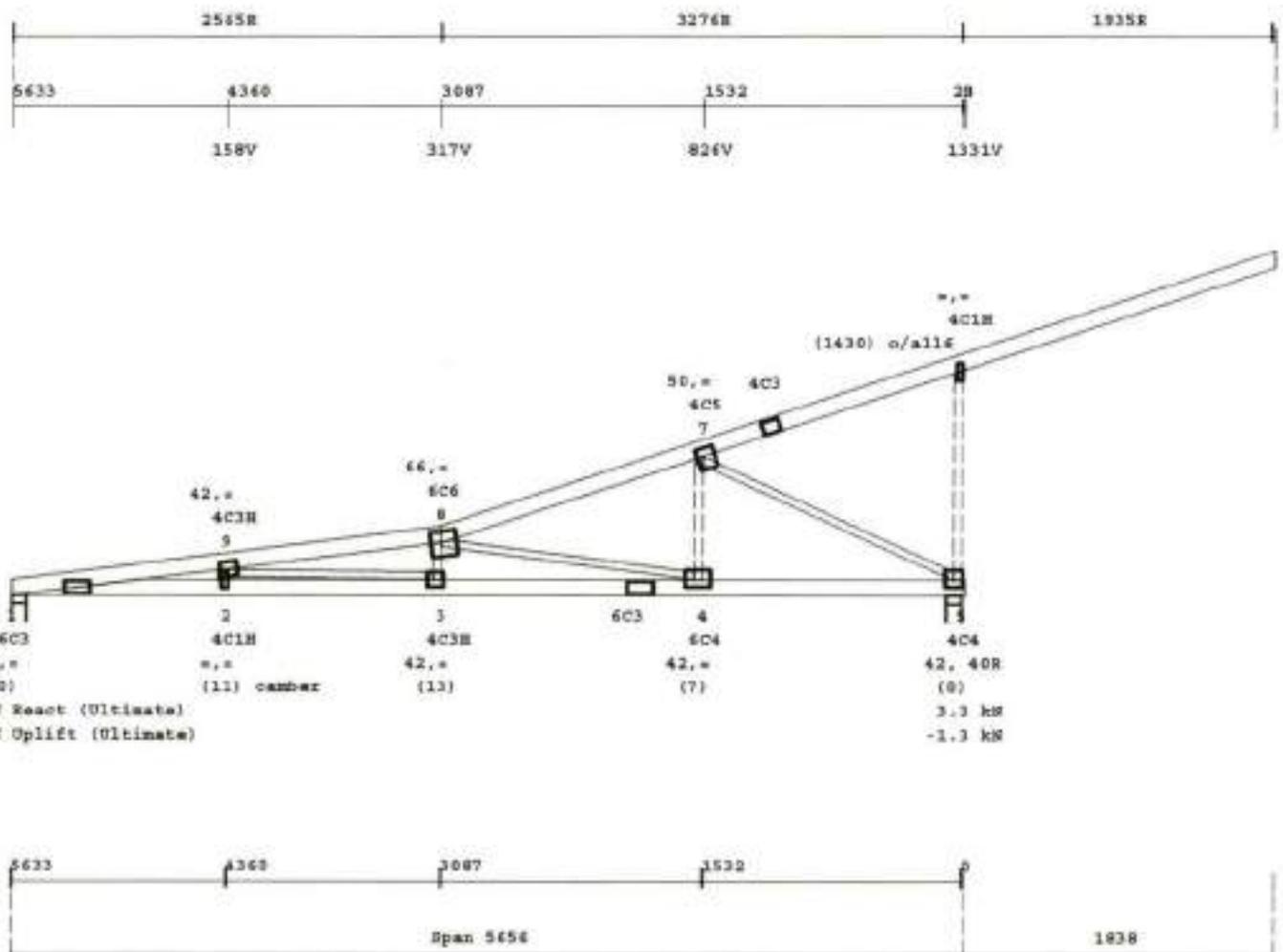
Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENREE

TRUSS DATA	CHORDS	WEBS
Truss Type : Hip	1 5 94f 5 J4	u.o.n 47f 5 J4
TC pitch 1 : 7.11	8 6 94f 5 J4	
Thickness : 47	1 8 94f 5 J4	
Spacing : 900		
Species : GREEN		
TC Restraint: 900		
BC Restraint: 600		
Roofing Material : Longrun		60 Pa
Ceiling Material : Timber (25mm)		140 Pa

Jig Rates (Hours) Set = 0.46 Press = 1.10 Total = 1.56

Truss Mark <H1 > 1 Single Truss



TRUSS DETAIL SHEET

Job Ref: 81-96

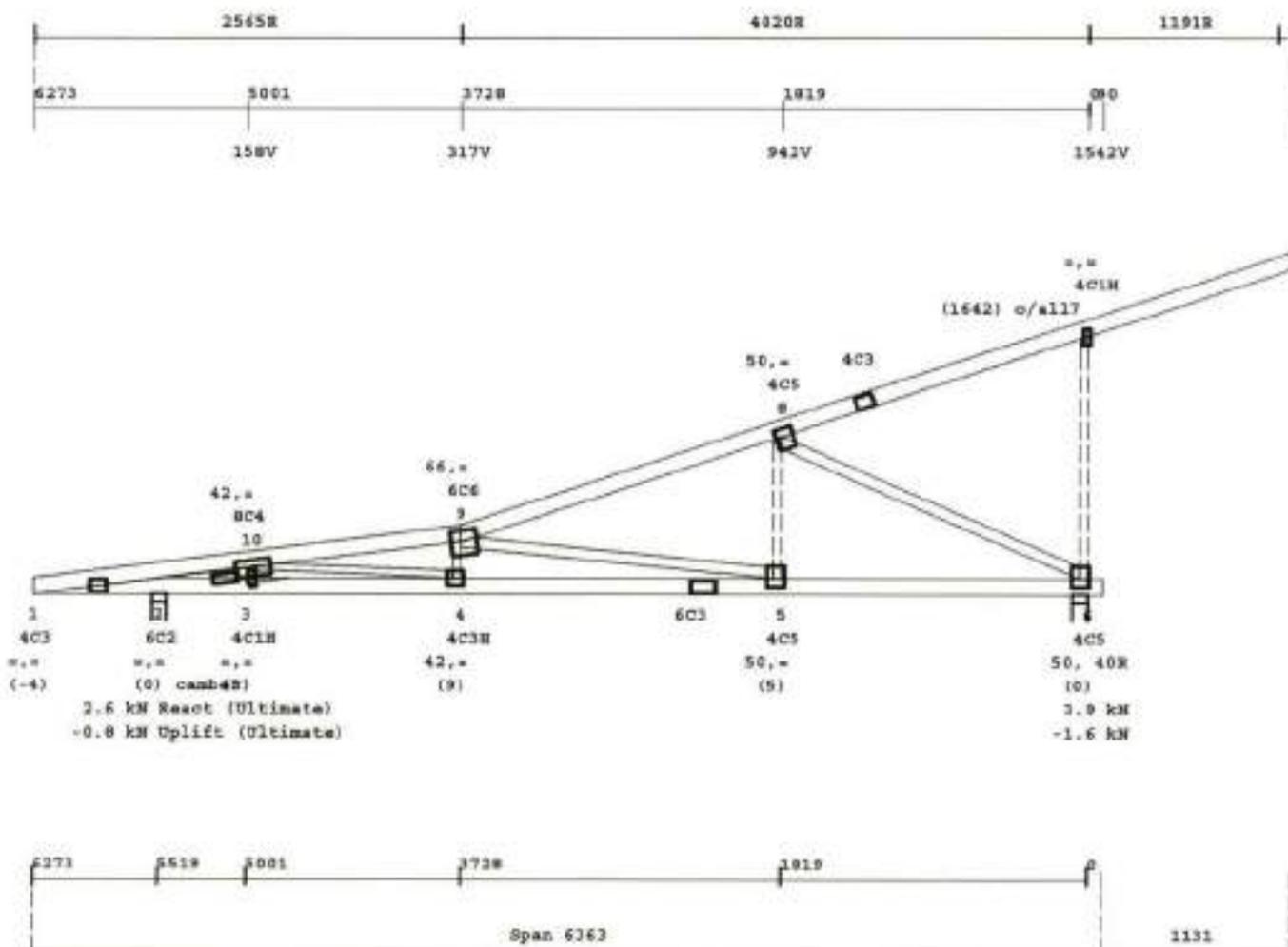
Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENREE

TRUSS DATA	CHORDS	WEBS
Truss Type : Hip	1 6 94f 5 J4	u.o.n 47f 5 J4
TC pitch 1 : 7.11	9 7 94f 5 J4	2 10 94f 5 J4
Thickness : 47	1 9 94f 5 J4	5 9 69f 5 J4
Spacing : 900		6 8 69f 5 J4
Species : GREEN		
TC Restraint: 900		
BC Restraint: 600		
Roofing Material : Longrun		60 Pa
Ceiling Material : Timber (25mm)		140 Pa

Jig Rates (Hours) Set = 0.50 Press = 1.20 Total = 1.70

Truss Mark <H3 > 1 Single Truss



PRODUCER STATEMENT

Job Ref: 81-96

TRUSS DESIGN CRITERIA

Customer name : MATHERS R & P.

Site address : POHUTUKAWA DRIVE
ATHENREEDESIGN CRITERIA

Roofing - Longrun
 Ceiling - Timber (25mm)
 Top chord restraints - 900 mm
 Bottom chord restraints - 600 mm
 Standard truss spacing - 900 mm
 Standard roof pitch - 10.00 deg

Design wind speed - 31 m/s
 Region - II
 Terrain category - 2.5
 Building height - 3 m
 Shielding Classification - Full
 Topographic Classification - T1
 Internal pressure coefficient - 0.3

The truss designs for this job have been determined using computer software provided by the Technical Division within Pryda Truss Systems. These designs are in accordance with sound and widely accepted engineering principles and comply with the following New Zealand Standards:-

NZ4203 : 1992 General Structural Design and Design Loadings for Buildings
 NZ3603 : 1993 Timber Design
 AS1649 : 1974 Determination of Basic Working Loads for Metal Fasteners for Timber

These trusses should be erected and braced in accordance with the recommendations shown in Pryda Systems Roof Truss Erection Manual.

Fabricator name : MATAORA MITRE 10 HOMECENTRE

We confirm that the trusses for this project have been manufactured in accordance with the specifications provided by Pryda Truss Systems.

Signed : DM LemonDate : 15/5/96

TRUSS REACTIONS REPORT

Job Ref: 81-96

Customer: MATHERS R & P.

Site Addr: POHUTUKAWA DRIVE
ATHENREE

O/N :

Date Reqd:

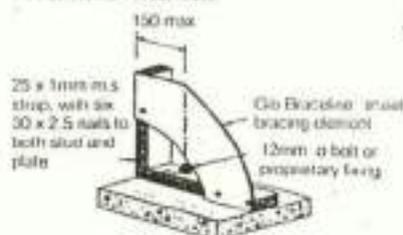
Truss Mark	Support at Joint	Dead (1.4D) (kN)	Max.Reaction (1.2D+1.6L) (kN)	Uplift (0.9D-WUp) (kN)	Uplift fixing	Special Note
MG1	1	0.8	1.4	-0.4		
MG1	3	0.9	1.5	-0.6		
MG2	1	0.8	1.4	-0.4		
MG2	3	0.8	1.4	-0.5		
SG1	1	11.5	19.5	-3.2		
SG1	6	11.5	19.5	-3.2		
H1	1	1.1	1.8	-0.5		
H1	5	1.9	3.3	-1.3		
H2	1	0.7	1.1	-0.3		
H2	4	1.2	2.0	-0.7		
H3	2	1.6	2.6	-0.8		
H3	6	2.2	3.9	-1.6		
H4	1	0.5	0.8	-0.2		
H4	4	0.7	1.2	-0.4		
M1	1	0.9	1.6	-0.5		
M1	5	0.9	1.6	-0.8		
C1	1	0.8	1.5	-0.5		
C1	6	0.8	1.5	-0.7		
C3	1	0.7	1.3	-0.5		
C3	3	0.7	1.4	-0.7		
C4	1	0.6	1.2	-0.4		
C4	5	0.7	1.2	-0.6		
S1	1	1.3	2.4	-1.0		
S1	4	1.3	2.4	-1.0		
H5	1	0.9	1.4	-0.4		
H5	5	1.5	2.6	-1.0		
SD 1	1	3.8	6.5	-2.3		
SD 1	4	3.8	6.5	-2.3		

Please Photocopy

Detail 1
6kN connection to timber sub-floor
(both sides of stud strapped for 12kN)



Detail 2
6kN connection to concrete

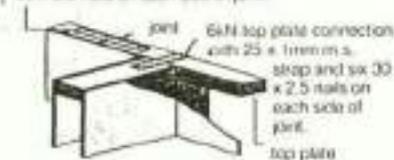


Detail 3

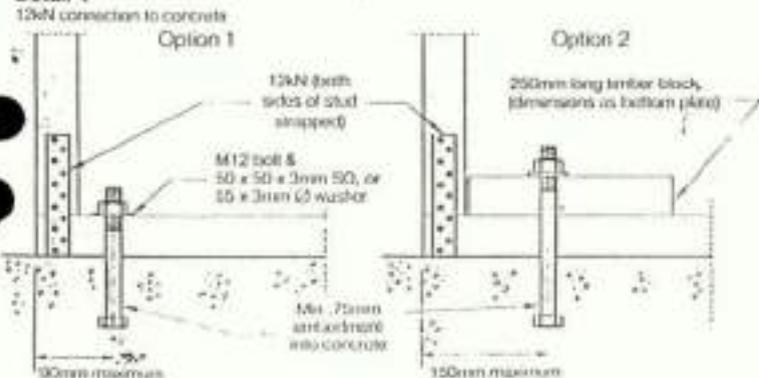


Top Plate Connections

3kN top plate connection, with 25 x 1mm m.s. strap and three 30 x 2.5 nails on each side of joint.



Detail 4



Please Photocopy

Gib Wall Bracing Systems Construction Guide

Examples with N25 3603 | 1060

Specifications			
Type	Description	Additional Requirements	Nailing & Stopping
Gb 1	9.5mm Standard Gb* on one face. Min. length 1800mm	Diagonal brace	Gb 1, 2 and 3 30 x 2.5 Gb Clouts* at 150mm c/c, around the perimeter of the bracing element and double nailed at 300mm c/c to intermediate framing. Tape and stop all joints within the bracing element.
Gb 2	9.5mm Standard Gb* on both sides. Min. length 1800mm	Diagonal brace	
Gb 3	9.5mm Standard Gb* on both sides. Min. length 1200mm	No additional requirement	
BR 1	Gb Braceline* on one face. Min. length 1800mm	Diagonal brace	BR 1, 2, 3, 4, 5, 6, 7 and 8
BR 2	Gb Braceline* vertical on one face. Min. length 1800mm	No additional requirement	30 x 2.5 Gb Clouts* fitted with Gb Braceline* washers at 150mm c/c, around the perimeter of the bracing element.
BR 3	Gb Braceline* horizontal on one face. Min. length 1800mm	No additional requirement	
BR 4	Gb Braceline* on one face. Length 900 to 1200mm	6 kN end-stud fixings	Double nail to intermediate framing at 300mm centres.
BR 5	Gb Braceline* on one face. Length 1200 to 2400mm	6 kN end-stud fixings	Tape and stop all joints within the bracing element.
BR 6	Gb Braceline* and Gb Board* on opp. sides. Length 1200 to 2400mm	12 kN end-stud fixings	Plywood and Hardboard shall be fixed with 30 x 2.5mm Gb* Clouts at 150mm c/c around sheet perimeters and at 300mm c/c to intermediate framing.
BR 7	Gb Braceline* on one face 7.5mm ply on other. Length 900 to 2400mm	6 kN end-stud fixings	
BR 8	Gb Braceline* on one face 4.75mm hardboard on other. Length 900 to 2400mm	6 kN end-stud fixings	
BR 9	Gb Braceline* on one face min length 0.6m max length 1.2m	Metal strap of 6kN capacity fixed to both wall end-studs and bottom plate to floor fixing.	Nailing type and pattern as illustrated on page 18.

Guidelines for Intersecting Walls

Types BR1 to BR8 may have Standard Gb* intersecting walls with a minimum length of 200mm. Gb* Braceline sheets shall be fixed and jointed as given on pages 16 and 17. Nails and washers are required around the perimeter of the bracing element. Vertical joints at T-junctions (illustrated on the left) shall be fixed and jointed as specified for intermediate sheet joints.



Where Wall Bracing Elements are interrupted by T or L junctions (as illustrated in the 900mm example above) they should be considered as follows: The Gb Braceline* has been cut to accommodate the junction. Nevertheless, in respect of calculating Bracing Units, the Bracing Element is deemed to be continuous for the whole length (900mm in this particular case).



Fire Resistance Ratings

Gib Braceline® can be substituted for 9.5mm Gib Fyeline® in fire rated walls.

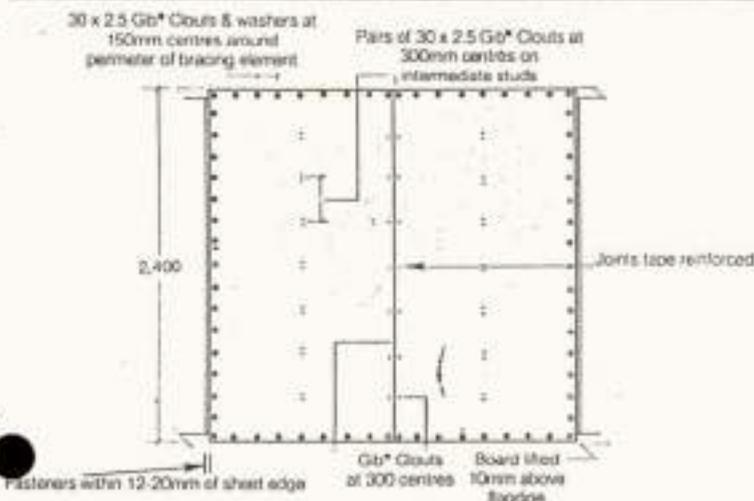
Plywood

7.5mm Standard Construction Plywood manufactured to NZS 3614 and AS 2209. Minimum grade, C-D. Minimum treatment level, untreated. Fixing shall be 30 x 2.5mm Gib® Clouts at 150mm centres around sheet perimeters and at 300mm centres to intermediate framing.

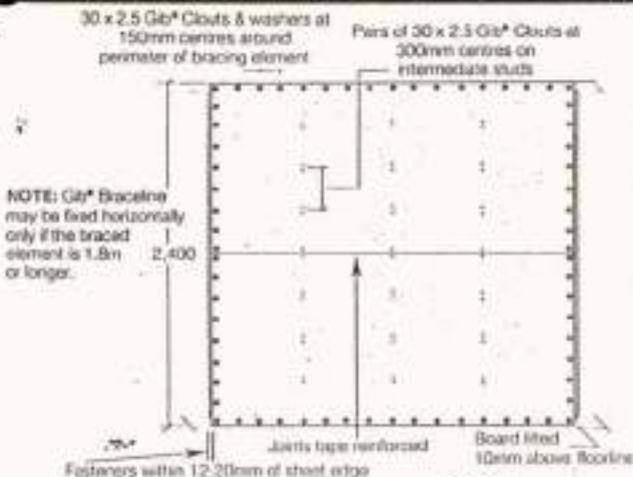
Hardboard

4.75mm Standard Hardboard or 4.75mm Oil Treated Hardboard as manufactured by Fletcher Wood Panels Limited. Fixing shall be 30 x 2.5mm Gib® Clouts at 150mm centres around sheet perimeters and at 300mm centres to intermediate framing.

Vertical Fixing (Table 2)



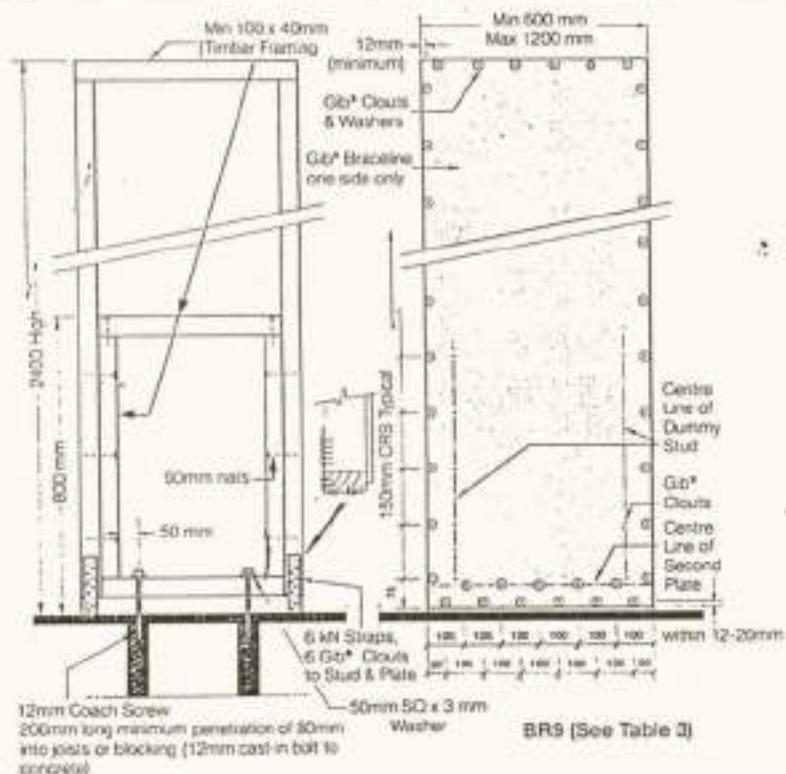
Horizontal Fixing (Table 2)



NOTE: Gib® Braceline may be fixed horizontally only if the braced element is 1.8m or longer.



BR9 Wall Bracing System



Framing Requirements

Framing

No. 1 framing, with minimum cat dimensions of 100 x 40mm. Specific requirements include a double bottom plate, a single dowing at 800mm above floor level, and dummy studs beside both end-studs below the level of the dowing. The end-studs must be fixed directly to the floor framing by means of a strap with a minimum capacity of 6kN (eg. ex 25x1mm galvanized steel strap). Alternatively the end-studs may be fixed to the bottom plate by means of a 6kN strap as illustrated above. In this case the bottom plate must be connected to the floor framing with 12mm coach screws fitted with 50x50mm washers.

Lining

Gib® Braceline on one face nailed typically at 150mm around the perimeter of the bracing panel, and at 100mm centres to the top plate and both bottom plates with Gib® Clouts fitted with Braceline washers. Additional Gib® Clouts are used for fixing to the dummy studs as illustrated. Use full sheets only.



Wall Bracing Calculation Sheet A

Job Details

box 1

Name Mr B & Mrs P Mathers
 Street and Number Cnr Pohutukawa Drive & Marina Way
 Lot and DP Number _____
 City/Town/District Athenree
 Location of Storey: single upper of two/lower of two
 Building height to apex 4.3 m Roof weight light/heavy
 Roof height above eaves 2 m Cladding weight light/heavy
 Stud height 2.4 m Room in roof space y/n
 Average roof pitch _____
 Building length BL = 21 m Gross Building _____
 Building width BW = 8.2 m Plan Area, GPA = 145.18 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 Inland R2 Coastal Exposed Sheltered Topography: 0 Gentle 1 Moderate 2 Extreme 3
 Total points 2
 Wind zone: Low (0) Very high (3) Medium (1) Specific Design (4) High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BU's required Wind

box 4

From Table W1A/W1B
 W along = 64 BU's/m
 W across = 54 BU's/m
 Total wind load,
 W ALONG:
 W along x BW = 524.8 BU's
 W ACROSS:
 W across x BL = 1134 BU's

BU's required Earthquake

box 5

From Table EQ1
 E = 2 BU's/m²
 Note: For a room in the roof space use E+1
 Total earthquake load,
 EQ ALONG and EQ ACROSS:
 E x GPA BU's = 290.36 BU's

Wall Bracing Calculation Sheet B

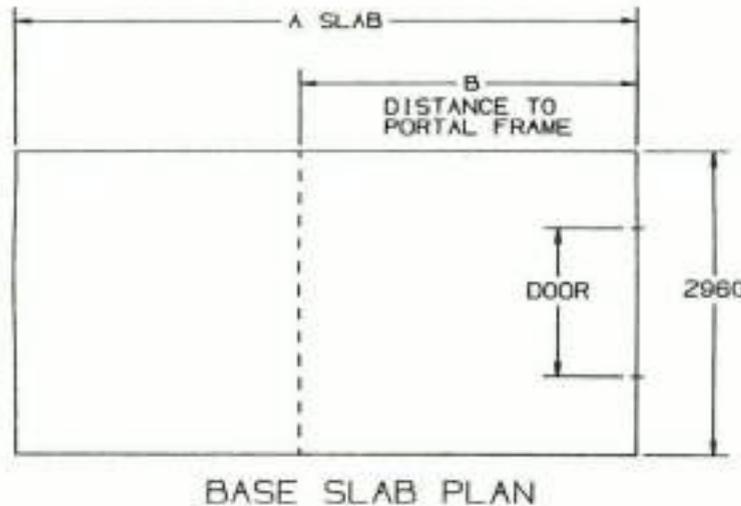
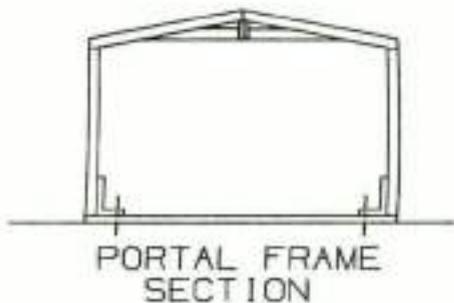
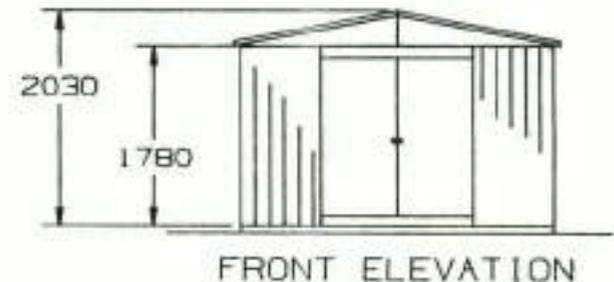
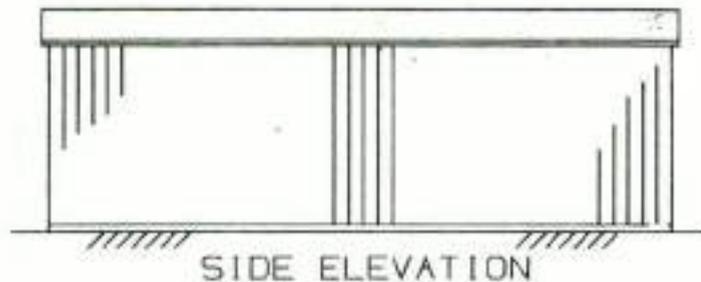
Along

Wall or Bracing Line	Bracing Elements Provided					Wind		Earthquake	
	1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L		Rating BU/m W	BU's Achieved (BU/m x L) W	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ
A	210	1	G101	2.0		75	150		
		2	BR4	0.9		100	90		
		3	G101	2.4		75	180		
B	70	1	BR5	1.2		115	138		
		2	G103	1.6		65	104		
C	210	1	BR2	2.0		75	150		
		2	BR5	1.2		80.5	96.6		
D									
E									
Totals Achieved						W	908.6	EQ	
From Sheet A Totals Required						W	524.8	EQ	290.36
Wreq/EQreq = 1.8									

*If Wreq/EQreq is 1 or less complete EQ column only
 If Wreq/EQreq is 1.5 or more complete W column only
 Otherwise complete both W and EQ

Across

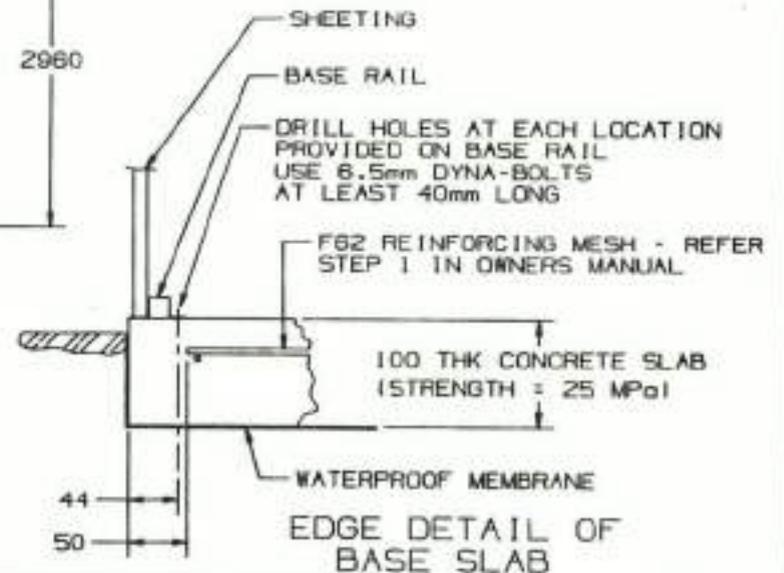
Wall or Bracing Line	Bracing Elements Provided					Wind		Earthquake	
	1	2	3	4	5	6 W	7 W	6 EQ	7 EQ
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L		Rating BU/m W	BU's Achieved (BU/m x L) W	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ
M	100	1	BR4	0.9		100	90		
		2	G101	2.4		75	180		
N	100	1	BR4	1.0		100	100		
		2	G102	2.5		80	200		
O	70	1	G102	2.4		80	192		
		2	BR4	0.9		100	90		
P	70	1	BR5	1.5		115	172.5		
		2	G103	3.9		45.5	177.45		
Q	100	1	BR5	1.2		80.5	96.6		
		2	BR5	1.0		100	100		
Totals Achieved						W	1338.55	EQ	
From Sheet A Totals Required						W	1134	EQ	290.36
Wreq/EQreq = 3.9									



MODEL	DIMENSIONS	
	A	B
A/Z1013	3946	2097
A/Z1015	4568	2408
A/Z1019	5812	3030

NOTE: -
 THESE SHEDS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE CONDITIONS AND AUSTRALIAN STANDARDS STATED IN THE GUTTERIDGE HASKINS & DAVEY PTY. LTD. DESIGN CERTIFICATION DATED 10 AUG. 1995

CONSTRUCTION DETAILS



VICTA / TRECO
 SHED MODELS
 A/Z1013, A/Z1015, A/Z1019

PROPOSED GARDEN SHED FOR
 NAME:
 ADDRESS:

DATE	AMENDMENTS			BY
DRN BY	APPROVED	DATE	SCALE	DRG No
Y.N.		25.7.95		B95



FILE 11016/111

CODE COMPLIANCE CERTIFICATE

Building Consent No: 59037

PROJECT	PROJECT LOCATION
<p>GARDEN SHED</p> <p>Intended Use: GARDEN SHED</p> <p>Intended Life specified at 50 years</p> <p>Being stage of an intended stages</p> <p>COUNCIL CHARGES</p> <p>The Councils total charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are:</p> <p>\$Nil</p>	<p>Street Address: 12 POHUTUKAWA DRIVE</p> <p>Legal Description: LOT 22 DPS27597</p> <p>Ref No: 1016/1</p> <p>Valuation Number: 06814 007 91</p> <p>This is:</p> <p><input checked="" type="checkbox"/> A final code compliance certificate issued in respect of all the building work under the above building consent.</p> <p><input type="checkbox"/> An interim code compliance code certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.</p> <p><input type="checkbox"/> This certificate is issued subject to the conditions specified in the attached _____ page(s).</p>

Signed by or on behalf of the Council.

Name:



Position:

Building Officer

Date:

5 1 9 1 9 9



MATHERS, RONALD CLIFFORD
12 POHUTUKAWA DRIVE
R D 1
KATIKATI

Dear Sir/Madam

Thank you for applying for a building consent with the Western Bay of Plenty District Council. The consent has now been issued.

The Inspector will work with you to achieve full compliance with the NZ Building Code. To help us help you please call for all of the inspections shown on the attached sheet.

All inspections made will be charged for and it is important that the work is ready when the Inspector calls. Extra inspections to check on items that did not meet the code requirements will incur extra costs. The Inspector will not accept anything that he cannot see and this makes it important that work is not closed in before it is inspected.

Book inspections by telephone on (07) 571 8008 and ask for a **CUSTOMER SERVICES OFFICER**.

Your building consent number is **59037**. Please quote this number when booking inspections and make sure that your builder and subcontractors know the number.

The Council Inspectors are Bill Smith, Neal Lindsay, Ross Hamilton, George Stirling, Bob Sherman and Jim Sowerby. You can expect to see one of these people at inspection time. Remember to telephone a **CUSTOMER SERVICES OFFICER** to book inspections and have your consent number ready.

**GENERAL INFORMATION RELATING TO THE
ISSUE OF THIS BUILDING CONSENT**

1. All applicable items listed in the Project Information Memorandum standard requirements apply to this Building Consent.
2. The consent is issued in respect of the documents lodged with the application and approved by the Inspector. The project should not be varied. If you wish to make changes to the project then the prior approval of the Inspector is required. Provide revised plans and specifications and complete the variation application form. Additional fees will be payable.
3. Call for inspections for all of the items listed on the inspection form.
4. Notify the Council when the project is fully completed.



BUILDING CONSENT APPLICATION FORM

OFFICE USE ONLY

Application Number: 59037

Date Issued: 5 / 9 / 97

PRIVACY OF PERSONAL INFORMATION

Information from this form is sold by Council. Businesses use it for marketing purposes and some will send information through the mail. If you do not want your name released then please tick the box below.

I do not want my name released.

Please note that Council is required to release your name in some circumstances because Building Consents become part of a Public Register.

CONFIDENTIALITY

You can mark your plans and specifications as confidential to protect copyright or the security of the proposed building. If you want the plans and specification to be confidential then tick the box below.

I would like my Plans and Specification to be marked confidential.

Signed by or for and on behalf of the applicant:

Tick One ✓

Name RONALD CLIFFORD MATHERS

Owner

Signature R. Mathers

Agent

OFFICE USE ONLY

APPROVED

[Signature]
Building Inspector

Date

4 / 9 / 97

Planner

Date

ENDORSEMENTS:

PROPOSED NUMBER OF INSPECTIONS

1

APPLICATION FOR BUILDING CONSENT
Section 33, Building Act 1991

Office use only
Sub
Gis
Val
Eas
B
P

Tick One

- Application for building consent only, in accordance with project information memorandum. No...
- Application for building consent and project information memorandum

PART A
Complete in all cases

59037

OWNER

AGENT (If not owner)

Surname <u>MATHERS</u>	Surname _____
First Names <u>RONALD, CLIFFORD</u>	First Names _____
Postal Address <u>12 PONUTALAWA DRIVE, RD1, KATILOTI, (07) 863 5212</u>	Postal Address _____
Phone Numbers _____ Day _____ Evening _____	Phone Numbers _____ Day _____ Evening _____

PROJECT

(Please Tick)

Description <u>Garden shed</u>	New Building <input type="checkbox"/>
Estimate Value (including GST) <u>1400 -</u>	Alteration <input type="checkbox"/>
Floor Area <u>15.1</u>	Demolition <input type="checkbox"/>
Is life of building intended to be less than 50 Years _____ Yes/No	Resited <input type="checkbox"/>
If yes then specify how many years _____	

PROJECT LOCATION

Rural ID or Street No. <u>12</u>	Road <u>PONUTALAWA DR</u>	Locality <u>KATILOTI</u>
----------------------------------	---------------------------	--------------------------

LEGAL DESCRIPTION

(Office use only)

Valuation Number <u>6814-007-91</u>	Pin Number <u>1016/1</u>
Lot <u>22</u> DPS <u>2097</u>	Block _____
Survey District _____	Site Area (sq. metres) _____

PAYMENT OF FEES BY:

TICK ONE

Owner <input type="checkbox"/>	<input checked="" type="checkbox"/> Builder	Other (specify) _____
--------------------------------	---	-----------------------

FEES (Office use only)

	AMOUNT	DATE PAID	RECEIPT No.
Application Fee	1000		
Project Information Memorandum	20		98/1976
Inspection Fees	50.00		
Code Compliance Certificate			
BIA Levy			
BRANZ Levy			
Rural Number			
Title Endorsement			
Vehicle Crossing			
Keel Damage			
Water Connection			
Development Impact Fee			
Other			
TOTAL			

Total Fee \$50 Approved by Inspector

<p style="text-align: center;">PART C (Complete in all cases) THE PROJECT INCLUDES THE FOLLOWING (PLEASE <input checked="" type="checkbox"/>)</p>	
<ul style="list-style-type: none"> <input type="checkbox"/> New connection to Council Water Supply <input type="checkbox"/> New connection to Council Sewer Mains <input type="checkbox"/> New connection to Council Stormwater Mains <input type="checkbox"/> New provisions for vehicle access and parking <input type="checkbox"/> Cultural heritage significance of the site or buildings including Marae sites 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
<p style="text-align: center;">PART D Systems requiring a compliance schedule. (Complete in all cases) THE BUILDING WILL CONTAIN THE FOLLOWING (PLEASE <input checked="" type="checkbox"/>)</p>	
<ul style="list-style-type: none"> <input type="checkbox"/> Automatic fire protection system including sprinklers <input type="checkbox"/> Emergency warning system for fire or other dangers <input type="checkbox"/> Mechanical ventilation or air conditioning system <input type="checkbox"/> Automatically closing fire doors in a fire wall <input type="checkbox"/> Emergency lighting system <input type="checkbox"/> Automatic back flow preventer connected to a water supply <input type="checkbox"/> Lifts, escalators or building maintenance unit <input type="checkbox"/> Escape route pressurisation system <input type="checkbox"/> Any other mechanical, electrical or hydraulic system necessary for compliance with the NZ Building Code <input type="checkbox"/> Signs required by the NZ Building Code for any of the above <input type="checkbox"/> None of the above 	<input type="checkbox"/> <input type="checkbox"/>
<p style="text-align: center;">PART E Complete Part E only if your project has any of the items in Part D THE BUILDING WILL CONTAIN THE FOLLOWING (PLEASE <input checked="" type="checkbox"/>)</p>	
<ul style="list-style-type: none"> <input type="checkbox"/> Access and facilities for use by people with disabilities <input type="checkbox"/> Means of escape from fire <input type="checkbox"/> Hand held hoses for fire fighting <input type="checkbox"/> Signs required by the NZ Building Code <input type="checkbox"/> Safety Barriers 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

WESTERN BAY OF PLENTY DISTRICT COUNCIL
BUILDING INSPECTION REQUEST

Request Date _____ Consent Number _____

Owners Name Marten

Builder Plumber Drainlayer _____

Project Address Pohutukawa Drive

Type of Building Shed Inspection Requested Final

Contact Phone _____ Mobile Phone _____

Inspection Day _____ am pm Date _____

INSPECTORS NOTES

Inspection Date 4/9/97 Time 12:50 Inspector RL

Work is approved: Yes No Advice form left: Yes No

Builder/Owner on site. Advised by telephone: Yes No

completed

OK

Issue CCC

when statement re floor average

PROJECT INFORMATION MEMORANDUM NUMBER 59037

INFORMATION FOR THE APPLICANT

1. A list of standard Council requirements is attached to the Memorandum.
2. The Project Information Memorandum is not a Building Consent. Obtain your Building Consent before commencing any work.
3. Special notes applying to this Project Information Memorandum are:

WIND ZONE IS HIGH

76104



PROJECT INFORMATION MEMORANDUM

Number: 59037

APPLICANT

MATHERS, RONALD CLIFFORD
12 POHUTUKAWA DRIVE
R D 1
KATIKATI

PROJECT LOCATION

12 POHUTUKAWA DRIVE

LEGAL DESCRIPTION

Ref No: 1016/1

Val No: 06814 007 91

Legal Description:

LOT 22 DPS27597

COUNCIL CHARGES

Council charges payable for this
Project Information Memorandum

\$Nil

All fees are GST inclusive

PROJECT

GARDEN SHED

Intended Life: Not less than 50 years

This is:

Confirmation that the proposed work may be undertaken subject to the requirements of the Building Act 1991 and Building Consent.

Not yet applied for

No: attached

Notification that other authorisations must be obtained before a building consent will be issued

Notification that the proposed work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes the following.

(cross each applicable box and attach documents)

- Information identifying relevant special features of the land concerned.
- Information about the land or buildings concerned notified to Council by any statutory organisation having the power to classify land or buildings.
- Details of relevant utility systems.
- Details of authorisations which have been granted.
- Details of authorisation which must be obtained before a building consent will be issued.
- Details of authorisation which have been refused.

Signed by or on behalf of the Council.

Name:

Position:

Customer Services Officer

Date: 4 September 1997

GENERAL INFORMATION APPLYING TO YOUR BUILDING PROJECT
IS LISTED BELOW. IF THIS INFORMATION IS FOLLOWED THEN THE
COUNCIL WILL ACCEPT THEM AS ACHIEVING BUILDING CODE COMPLIANCE

THIS CONSENT AND THESE CONDITIONS DO NOT ALLOW WORK THAT
DOES NOT COMPLY WITH THE NZ BUILDING CODE.

THERE ARE NO SPECIFIC ITEMS TO BE LISTED FOR THIS BUILDING CONSENT.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Graham Roberts', written in a cursive style.

Graham Roberts
LEADER REGULATORY SERVICES

93079



LAND INFORMATION MEMORANDUM

ARCHAEOLOGICAL SITES

An archaeological site or sites exist within the 100m of the square shown on the attached plan of the property. Any site or sites located within the designated square are protected under the provisions of the Historic Places Act 1990.

The Western Bay of Plenty District Council holds no further information except that the sites have been identified as follows:

EI - Pa with Pits & Midden(s)

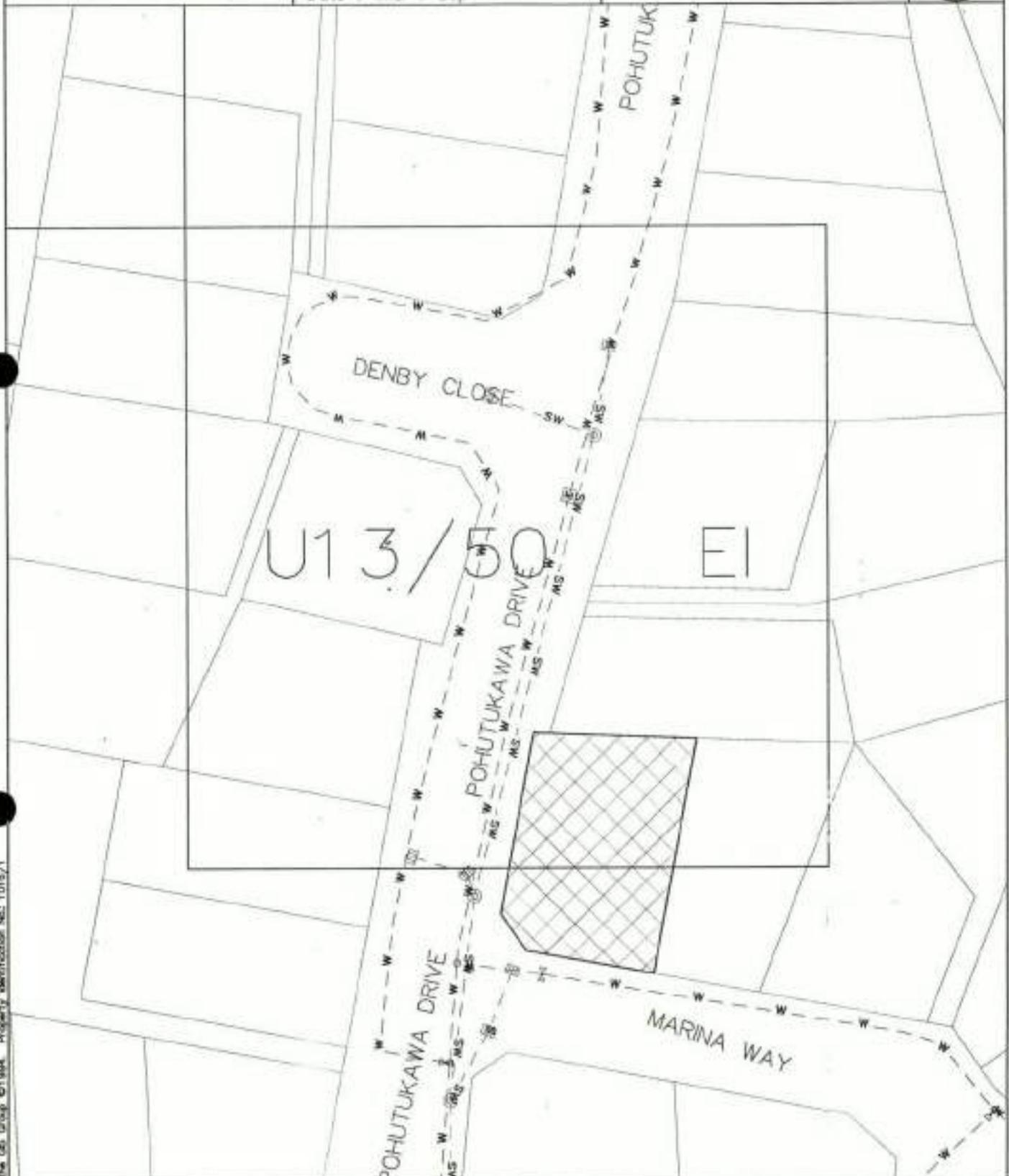
Further information about the site can be obtained from the relevant New Zealand Archaeological Association filekeeper. The Regional filekeepers are:

Dr N Ritchie
C/- Department of Conservation
Private Bag 3072
Hamilton

Ph (07) 838-3363

Dr R McGovern-Wilson
P O Box 1146
Rotorua

Phone (07) 349 7412
Fax (07) 349 7401
(except for T or U13 sites)



U13/50

E1

Produced using Geopak by the GE Group ©1994. Property Identification No. 1018/1

---	Water Connection	---	Property Boundary	[Symbol]	Water Valve	[Symbol]	Storm Sump	[Symbol]	Sewer Rodding Eye
---	Water Main	---	River Boundary	[Symbol]	Water Connection	[Symbol]	Storm Connection	[Symbol]	Sewer Connection
---	Stormwater Connection	---	Road Boundary	[Symbol]	Water Pump	[Symbol]	Storm Pump	[Symbol]	Sewer Pump
---	Stormwater Main	---	Rail Boundary	[Symbol]	Water Hydrant	[Symbol]	Storm Manhole	[Symbol]	Sewer Manhole
---	Stormwater Open Drain	[Symbol]	Easement	[Symbol]	Water Meter	[Symbol]	Curvert Headwall	[Symbol]	Power Pylon
---	Sewer Connection	[Symbol]		[Symbol]	Water Flow Meter	[Symbol]	Curvert End	[Symbol]	Street Light
---	Sewer Main	[Symbol]		[Symbol]	Water Well	[Symbol]	Archaeological Site	[Symbol]	Telephone Pole
---	Sewer River Main	[Symbol]		[Symbol]	Water Reservoir	[Symbol]		[Symbol]	Power Pole

WESTERN BOP DISTRICT COUNCIL		
FILE NO: P11016/111		
BRING UP FOR:	ON	
INDEXED AT RECORDS:		
REC - 8 SEP 1997		
NAME	DATE	INITIALS
ESC	19/9/97	fein
ACTION REQUIRED:		

33 Kaurumi road
 RDI Katikati
 5-9-97.

To whom it

This letter is to declare that the foundation under Mr + Mrs Mather's Garden shed contains 6mm reinforcing mesh, and also that the manufacturers instructions for assembly were followed to the letter.

The Garden shed is secured to the slab with several 6mm dyna bolts approx 60mm into the slab.

D.C. Qualtrough: Builder.

D. Qualtrough

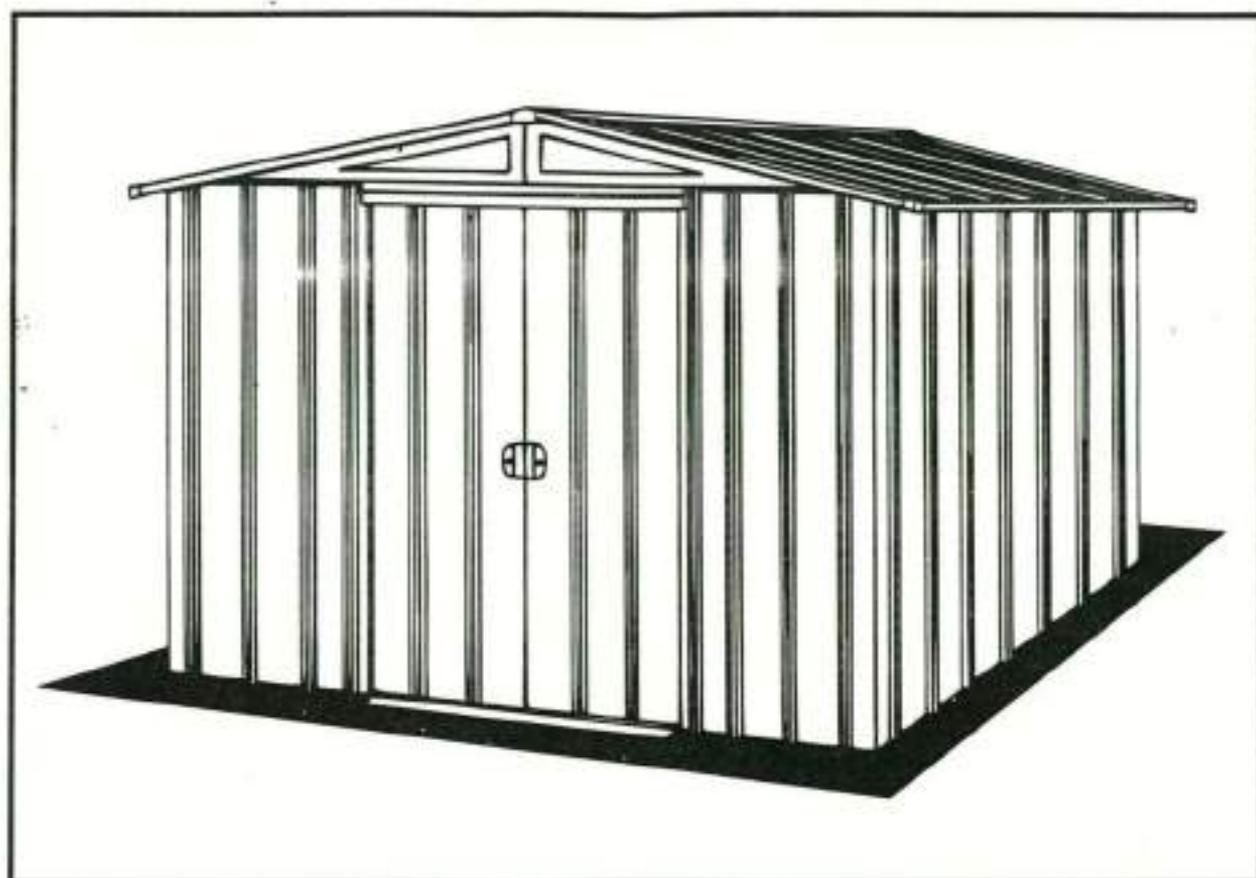
Re: Consent 59037.

Julie F.

W. Saper

VICTA

TRECO



GARDEN SHED

MODELS: A/Z1013, A/Z1015, A/Z1019

BUILDING APPLICATION PLAN

**Australian
Made
Garden Sheds**

DESIGN CERTIFICATION

The Victa Treco shed models A/Z1013, A/Z1015 and A/Z1019 have been designed and certified to the following conditions:

1. Loading.

In accordance with AS 1170.1 - 1989 and AS 1170.2 - 1989 - Static analysis procedure, the sheds have been designed to withstand the loads expected from the following wind regions:

Region	Terrain Category	Basic Wind Speed
A	2	41 m/sec
B	2	49 m/sec
C	3	57 m/sec

2. Design Codes.

The sheds are certified to conform with the following Australian Standards:

AS 1170.1 - 1989	SAA Loading Code
AS 1170.2 - 1989	SAA Wind Loading Code
AS 4100 - 1990	SAA Steel Structure Code
AS 1538 - 1988	SAA Cold Formed Steel Structures Code
AS 1250 - 1981	SAA Steel Structure Code
AS 1562.1 -	Design and Installation of Sheet & Wall Cladding Part 1 Metal
AS 1111 - 1980	SAA ISO Metric Hexagon Commercial Bolts and Screws
AS 1112 - 1980	SAA ISO Metric Hexagon Nuts

3. Material Specifications.

Roof/Wall/Corner Panels - Roll formed from G550 AZ150, G300 AZ150.

Various Framing - Roll formed and pressed from G550 AZ 150, G300 AZ 150, or Galvabond G2 Z275, G3 Z275

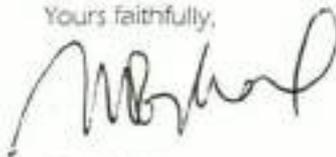
All materials in Accordance with AS 1397.

4. Configuration.

The sheds have the following dimensions:

ROOF AREA					
Model	Width mm	Depth mm	Height mm	Roof Pitch (deg)	Roof Area (m ²)
A/Z1013	2960	3946	2030	9.6°	18.1
A/Z1015	2960	4568	2030	9.6°	14.2
A/Z1019	2960	5812	2030	9.6°	12.3

Yours faithfully,



BOB IQBAL B.E.
Professional Engineer.



Gutteridge Haskins & Davey Pty Ltd

CONSULTING ENGINEERS • ENVIRONMENTAL SCIENTISTS & PLANNERS • PROJECT MANAGERS

A.C.N. 008 486 373

L25513 RAP:EH

10 August 1995

Our Ref: 211/025411/00

The General Manager
Tresco Storage Systems Pty Ltd
Unit 3/1 Bennelong Road
HOMEBUSH BAY NSW 2140

Attention: Peter Morison

Dear Sir

CERTIFICATION OF 'BIG SHED' RANGE OF PRODUCTS

Model No: Z1013, Z1015 & Z1019

We are pleased to certify the structural adequacy of the abovementioned products.

This certification is based on testing of full size Z1019 shed erected in accordance with manufacturer's instructions. The testing procedures were designed and witnessed by our representatives. The test took place at Tresco premises on 28 July 1995.

The sheds comply with the following Australian Standards:

AS 1170.1 - 1989:	SAA Loading Code - Dead and Live Loads and Loading Combinations
AS 1170.2 - 1989:	SAA Loading Code - Wind Loads
AS 1538 - 1988:	SAA Cold - Formed Steel Structures Code
AS 1562.1 - 1992:	Design and Installation of Sheet and Wall Cladding Part 1: Metal
AS 1111 - 1980:	SAA ISO Metric Hexagon Commercial Bolts & Screws
AS 1112 - 1980:	SAA ISO Metric Hexagon Units.
AS 4040 - 1992:	Methods of Testing Sheet Roof and Wall Cladding

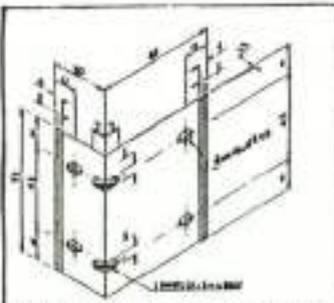
The sheds are suitable for use in localities in Region C (Tropical Cyclone), Terrain Category 3 to 4 with a generally flat topography as defined in AS 1170.2 - 1989. They are also suitable for use in Region A, Terrain Categories 1 to 4 and Region B, Terrain Categories 2 to 4.

This certification supersedes any previous certificates by us for the above products and is current for as long as there are no modifications to the design of the sheds or there are no revisions to the applicable Australian Standards. This certification excludes the construction of the foundations and erection of the shed.

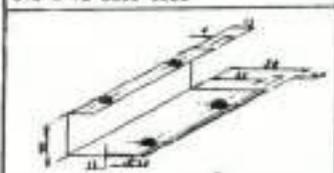
Yours faithfully
GUTTERIDGE HASKINS & DAVEY PTY LTD

R A PILZ, BE MIE Aust
Manager, Structural Section

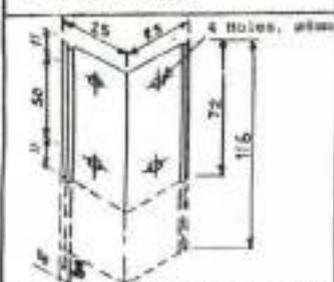




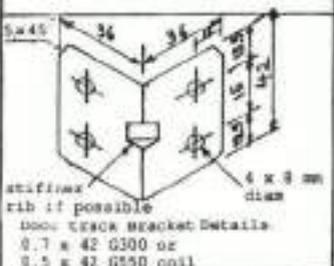
Details of P.F. to Mid-Wall Brace Bracket
0.7 x 72 G390 coil or
0.5 x 72 G550 coil



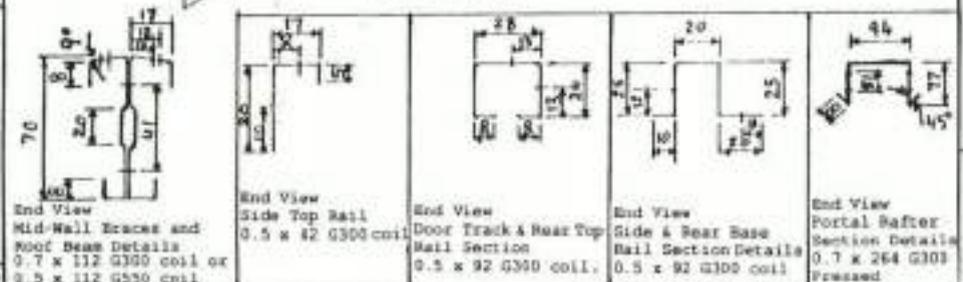
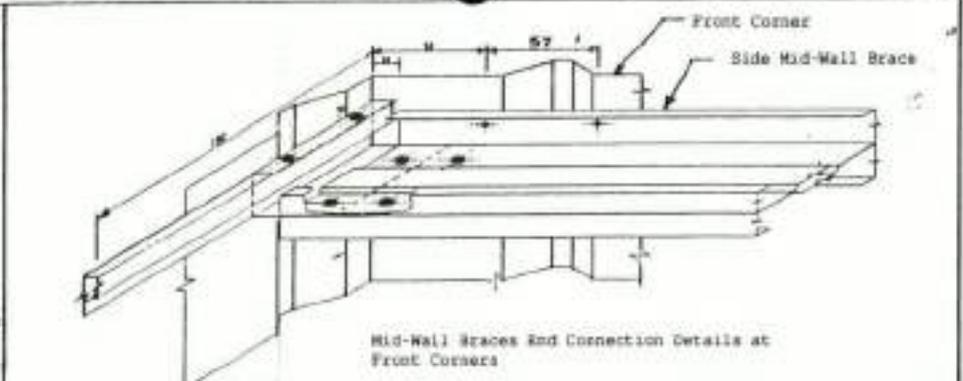
Front Mid-Corner Bracket Details
0.7 x 72 G390 coil or
0.5 x 72 G550 coil



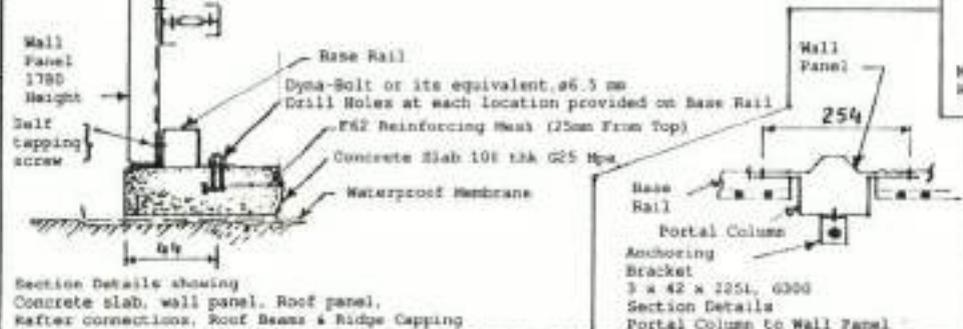
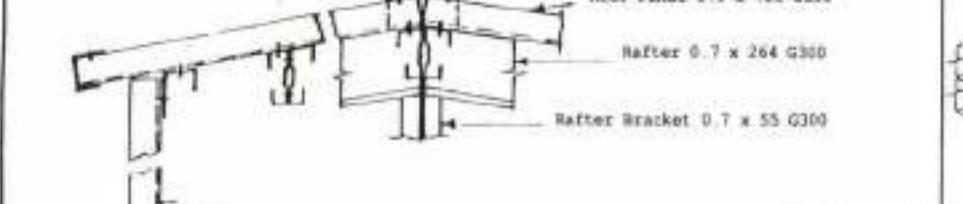
Portal and Gable Roof Beam Bracket
Details - 0.7 G390 coil or
0.5 G550 coil



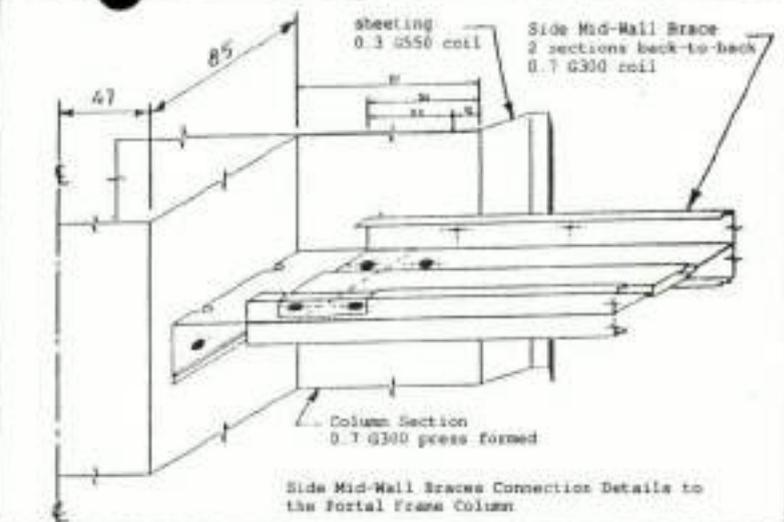
Door Track Bracket Details
0.7 x 42 G390 or
0.5 x 42 G550 coil



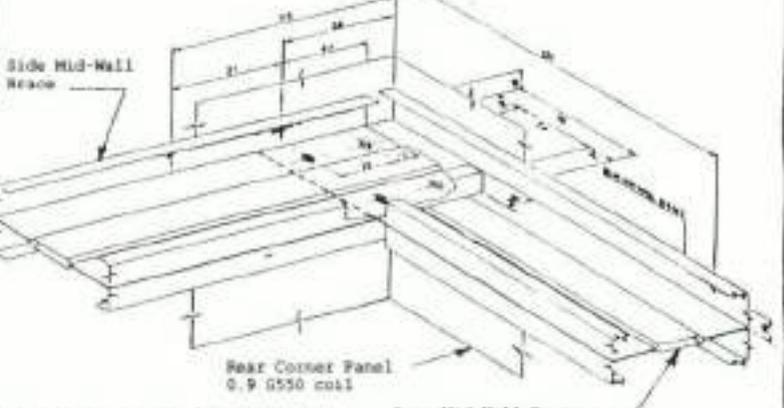
Mid-Wall Braces End Connection Details at Front Corners



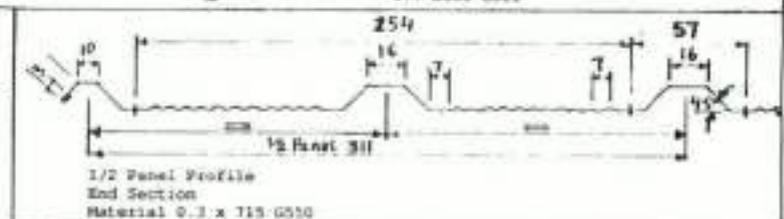
Section Details showing Concrete slab, wall panel, Roof panel, Rafter connections, Roof Beams & Ridge Capping



Side Mid-Wall Braces Connection Details to the Portal Frame Column



Side Mid-Wall Braces End Connections At Rear Corners



1/2 Panel Profile End Section
Material 0.3 x 715 G550

VICTA/ TRECO
SHED MODELS
A/Z 1013, A/Z 1015, A/Z 1019

PROPOSED GARDEN SHED FOR
NAME:.....
ADDRESS:.....

DATE	AMENDMENTS			BY
DRN BY	APPROVED	DATE	SCALE	DRG NO
Y.N		25.7.95	N.T.S	A95

W. BOYD C.
 Co. Engineer
 No Permit Required
 July 1997

Swilswyk (Julie)
WIND LOAD DATA 12:55 pm 3.9.97

SHEET LOADING N/mm² (MODEL Z1019)

REGION	B1	B2	B3	B4	TTB
A	1	0.55	1	1	0.55
B	1.5	0.55	1	1	0.825
C	2.3	0.55	1	1	1.265

REGION	ROOF		WALL	
	OUT	IN	OUT	IN
A	-6.54E-04	4.10E-05	-5.32E-04	5.32E-04
B	-9.81E-04	6.20E-05	-7.98E-04	7.98E-04
C	-1.50E-03	9.50E-05	-1.22E-03	1.22E-03

SHED SIZES	WIDTH mm	HEIGHT mm	LENGTH mm	WIND ANGLE THETA = θ		HALF ROOF AREA m ²
				0° h/d	90° h/d	
A/Z1013	2960	2030	3934	0.686	0.516	5.82
A/Z1015	2960	2030	4556	0.686	0.446	6.74
A/Z1019	2960	2030	5800	0.686	0.350	8.58

SUMMARY OF TEST LOADS

ALL LOADS ARE PUSHING THE SHEETING OUT
 SIMULATED LOADS ARE ALL REGION C FOR SHED Z1019

PANELS	ULTIMATE PRESSURE kPa	MASS LOADING kg/m ²	TOTAL MASS ON 10 FT. PANEL kg	No. OF 25 kg SAND BAGS	NEXT WHOLE No.	% OVER ULT. LOAD
Roof	-2.256	230	1023	40.94	41	0.15%
Wall	-1.835	187	832	33.29	34	2.14%

PORTAL TEST LOADS

SIMULATING WIND ON SIDE WALL

CONDITION 1 REGION C	DESIGN PRESSURE kPa	ULTIMATE PRESSURE kPa	LINE LOADS kN/m	PANEL LENGTH mm	PANEL POINT	POINT LOAD kN
Windward Wall	1.223	1.834	5.237	1.760	Ground Midwall Eave	1.728 5.760 1.728
Windward Roof	-1.504	-2.256	-6.442	1.500	Eave Midroof Ridge	-1.812 -6.039 -1.812
Leeward Roof	-1.128	-1.692	-4.829	1.500	Ridge Midroof Eave	-1.358 -4.527 -1.358
Leeward Wall	0.126	0.190	0.542	1.760	Eave Midwall Ground	0.179 0.596 0.179
Windward Wall	-1.223	-1.834	-5.237	1.760	Ground Midwall Eave	-1.728 -5.760 -1.728
Windward Wall	-0.211	-0.316	-0.903	1.500	Eave Midroof Ridge	-0.254 -0.846 -0.254
Leeward Roof	-0.211	-0.316	-0.903	1.500	Ridge Midroof Eave	-0.254 -0.846 -0.254
Leeward Wall	-1.223	-1.834	-5.237	1.760	Eave Midwall Ground	-1.728 -5.760 -1.728



Advice of Completion of Building Work

Section 43(1), Building Act 1991

TO: Western Bay of Plenty District Council
Regarding: Building Consent Number 63441

FROM: DUSKE, DAVID BRUCE
POHUTUKAWA DRIVE

The project is now completed and you are requested to issue a code compliance certificate.

The project is for ADDITION TO DWELLING

Signed by/for and on behalf of the owner:

Name:

Owner

Tick One

Signature:

Agent

Please Complete and Return this Form when the Project is Fully Finished

(Note: If on final inspection the project is not completed or is not in compliance with the New Zealand Building Code, any additional inspections may be charged for)

Send to Western Bay of Plenty District Council, P O Box 12803, Tauranga.

Office Use Only	
Final Inspection Made:
Issue CCC	Signed: Building Inspector

WESTERN BAY OF PLENTY DISTRICT COUNCIL

INSPECTION BOOKING NO: 12587

Printed at: 11 JUL 2000

Inspector:	GEORGE STIRLING
Type:	BUILDING CONSENTS
Requested Date:	12 Jul 2000
Requested Time of Day:	MORNING

Contact Person:	QUALTROUGH, DOUGLAS CECIL 38 KOUTUNUI ROAD R D 1 KATIKATI day 07 8635837 cel 025 2787409
Inspection Location:	12 POHUTUKAWA DRIVE CNR MARINA WAY
Notes:	BUILDING CONSENT: 63441 FINAL INSPECTION AS EARLY AS POSSIBLE BEFORE 10AM

Date Inspected:	12- 7- 00
Start Time:	1-15
Completion Time:	
Inspected By:	STIRLING

OK TO ISSUE CC

WESTERN BAY OF PLENTY DISTRICT COUNCIL

BUILDING INSPECTION REPORT

Printed at: 11 JUL 2009

Consent Number:	63441
Owner:	DUSKE, DAVID BRUCE
Project Location:	12 POHUTUKAWA DRIVE CNR MARINA WAY
Project:	ADDITION TO DWELLING
Property Id Number:	1016/1
Use of Building	DWELLING

Endorsements issued with consent:

FIRE RATE GARAGE WALL AND REMOVE WINDOW WHERE STRUCTURE IS CLOSER THAN 1 METRE FROM BOUNDARY 30 - 30 - 30 REQUIRED

ALL GLAZING IS TO COMPLY WITH (NZ BUILDING CODE SECTION F2). GLAZING TO NZS 4223 WILL BE ACCEPTED AS A MEANS OF COMPLIANCE.

ANY PLACE FROM WHERE A PERSON CAN FALL 1 METRE OR MORE SHALL BE FITTED WITH A SAFETY BARRIER. FOR EXAMPLE, DECKS, BALCONIES, HIGH LEVEL OPENINGS (NZ BUILDING CODE SECTION F4). THE CONSTRUCTION OF BARRIERS IS TO COMPLY WITH SECTION B1 OF THE BUILDING CODE. IN SOME CASES TOOTHED RING CONNECTORS AND NAIL PLATES WILL BE REQUIRED (NZ BUILDING CODE SECTION B1).

EXTERIOR WINDOW AND DOOR JOINERY EXPOSED TO WEATHER CONDITIONS SHOULD BE FLASHED CORRECTLY TO SEAL THE WINDOWS FROM WATER PENETRATION. HEAD FLASHINGS SHOULD BE PROVIDED IN ALL CASES EXCEPT WHERE THE JOINERY IS HARD UP TO THE EAVES AND THE HEAD IS COVERED BY A FRIEZE BOARD OR SIMILAR. SEALING WITH SILICONE RUBBER TYPE SEALANTS IS NOT ACCEPTABLE AT WINDOW HEADS. (NZ BUILDING CODE SECTION E2)

CONCRETE FLOORS ARE REQUIRED TO BE A MINIMUM HEIGHT ABOVE UNPROTECTED GROUND SURROUNDING THE BUILDING. WHEN SETTING FLOOR LEVELS ENSURE THAT THE SLAB IS HIGH ENOUGH TO MEET THE MINIMUM REQUIREMENT AFTER LANDSCAPING AND GARDENING ARE IN PLACE. THE MINIMUM HEIGHTS ARE: FOR MASONRY VENEER - 150mm ALL OTHER CLADDINGS - 225mm. TIMBER FLOORS HAVE TO BE MUCH HIGHER. NZ BUILDING CODE SECTION E2 (NZS 3604 APPENDIX E).

STORMWATER IS TO BE PIPED TO AN APPROVED OUTFALL. SOAKHOLES WILL NOT BE ACCEPTED FOR STORMWATER DISPOSAL (NZ BUILDING CODE SECTION E1)

Inspection Details:

Date	Time	Inspector	Type	Result
19 Jun 2000	08:00am	GEORGE STIRLING	FOOT SLAB	PASSED
30 Jun 2000	12:30pm	GEORGE STIRLING	PR	PASSED
				PASSED

Inspection Notes:

all bc as per list

*PRELINE INSPECTION STABILITY B1 STRUCTURE: BC, B2
DURABILITY: BC ENERGY EFFICIENCY H1 ENERGY EFFICIENCY: BC
ADDITIONAL NOTES MOISTURE CONTENTS 25% TO 18%*

FINAL INSPECTION

BUILDING CONSENT NO:

634441

STABILITY	
B1 STRUCTURE	B/L
B2 DURABILITY	B/L
FIRE SAFETY	
C1 OUTBREAK OF FIRE	
C3 SPREAD OF FIRE	
ACCESS	
D1 ACCESS ROUTES	B/L
E1 SURFACE WATER	B/L
E2 EXTERNAL MOISTURE	B/L
E3 INTERNAL MOISTURE	
F4 SAFETY FROM FALLING	
MOISTURE	
E2 EXTERNAL MOISTURE	B/L
E3 INTERNAL MOISTURE	
USER SAFETY	
F4 SAFETY FROM FALLING	
SERVICES	
G1 PERSONAL HYGIENE	
G2 LAUNDERING	
G3 FOOD PREPARATION	
G4 VENTILATION	
G8 ARTIFICIAL LIGHT	
G9 ELECTRICITY	B/L
G10 PIPED SERVICES	
G12 WATER SUPPLIES	

G13 FOUL WATER	
ENERGY EFFICIENCY	
H1 ENERGY EFFICIENCY	

BC Complies with Acceptable Solution of NZ Building Code. **AS**
PS Producer Statement accepted.
VM Complies with verification method of NZ Building Code. **F**

Complies with NZ Building Code Alternative Solution.
NA Not Applicable.
Fails to comply with NZ Building Code.

ADDITIONAL NOTES:

GROUND LEVEL TO 136 TAKEN DOWN TO 150"
BELOW FINISH FLOOR LEVEL
(BUILDER NOTIFIED)

WESTERN BAY OF PLENTY DISTRICT COUNCIL

INSPECTION BOOKING NO: 12412

Printed at: 29 JUN 2000

Inspector:	GEORGE STIRLING
Type:	BUILDING CONSENTS
Requested Date:	30 Jun 2000
Requested Time of Day:	LATE MORNING

Contact Person:	QUALTROUGH, DOUGLAS CECIL 38 KOUTUNUI ROAD RD 1 KATIKATI day 07 8635837 cel 025 2787409
Inspection Location:	12 POHUTUKAWA DRIVE CNR MARINA WAY
Notes:	BUILDING CONSENT: 63441 PRE-LINE INSPECTION

Date Inspected:	30 6 00
Start Time:	12:30
Completion Time:	
Inspected By:	STIRLING

WESTERN BAY OF PLENTY DISTRICT COUNCIL

BUILDING INSPECTION REPORT

Printed at: 29 JUN 2000.

Consent Number:	63441
Owner:	DUSKE, DAVID BRUCE
Project Location:	12 POHUTUKAWA DRIVE CNR MARINA WAY
Project:	ADDITION TO DWELLING
Property Id Number:	1016/1
Use of Building	DWELLING

Endorsements issued with consent:

FIRE RATE GARAGE WALL AND REMOVE WINDOW WHERE STRUCTURE IS CLOSER THAN 1 METRE FROM BOUNDARY 30 - 30 - 30 REQUIRED

ALL GLAZING IS TO COMPLY WITH (NZ BUILDING CODE SECTION F2). GLAZING TO NZS 4223 WILL BE ACCEPTED AS A MEANS OF COMPLIANCE.

ANY PLACE FROM WHERE A PERSON CAN FALL 1 METRE OR MORE SHALL BE FITTED WITH A SAFETY BARRIER. FOR EXAMPLE, DECKS, BALCONIES, HIGH LEVEL OPENINGS (NZ BUILDING CODE SECTION F4). THE CONSTRUCTION OF BARRIERS IS TO COMPLY WITH SECTION B1 OF THE BUILDING CODE. IN SOME CASES TOOTHED RING CONNECTORS AND NAIL PLATES WILL BE REQUIRED (NZ BUILDING CODE SECTION B1).

EXTERIOR WINDOW AND DOOR JOINERY EXPOSED TO WEATHER CONDITIONS SHOULD BE FLASHED CORRECTLY TO SEAL THE WINDOWS FROM WATER PENETRATION. HEAD FLASHINGS SHOULD BE PROVIDED IN ALL CASES EXCEPT WHERE THE JOINERY IS HARD UP TO THE EAVES AND THE HEAD IS COVERED BY A FRIEZE BOARD OR SIMILAR. SEALING WITH SILICONE RUBBER TYPE SEALANTS IS NOT ACCEPTABLE AT WINDOW HEADS. (NZ BUILDING CODE SECTION E2)

CONCRETE FLOORS ARE REQUIRED TO BE A MINIMUM HEIGHT ABOVE UNPROTECTED GROUND SURROUNDING THE BUILDING. WHEN SETTING FLOOR LEVELS ENSURE THAT THE SLAB IS HIGH ENOUGH TO MEET THE MINIMUM REQUIREMENT AFTER LANDSCAPING AND GARDENING ARE IN PLACE. THE MINIMUM HEIGHTS ARE: FOR MASONRY VENEER - 150mm ALL OTHER CLADDINGS - 225mm. TIMBER FLOORS HAVE TO BE MUCH HIGHER. NZ BUILDING CODE SECTION E2 (NZS 3604 APPENDIX E).

STORMWATER IS TO BE PIPED TO AN APPROVED OUTFALL. SOAKHOLES WILL NOT BE ACCEPTED FOR STORMWATER DISPOSAL (NZ BUILDING CODE SECTION E1)

Inspection Details:

Date	Time	Inspector	Type	Result
19 Jun 2000	08:00am	GEORGE STIRLING	FOOT SLAB	PASSED PASSED

Inspection Notes:

all bc as per list

FRAMING INSPECTION

BUILDING CONSENT NO:

63441

STABILITY	
B1 STRUCTURE	<i>B/C</i>
B2 DURABILITY	<i>B/C</i>
MOISTURE	
E2 EXTERNAL MOISTURE	
SERVICES	
G4 VENTILATION	
G7 NATURAL LIGHT	
G10 PIPED SERVICES	
G12 WATER SUPPLIES	
G13 FOUL WATER	
ENERGY EFFICIENCY	
H1 ENERGY EFFICIENCY	<i>B/C</i>

BC Complies with Acceptable Solution of NZ Building Code. **AS**
PS Producer Statement accepted.
VM Complies with verification method of NZ Building Code. **F**

Complies with NZ Building Code Alternative Solution.
NA Not Applicable.
Fails to comply with NZ Building Code.

ADDITIONAL NOTES:

Moisture content 25% to 18%

WESTERN BAY OF PLENTY DISTRICT COUNCIL

INSPECTION BOOKING NO: 12223

Printed at: 16 JUN 2000

Inspector:	GEORGE STIRLING
Type:	BUILDING CONSENTS
Requested Date:	19 16 Jun 2000
Requested Time of Day:	LATE AFTERNOON 8 AM

Contact Person:	QUALTROUGH, DOUGLAS CECIL 38 KOUTUNUI ROAD RD 1 KATIKATI day 07 8635837 cel 025 2787409
Inspection Location:	12 POHUTUKAWA DRIVE CNR MARINA WAY
Notes:	BUILDING CONSENT: 63441 FOOTINGS INSPECTION CONCRETE SLAB INSPECTION

Date Inspected:	19 - 6 - 00
Start Time:	8 AM
Completion Time:	
Inspected By:	STIRLING

WESTERN BAY OF PLENTY DISTRICT COUNCIL

BUILDING INSPECTION REPORT

Printed at: 16 JUN 2000

Consent Number:	63441
Owner:	DUSKE, DAVID BRUCE
Project Location:	12 POHUTUKAWA DRIVE CNR MARINA WAY
Project:	ADDITION TO DWELLING
Property Id Number:	1016/1
Use of Building	DWELLING

Endorsements issued with consent:

FIRE RATE GARAGE WALL AND REMOVE WINDOW WHERE STRUCTURE IS CLOSER THAN 1 METRE FROM BOUNDARY 30 - 30 - 30 REQUIRED

ALL GLAZING IS TO COMPLY WITH (NZ BUILDING CODE SECTION F2). GLAZING TO NZS 4223 WILL BE ACCEPTED AS A MEANS OF COMPLIANCE

ANY PLACE FROM WHERE A PERSON CAN FALL 1 METRE OR MORE SHALL BE FITTED WITH A SAFETY BARRIER. FOR EXAMPLE, DECKS, BALCONIES, HIGH LEVEL OPENINGS (NZ BUILDING CODE SECTION F4). THE CONSTRUCTION OF BARRIERS IS TO COMPLY WITH SECTION B1 OF THE BUILDING CODE. IN SOME CASES TOOTHED RING CONNECTORS AND NAIL PLATES WILL BE REQUIRED (NZ BUILDING CODE SECTION B1).

EXTERIOR WINDOW AND DOOR JOINERY EXPOSED TO WEATHER CONDITIONS SHOULD BE FLASHED CORRECTLY TO SEAL THE WINDOWS FROM WATER PENETRATION. HEAD FLASHINGS SHOULD BE PROVIDED IN ALL CASES EXCEPT WHERE THE JOINERY IS HARD UP TO THE EAVES AND THE HEAD IS COVERED BY A FRIEZE BOARD OR SIMILAR. SEALING WITH SILICONE RUBBER TYPE SEALANTS IS NOT ACCEPTABLE AT WINDOW HEADS. (NZ BUILDING CODE SECTION E2)

CONCRETE FLOORS ARE REQUIRED TO BE A MINIMUM HEIGHT ABOVE UNPROTECTED GROUND SURROUNDING THE BUILDING. WHEN SETTING FLOOR LEVELS ENSURE THAT THE SLAB IS HIGH ENOUGH TO MEET THE MINIMUM REQUIREMENT AFTER LANDSCAPING AND GARDENING ARE IN PLACE. THE MINIMUM HEIGHTS ARE: FOR MASONRY VENEER - 150mm ALL OTHER CLADDINGS - 225mm. TIMBER FLOORS HAVE TO BE MUCH HIGHER. NZ BUILDING CODE SECTION E2 (NZS 3604 APPENDIX E).

STORMWATER IS TO BE PIPED TO AN APPROVED OUTFALL. SOAKHOLES WILL NOT BE ACCEPTED FOR STORMWATER DISPOSAL (NZ BUILDING CODE SECTION E1)

Inspection Details:

Date	Time	Inspector	Type	Result
------	------	-----------	------	--------

Inspection Notes:

FOOTING INSPECTION

BUILDING CONSENT NO: 63441

STABILITY	
B1 STRUCTURE	B/C
MOISTURE	
E1 SURFACE WATER	
USER SAFETY	
F1 HAZARDOUS AGENTS	
SERVICES	
G13 FOUL WATER	

BC Complies with Acceptable Solution of NZ Building Code.

PS Producer Statement accepted.

VM Complies with verification method of NZ Building Code.

AS Complies with NZ Building Code Alternative Solution.

NA Not Applicable.

F Fails to comply with NZ Building Code.

ADDITIONAL NOTES:

CONCRETE SLAB INSPECTION

BUILDING CONSENT NO: 63441

STABILITY	
B1 STRUCTURE	B/C
B2 DURABILITY	B/C
MOISTURE	
E1 SURFACE WATER	
E2 EXTERNAL MOISTURE	B/C
E3 INTERNAL MOISTURE	
SERVICES	

G10 PIPED SERVICES	
G12 WATER SUPPLIES	
G13 FOUL WATER	
ENERGY EFFICIENCY	
H1 ENERGY EFFICIENCY	

BC Complies with Acceptable Solution of NZ Building Code. **AS**
PS Producer Statement accepted.
VM Complies with verification method of NZ Building Code. **F**

Complies with NZ Building Code Alternative Solution.
NA Not Applicable.
 Fails to comply with NZ Building Code.

ADDITIONAL NOTES:

To WBOFDC.

Allen Graham Allum.

Graham, Please excuse name spelling if I have it incorrect.

Re. Dusko Jot.

- Following is Brace information as supplied by draughtsperson. If any additional is reqd. please contact me and I'll get it for you ASAP.

Re. permit. I have allowed to single pour all the floor slabs to save an inspection.

- I spoke with you regarding this last week + we spoke of a figure of \$764-55 for permit. Hope this is a help to you

Regards
Doug Qualtrough

025-278-7409.

Table 1: Standard 9.5mm Gib Board™ wall systems

(see page 18 for fixing details)

NZS 3604 : 1990 Ratings in bracing
units per metre of element length

Type	Primary Bracing Element	Secondary Bracing Element	Wind	Earthquake
GIB 1	9.5mm Gib Board™ lining on one face, not less than 1.8m long 1.8m and less than 2.4m 2.4m and longer	Diagonal Brace Diagonal Brace	55 75	50 50
GIB 2	9.5mm Gib Board™ lining on both faces, not less than 1.8m long 1.8m and less than 2.4m 2.4m and longer	Diagonal Brace Diagonal Brace	75 80	60 70
GIB 3	9.5mm Gib board™ lining on both faces, not less than 1.2m in length	N/A	65	60

Bay of Plenty District Council
APPROVED

Building consent issued with number

63441

Table 2: Gib Braceline™ wall systems

(see page 17 for fixing details)

NZS 3604 : 1990 Ratings in bracing
units per metre of element length

Type	Primary Bracing Element	Secondary Bracing Element	Wind	Earthquake
BR1	Gib Braceline™ lining on one face 1.8m - 2.4m 2.4m and longer	Diagonal Brace	70 90	60 75
BR2	Gib Braceline™ lining on one face, vertically fixed 1.8m-2.4m 2.4m and longer	N/A	75 85	60 60
BR3	Gib Braceline™ lining on one face, horizontal fixing 1.8m-2.4m 2.4m and longer	N/A	60 85	45 60

Table 3: Gib Braceline™ sheet brace panels

(see page 16 for fixing details)

NZS 3604 : 1990 Ratings in bracing
units per metre of element length

Type	Primary Bracing Element	Secondary Bracing Element	Wind	Earthquake
BR4	Gib Braceline™ lining on one face, not less than 0.9m long and a maximum of 1.2m in length	Metal strap of 6kN capacity fixed to both wall and studs	100	85
BR5	Gib Braceline™ lining on one face, not less than 1.2m long and a maximum of 2.4m in length	Metal strap of 6kN capacity fixed to both wall and studs	115	85
BR6	Gib Braceline™ lining on one face, 9.5mm Gib Board™ on the other, not less than 1.2m long and a maximum of 2.4m in length	2 metal straps of 6kN capacity fixed to both ends of the wall or alternative 12kN capacity connection	150	110
BR7	Gib Braceline™ lining on one face and 7.5mm ply on the other. Not less than 0.9m long and a maximum of 2.4m in length	Metal strap of 6kN capacity fixed to both wall and studs	145	145
BR8	Gib Braceline™ lining on one face and 4.75mm Hardboard on the other. Not less than 0.9m long and a maximum of 2.4m in length	Metal strap of 6kN capacity fixed to both wall and studs	120	95

Hence plywood bracing may be used as both construction and permanent bracing.

Humidity and condensation: In uses where the moisture content of wood may exceed 18% for prolonged periods, plywood must be H3 treated to resist decay or insect hazard.

Sub-floor sheet bracing: H3 treated plywood can be used unpainted in sub-floor sheet bracing where dampness does not allow the use of untreated plywood or other sheet materials (Clause 4.7.0.1 of NZS 3604). Where plywood sub-floor sheet bracing is exposed to both rain and sun, it should be coated as for a cladding to achieve the 50 year durability.

Cladding as bracing: H3 treated plywood can be used as cladding, and bracing. To achieve 50 year structural durability, it should be at least five ply plywood and must be coated with a maintained three coat acrylic paint system, preferably in a light colour.

Soil: Plywood (untreated or H3 treated) must not be allowed to come in contact with soil.

For: Further information, refer to the Carter Holt Harvey Plywood "Durability Statement".

Table 1

Ratings for 2.4m high
plybrace wall bracing
elements

These ratings apply to walls detailed in accordance with NZS 3604 and this leaflet. The 6kN hold-down value determines which details should be used. The 6kN hold-down is a dropped panel detail with no steel straps or a single strap at each end of the wall. The 12kN hold-down (Type D) is two straps at each end of the wall.

Wall Type	Minimum Wall Length (m)	Minimum Plywood Thickness (mm)	Nail* Spacing (mm)	Hold-down (kN)	Stud Spacing (mm)	Bracing Units/m (20 bracing units = 1kN)	
						Wind	Earthquake
Ratings for plywood component only							
SP4	0.45	7	75	6	450	70	85
SP2	0.6	7	150	6	600	85	85
SP1	0.9	7	150	6	450 or 600	100	100
SPS11	1.2	7	150	-	600	90	80
SP6	0.9	12	150	6	450 or 600	115	110
SP8D	0.9	7	150	12	450	125	135
SP5D	1.2	7	75	12	600	130	135
SP10	1.8	7	75	6	450	135	135
Ratings for additional sheathing (Gib Board)							
SP2G	0.6	7	150	6	600	95	95
SP1G	0.9	7	150	6	450 or 600	100	100
SP11G	1.8	7	150	6	450 or 600	140	120
BR7**	0.9	7	150	6	450 or 600	145	145
SP6G	0.9	12	150	6	450 or 600	120	110
SP6GD	0.9	12	150	12	450 or 600	145	135

* Use these spacings at all sheet edges. Within the sheet, spacings may be double that specified.

** Braceline.

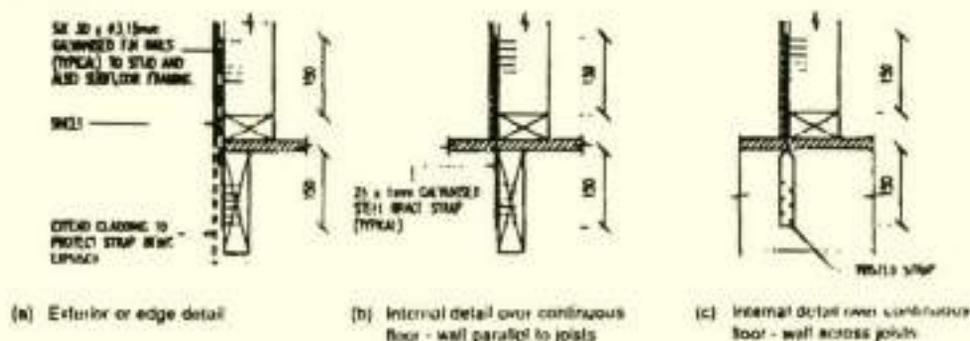
For 7mm plywood use 30mm x 2.5mm galvanised flathead nails.

For 12mm plywood use 50mm x 2.8mm or larger galvanised flathead nails.

For steel framing use SPST1 for plywood on light steel frames. Use button head self drilling, self tapping screws for Plybrace and standard plywood and counter sunk stainless steel self drilling, self tapping screws for cladding applications. Refer Carter Holt Harvey Plywood Technical Note "Plywood on steel frame" for more detail.

Figure 1

6kN strap fixings to each end
stud of plywood sheet braces
for timber ground floor and
upper storey



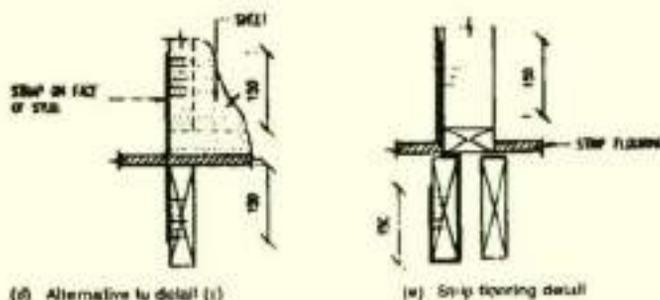
(a) Exterior or edge detail

(b) Internal detail over continuous floor - wall parallel to joists

(c) Internal detail over continuous floor - wall across joists

Figure 1

Continued

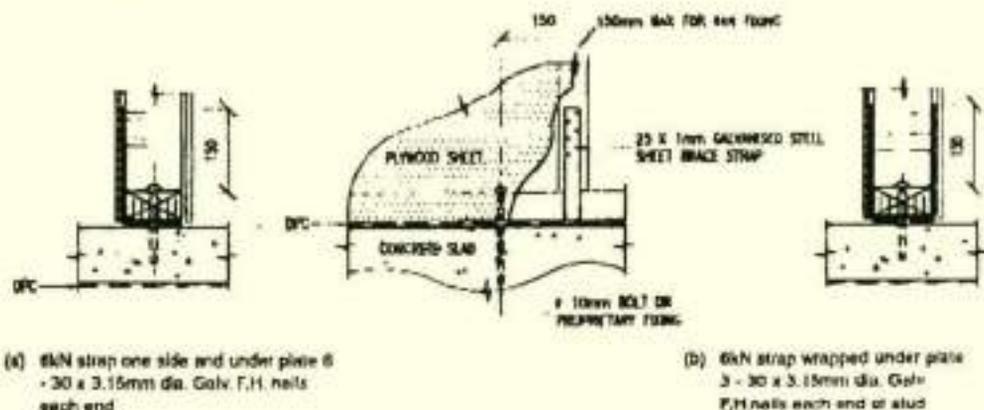


Note

1. Detail (a) can be replaced by a dropped panel fixing with no straps. See Figure 4.
2. Straps may be recessed into lining where a smooth finish is required in linings over straps.

Figure 2

6kN strap fixings and capacities to each end stud of braced panels on concrete



Installation

Framing

Framing shall be in accordance with NZS 3604:1990 or similar standard. Before placing the frame in position, check the hold-down requirements to enable positioning of any straps required. Refer Figure 5 for detailing of expansion gaps and framing alignment.

Hold-down details

6kN hold-down:

For 6kN hold-down; at each end of the wall, use either:

1. A single 25mm x 1.0mm galvanised steel sheet brace strap with 6kN capacity. See:
 - * Figure 1(a) to (e) for timber floors.
 - * Figure 2(a) or (b) for concrete floors.
2. Or the dropped panel detail, requiring no straps. See:
 - * Figure 4(a) where the brace is in a veneer cavity or under cladding.
 - * Figure 4(b) for cladding used as bracing.

12kN hold-down:

Higher wall ratings are possible with double hold-down and/or double nailing. For 12kN hold-down use two 25 x 1.0mm, 6kN capacity straps. See:

1. Figure 5(a) to (d) for timber floors.
2. Figure 7 for concrete floors. Detailing in Figure 5 can be used with two straps.

Steel strap:

For details requiring steel straps according to NZS 3604, use only 25mm x 1.0mm galvanised steel sheet brace strap, with 3.15mm nails according to the strap manufacturer's instructions. Strap fixings must be protected from exposure to rain or excessive condensation. One way of doing this is by taking building paper under plywood or other claddings down over the straps. For concrete floors, details in Figure 8 can be modified to the requirements of Figures 2 and 7. All details are available as AUTOCAD files. See the reply coupon on back cover.

BUILDING PROCESSING FORM

G15

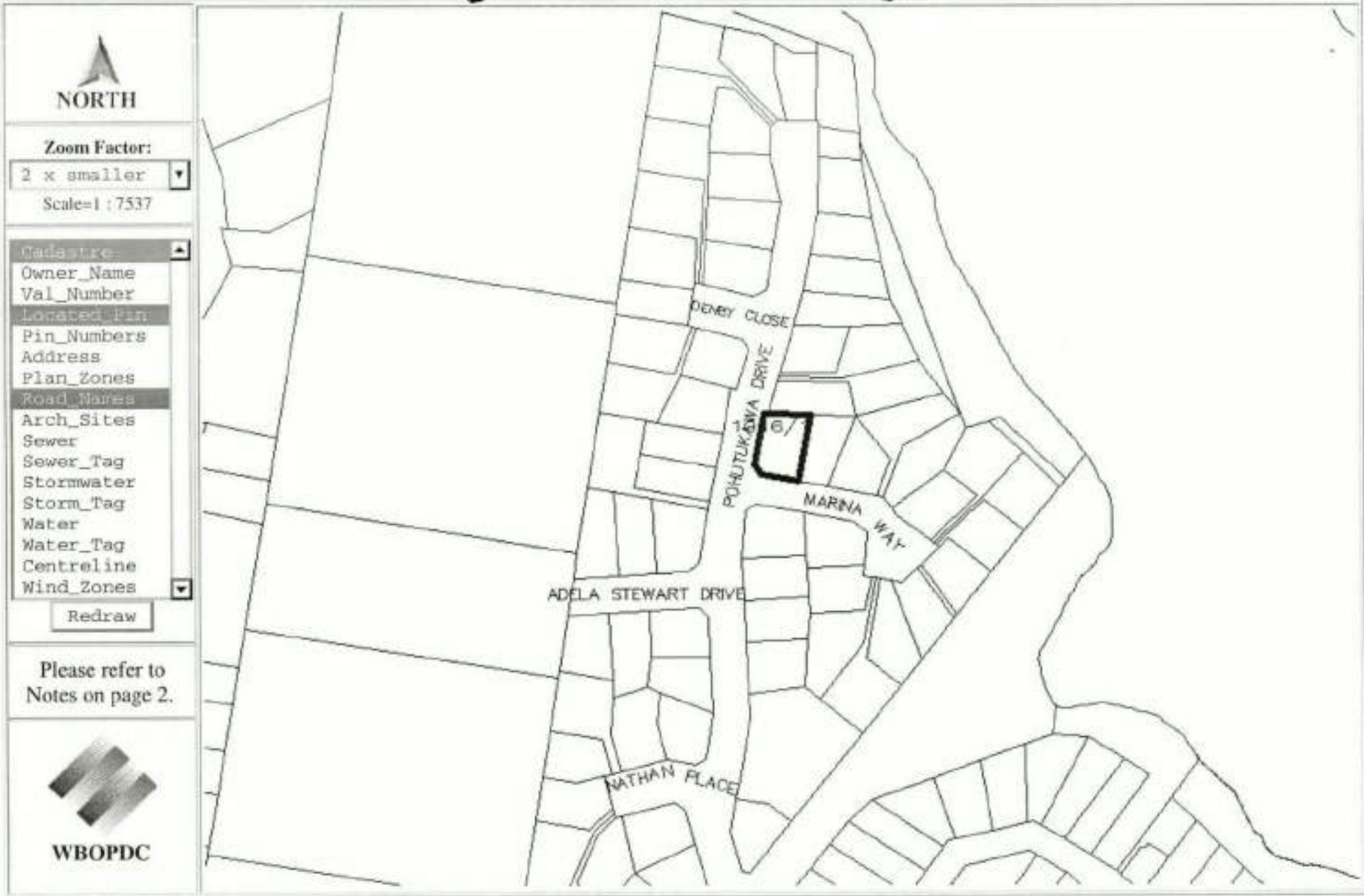
PARCEL NO:	1016/1	
PROPERTY FILE AND SUBFILES:	P/1016/1 P/1016/1/1 ✓ P/1016/1/2 ✓	
PARCEL LOCATION:	12 POHUTUKAWA DRIVE	
PARCEL LEGAL DESC	LOT 22 DPS27597	
PARCEL ZONE:	RES	
PARCEL AREA (Ha):	0.0880	
VALUATIONS:	06814*007*91*	
IMPROVE VALUE:	125,000	
IMPROVEMENTS:	DWG OB OI	
FIRST OCCUPIER:	DUSKE, DAVID BRUCE	
LIM NO:	1761	
CCC ISSUED DATE:	BC NO:	BC WORK DESCRIPTION:
17 Dec 1996	56730	DWELLING
05 Sep 1997	59037	GARDEN SHED
	63441	ADDITION TO DWELLING
NOTIFIEDS:		
NON NOTIFIEDS:		
PREMISES LICENCES:		
LIQUOR LICENCES:		
PREVIOUS PARCELS:		
NEW PARCELS:		

SUBDIVISION INFORMATION

SUB NO	SCHEME PLAN APPROVED DATE	223 COMPLETED DATE	224 COMPLETED DATE

WATER INFORMATION

No. of Water Connections:	1
---------------------------	---



63441

9 June 2000

David Needham

P/1016/1/2

DUSKE, DAVID BRUCE
DUSKE, CAROL ANN
C/- DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE ATHENREE R D 1
KATIKATI

COPY

Dear Sir/Madam

Application for Resource Consent

Applicant DUSKE, DAVID BRUCE
DUSKE, CAROL ANN

Date of Council Decision 9 June 2000 (Delegated Authority)

I wish to advise that Council has granted the above application for land use consent in the following terms:

- (a) *THAT pursuant to Section 94(2) of the Resource Management Act 1991, the Western Bay of Plenty District Council resolves that the application need not be notified in accordance with Section 93 of the Act because:*
- (i) *Council is satisfied that the adverse effectson the environment of the proposal will be minor, and*
 - (ii) *The written approval has been obtained from every person whom the Council considers to be affected by the proposal, and*
- (b) *THAT pursuant to Section 104 and 105 of the Resource Management Act 1991, the Western Bay of Plenty District Council grants its consent to the application by D.B Duske and C.A Duske for a discretionary activity being the erection of a garage within the front yard on a residentially zoned property being, Lot 22 DPS 27597, subject to the following conditions:*
1. *THAT the extension be sited in accordance with the plans as submitted with the application by D.B and C.A Duske dated 24 May 2000 and completed on 7 June 2000.*
 2. *THAT the extension to the house be sited no closer than 3.4m from the front boundary of the site and 0.5m from the north side boundary.*
 3. *THAT the existing concrete driveway be widened on the north side to ensure on site manoeuvring of a 90-percentile car can be undertaken.*

The reasons for this decision are:

1. *The written approval of the neighbouring property owners had been obtained.*

2. *The adverse effects of allowing the encroachment within the front yard are considered to be minor.*

ADVICE NOTES:

1. *A building consent will be required for all building work including stormwater and effluent disposal systems.*
2. *This consent will lapse after two years of being granted unless considerable progress has been made and is continuing to be made to complete this project.*

Any lack of recorded archaeological sites on this property may be due to one of two factors:

- (a) *there are no sites present, or*
- (b) *there has not been an archaeological survey undertaken.*

Archaeological sites are historic places as defined by the Historic Places Act 1993, and all archaeological sites are protected under the provisions of that Act. Any activity, which impacts on an archaeological site, requires the prior permission of the Historic Places Trust. If any archaeological site is uncovered during development then work must stop until the site can be assessed by a qualified archaeologist and an authority to modify, damage or destroy the site applied for under either Section 11 or 12 of the Act.

3. *Full compliance with the conditions of consent is necessary to carry out the activity to which this consent relates. Your progress towards satisfying the conditions of consent will be monitored by Council, and enforcement measures may be taken to ensure compliance with the conditions of consent if necessary.*

If you wish to object to any part of this decision you have 15 working days from the date of receiving this notice to lodge your objection with the Council.

Yours faithfully

Sue McElroy
Consents Officer
Email sjm@wbopdc.govt.nz



.....
Group Manager Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
TAURANGA

Dear Sir

Application for Resource Consent – Consent of Persons Affected

I, Robert Dwan @ Edwin Elizabeth M. Green
(State Full Name - Please Print)

of, of 14 Pohutukawa Drive Athenree
(Address)

as the owner/~~lessee~~/occupier (delete as appropriate) of the property legally described as:

Lot 23 DPS 27597 (06814 007 92)

hereby give my approval to an application by:

David Bruce Dusko & Carol Ann Dusko
(State Applicants Name)

for a resource consent to 12 Pohutukawa Drive Athenree

I have sighted the application and fully understand and agree with what is proposed. (Note: those persons signing this consent form must also initial any plans accompanying the application).

Yours faithfully

RD Green - B. E. Green
(Signature and Date)

Building Consent – General Information

Owner: _____

Consent No: _____

63441

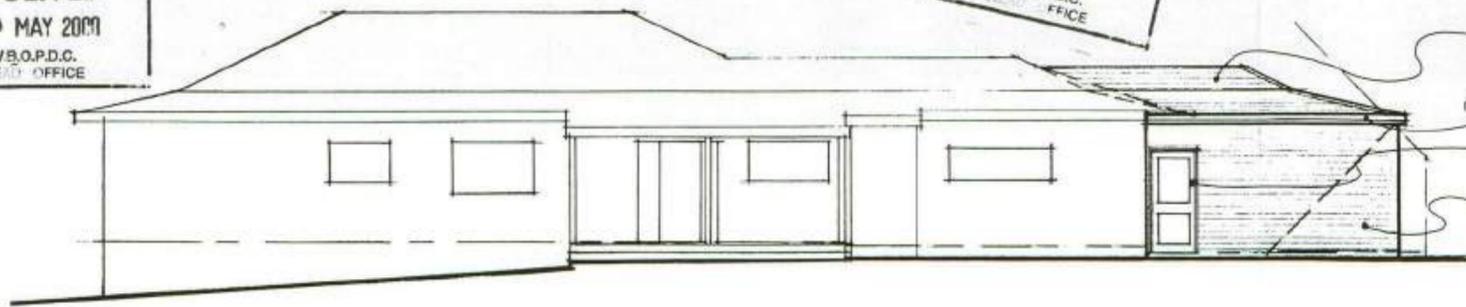
Address: _____

1. There are no specific items to be listed for this Building Consent.
2. Any place from where a person can fall 1 metre or more shall be fitted with a safety barrier. For example, decks, balconies, high level openings (NZ Building Code Section F4). The construction of barriers is to comply with Section B1 of the Building Code. In some cases toothed ring connectors and nail plates will be required. (NZ Building Code Section B1).
3. All glazing is to comply with (NZ Building Code Section F2). Glazing to NZS 4223 will be accepted as a means of compliance.
4. Stormwater is to be piped to an approved outfall. Soakholes will not be accepted for stormwater disposal (NZ Building Code Section E1).
5. Water supply pipes are not to be run under a concrete floor slab unless they are enclosed in a sealed watertight duct (NZ Building Code Section B2).
6. Hot water supply to wash handbasins, vanities, showers, baths and bidets is to be tempered to a maximum temperature of 55°C (NZ Building Code Section G12).
7. Water supplies taken from anywhere other than a Council supply are likely to be infected with bacteria, giardia or both. Please seek advice from an expert on the most appropriate treatment system for your property. Some form of treatment will be needed to provide a potable water supply and filtration will be needed to eliminate giardia. A Code Compliance Certificate will not be issued until an adequate supply of potable water is provided and evidence is produced to show that the water is potable. Testing for giardia will not be required if an appropriate filter has been installed (NZ Building Code Section G12).
8. Concrete floors are required to be a minimum height above unprotected ground surrounding the building. When setting floor levels ensure that the slab is high enough to meet the minimum requirements after landscaping and gardening are in place. The minimum heights are : for masonry veneer - 150mm, all other claddings - 225mm. Timber floors are required to be much higher NZ Building Code Section E2. (NZS 3604 Appendix E).
9. Gully traps must finish above finished ground level. The top of the gully trap surround must be no less than 100mm above unpaved surfaces and 25mm above paved surfaces. Ensure that landscaping and gardening do not extend higher than these limits (NZ Building Code G13/AS2).

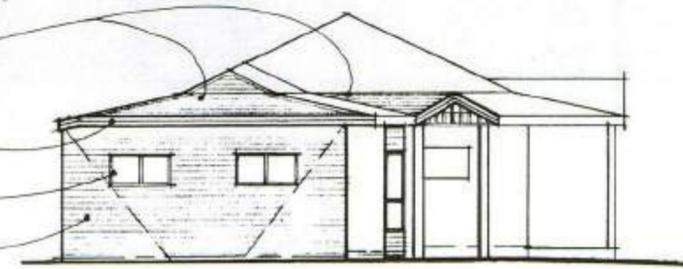
10. Concrete bond beam blocks supporting concrete floor slabs and brick veneer should be 250mm nominal width. Standard 200mm nominal width blocks will not be accepted (NZ Building Code B.1.).
11. Brick veneer is to be laid correctly to NZS 4210 over building paper using screw fixed ties. Hammer driven ties will not be accepted. The following will be accepted as a means of compliance. Ties should be spaced at not more than 600mm centres horizontally and 400mm centres vertically or alternatively at not more than 450mm in each direction. Vertical spacing shall not exceed more than five courses and extra ties are required around openings. Cavity width is to be not less than 40mm or more than 75mm.(NZ Building Code Section B1[NZS 3604 Appendix f]).
12. A copy of the engineer's design for the roof trusses is to be provided to the Council (NZ Building Code Section B1 [NZS 3604:1990 Section 10.2]).
13. Exterior window and door joinery is to be flashed correctly to seal the windows from water penetration. Head flashings are to be provided in all cases except where the head is hard up to the eaves and the head is covered by a frieze board or similar. Sealing with silicone rubber type sealants is not acceptable at window heads. (NZ Building Code Section E.2).
14. Provide seismic restraint to the hot water cylinder (NZ Building Code Section B1).
15. The solid fuel heater is to be installed strictly in accordance with the manufacturers instructions. Heater and hearth to be bolted to the floor (NZ Building Code Sections B1 and C1).
16. This consent does not give approval for the building to be occupied as a dwelling (NZ Building Code Section A1).
17. Septic tanks and effluent disposal for building projects must comply with Environment BOP on-site Effluent Treatment Plan. Building owners have an obligation to ensure that the septic tank and effluent disposal complies with the Plan. If a system is installed that does not comply with the Plan then the owner may be liable for the non compliance in the future. If in doubt ask Environment BOP to check the proposal for you.
18. A Compliance Schedule is required for this building. A provisional Compliance Schedule will be issued with the Building Consent. The actual Compliance Schedule and Building Statement of Fitness will be issued at the same time as the Code Compliance Certificate. The building should not be occupied until the Code Compliance Certificate is issued or the Building Inspector otherwise agrees. Provide a copy of the Energy Work Certificate to the Council when the work is completed.
19. The Building Code does not allow excavations for buildings to effect adjacent buildings or property. Where excavations are close to other buildings, or other property, then excavations must remain stable under all conditions. Specifically designed retaining walls may be required to stabilise cut slopes and the edge of filled areas.
(NZ Building Code Section B1.)
20. This Building Consent has been issued subject to Section 35(1A) of the Building Act 1991. This means that you have a building consent but you **may not** commence work until the required approvals under the Resource Management Act (eg resource consent) have been obtained.

RECEIVED
24 MAY 2007
W.B.O.P.D.C.
HEAD OFFICE

RECEIVED
24 MAY 2007
W.B.O.P.D.C.
HEAD OFFICE



NORTH EAST ELEVATION
1:100



NORTH WEST ELEVATION
1:100

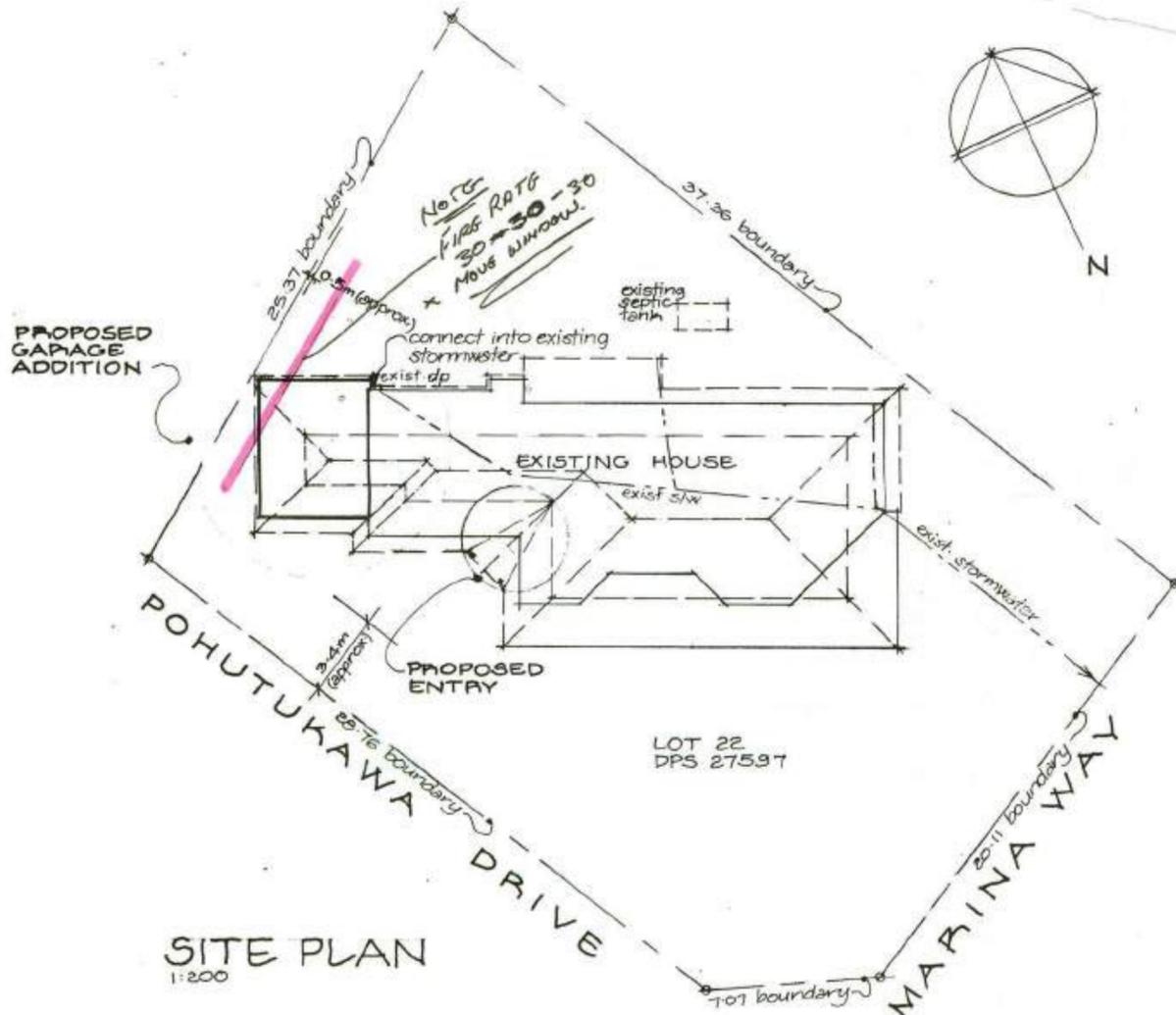


SOUTH WEST ELEVATION
1:100

Western Bay of Plenty District Council

APPROVED

Building consent issued with number
63441



SITE PLAN
1:200

SPECIFICATION

FOUNDATIONS: 100mm thick concrete slab with 200mm reinforced concrete blockwork footing on 300x100 pad, 100mm² x 600mm deep concrete post footing

DAMP COURSE: 2 ply DPC under all plates

FRAMING: all timber to be boris treated machine gauged Pinus Radiata, 100x100 H4 posts

WALL BRACES: diagonal steel strap brace & gib board, 1mm ply brace sheets

ROOF FRAMING: trusses to match existing pitch

ROOFING: 'colortile' metal tiles to match existing on tile battens & underlay

ROOF BRACING: diagonal steel strap

SPOUTING: 'KlassFascia' colorsteel concealed spouting system to match existing

DOORS: existing tilta & entrance doors re-used. Selected entrance door with 2 sidelights. Selected hollow core interior doors.

WINDOWS: existing aluminium re-used & new aluminium to match existing

EXTERIOR SHEATHING: Marley 'Palliside' weatherboards to match existing, 45mm Hardiflex soffit lining

INTERIOR LINING: 9.5mm gib board to walls & ceiling

INSULATION: fibreglass Batts or similar approved to ceilings & external walls

NAME	
LOT NO.	
DP(S)	
VAL NO.	
LOCALITY	
UNIT NO.	

AMENDMENTS:

A: 16/4/00 - connection to existing stormwater added

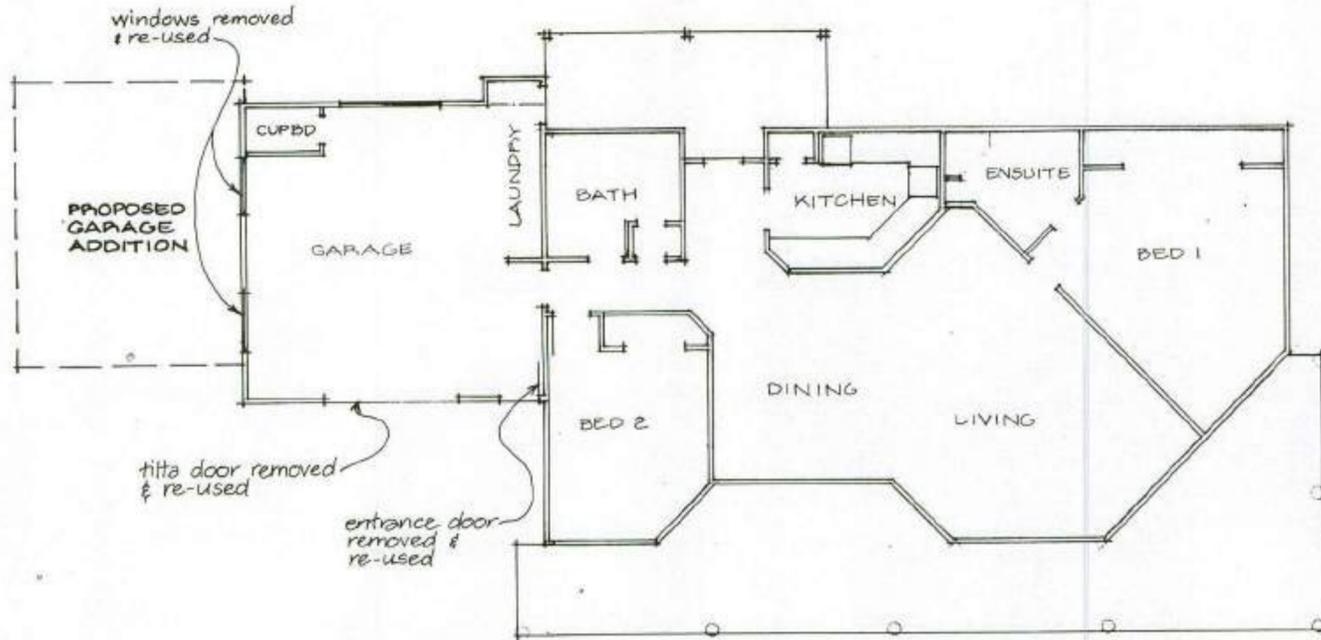
PROPOSED ADDITION TO EXISTING RESIDENCE for MR B & MRS C DUSKE at 12 POHUTUKAWA DRIVE ATHENREE

ELEVATIONS SITE PLAN

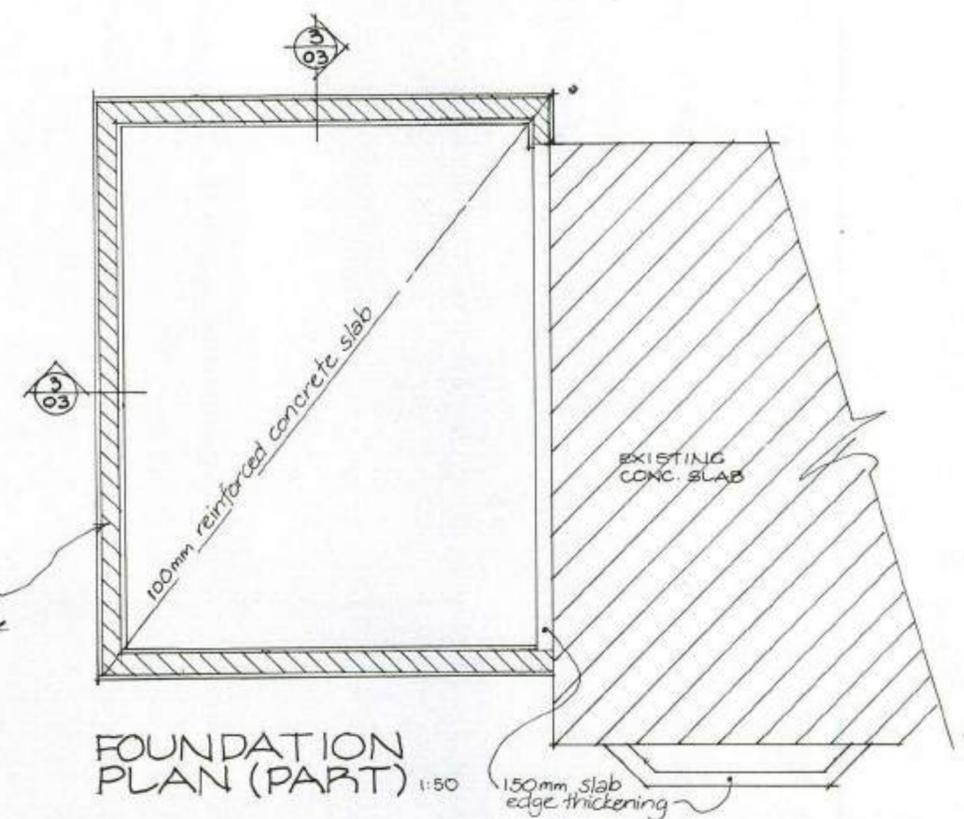
SCALE: AS SHOWN	DRAWN: STANUHA NZCD(arch)	DRWG NO: OIA
DATE: APRIL 2000		of 3

NOTES:

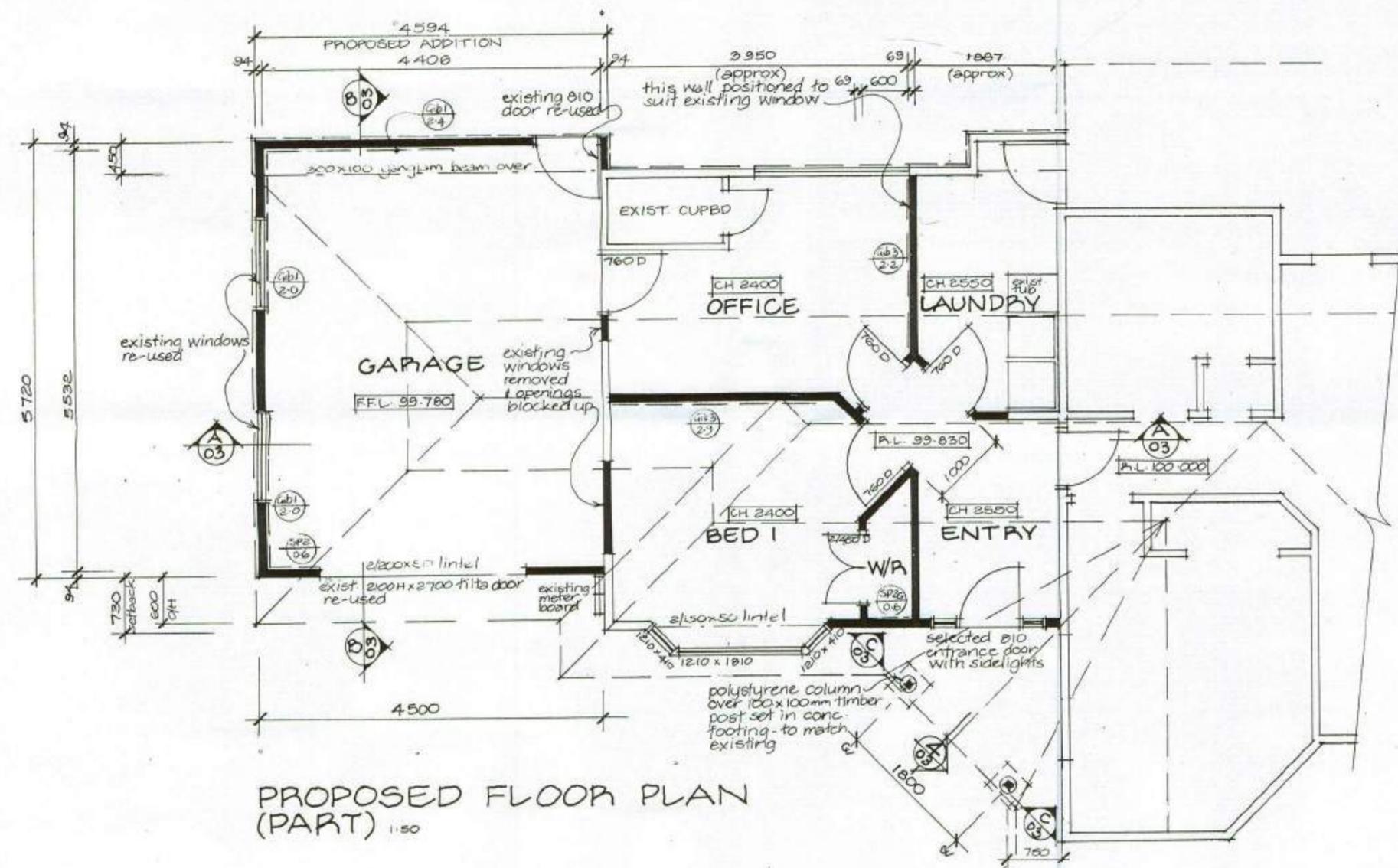
contractor shall check all dimensions on site before commencement of work
all materials & fixings shall comply with NZS 3604 & 1991 Building Act



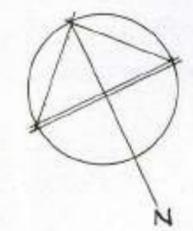
EXISTING FLOOR PLAN 1:100



FOUNDATION PLAN (PART) 1:50



PROPOSED FLOOR PLAN (PART) 1:50

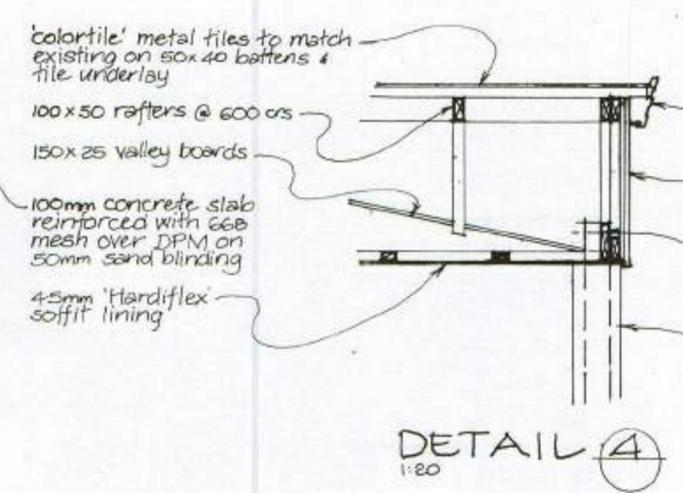
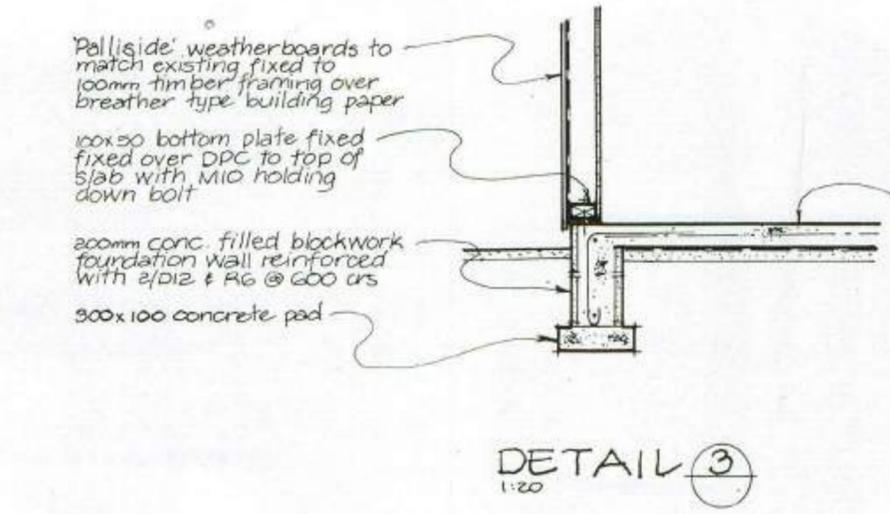
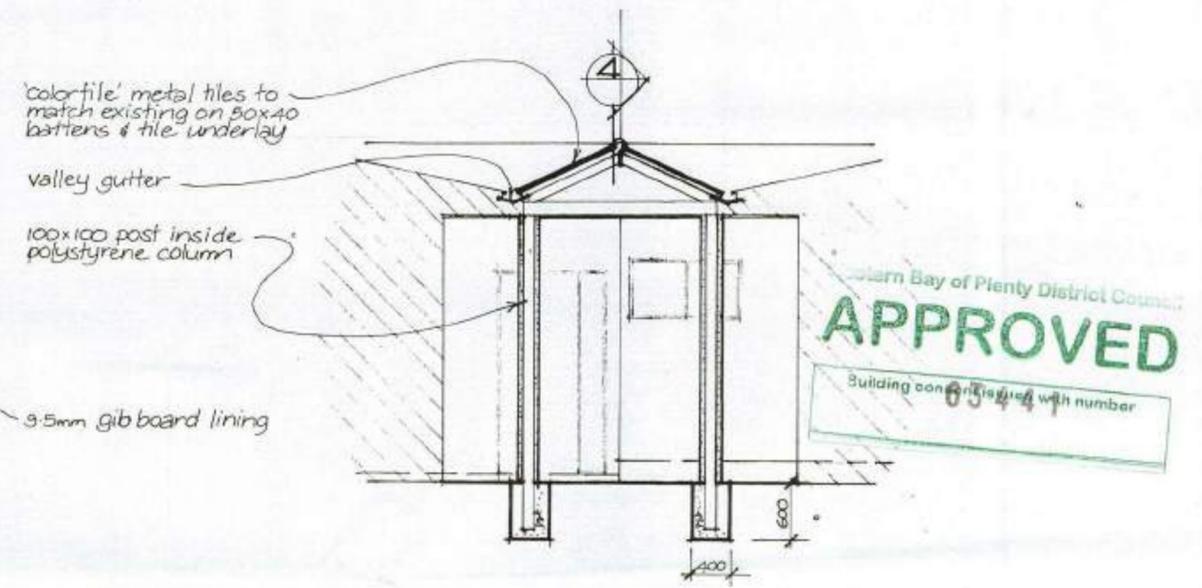
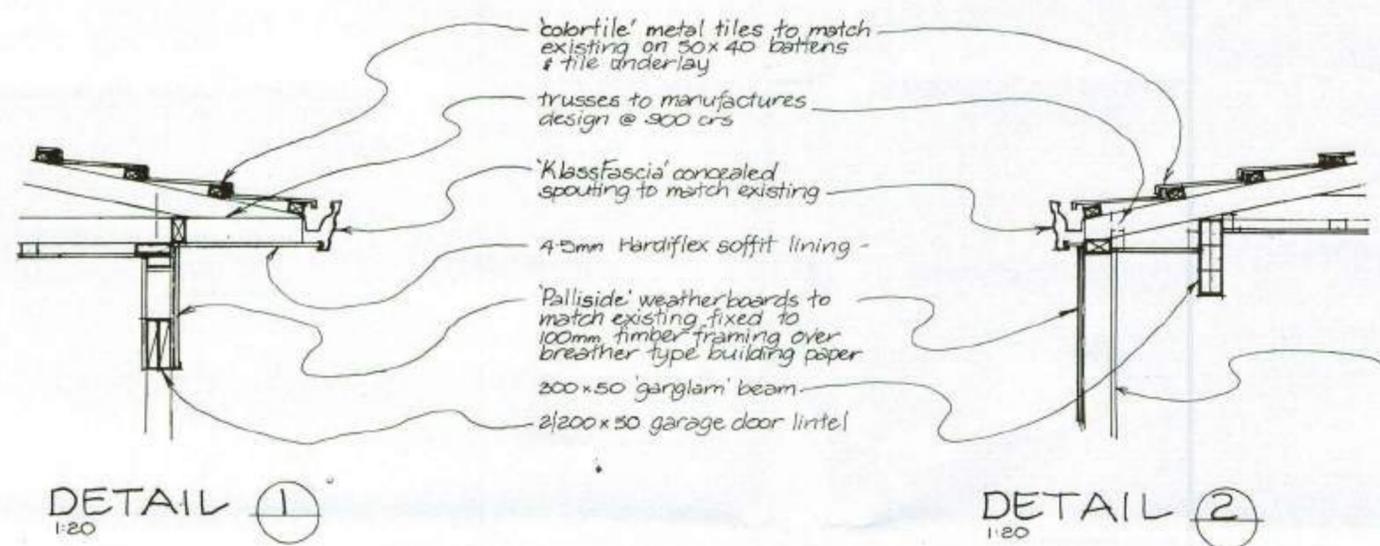
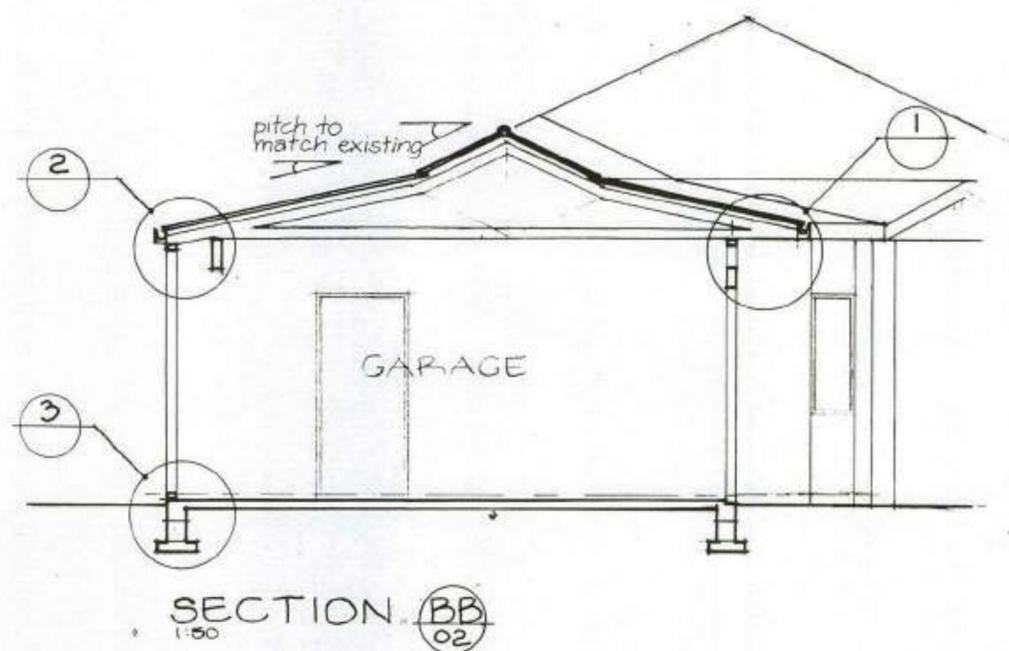
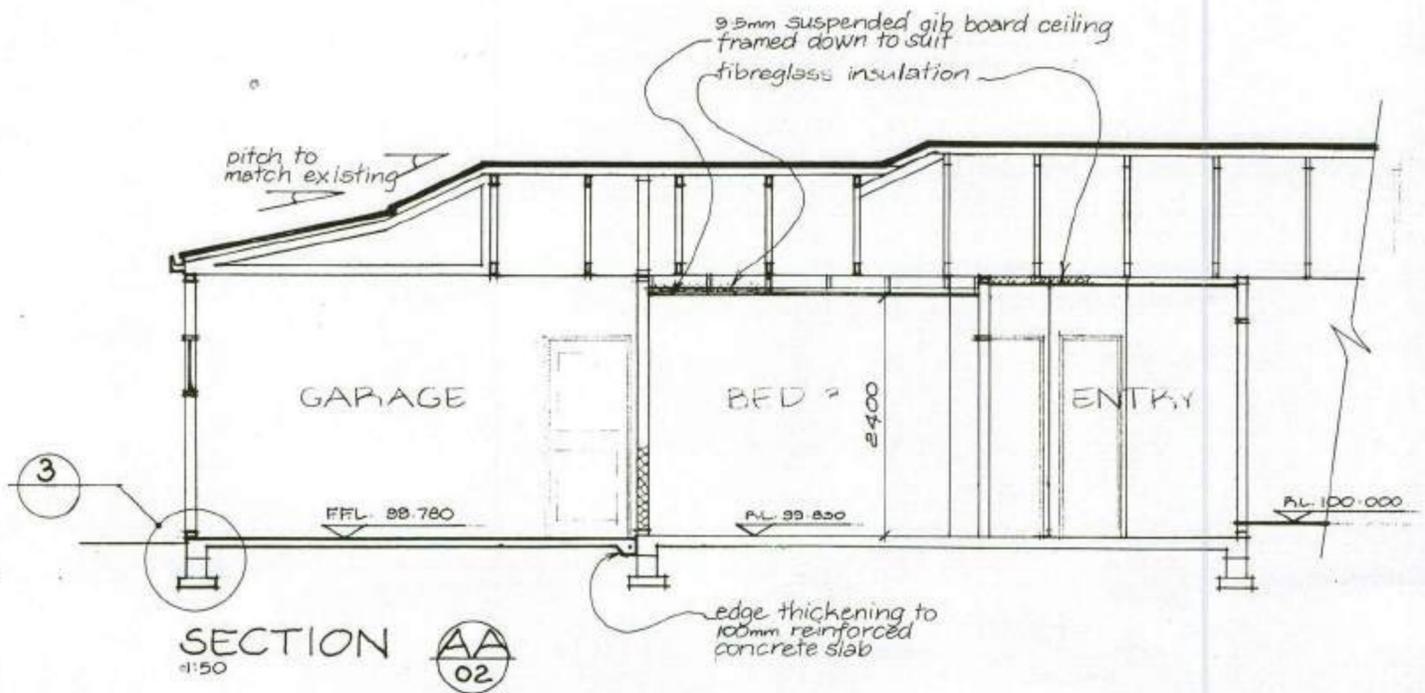


Western Bay of Plenty District Council
APPROVED
 Building consent issued with number
63441

(24) denotes bracing elements

NOTES:
 contractor shall check all dimensions on site before commencement of work
 all materials & fixings shall comply with NZS3604 & 1991 Building Act

AMENDMENTS:		
PROPOSED ADDITION to EXISTING RESIDENCE for MR B & MRS C DUSKE at 12 POHUTUKAWA DRIVE ATHENREE		
PLANS		
SCALE: AS SHOWN	DRAWN: S. TAYLOR NZCC (Arch)	DRAWG. NO. 02
DATE: APRIL 2000		of 3

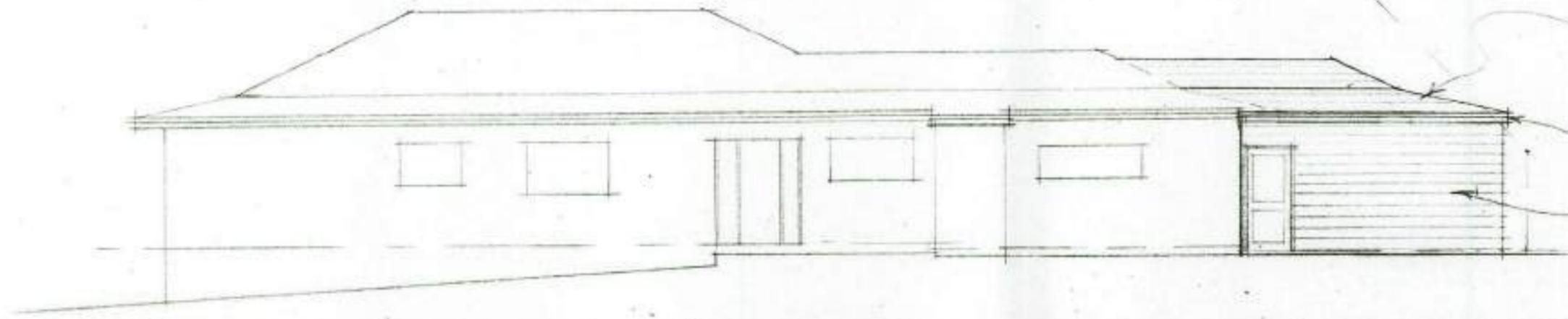


Bay of Plenty District Council
APPROVED
Building consented with number 05441

NOTES:
- contractor shall check all dimensions on site before commencement of work.
- all materials & fixings shall comply with NZS 3604 & 1991 Building Act

AMENDMENTS:		
PROPOSED ADDITION to EXISTING RESIDENCE for MR B & MRS C DUSKE at 12 POHUTUKAWA DRIVE ATHENREE		
SECTIONS DETAILS		
SCALE: AS SHOWN	DRAWN: S-TAVIHA NZCD (Arch)	03 of 3
DATE: APRIL 2000		

Handwritten signature/initials



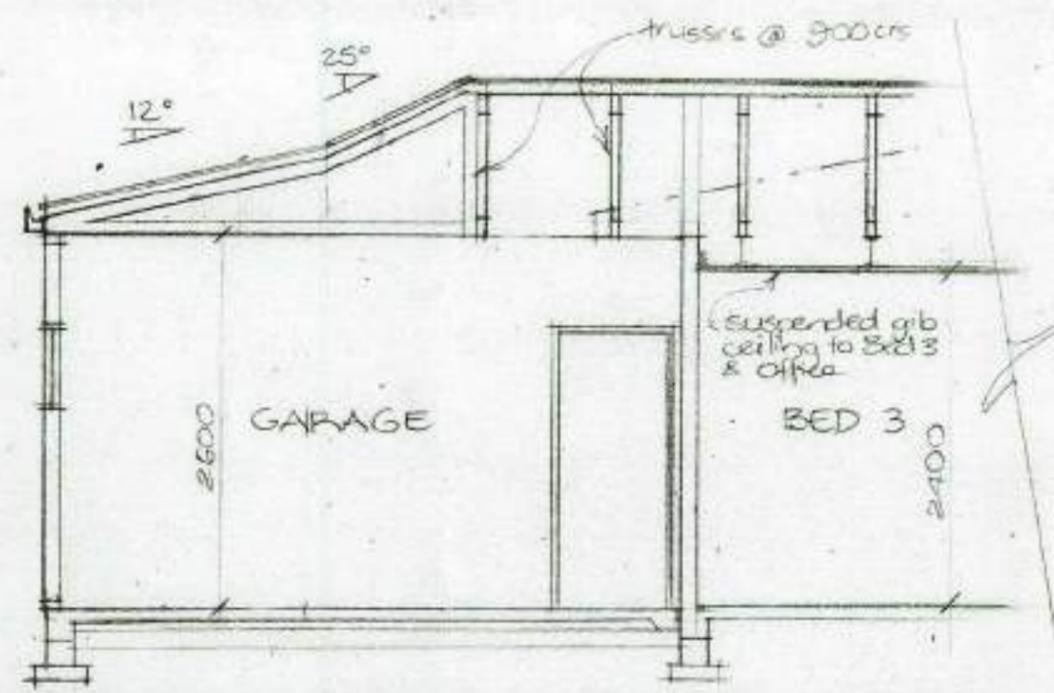
colortile metal tiles to match existing
Klass fascia to match existing
Palliside cladding to match existing

NE. ELEVATION

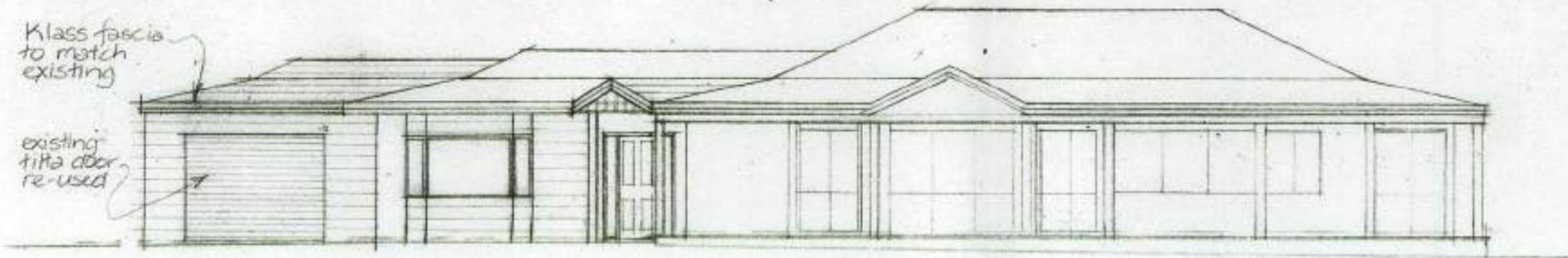


colortile metal tile roofing to match existing
existing aluminium windows re-used

N.W. ELEVATION



SECTION A
1:50



Klass fascia to match existing
existing tita door re-used

S.W. ELEVATION
1:100

PROPOSED ADDITION to EXISTING RESIDENCE
for MR & MRS B DUSKE at 12 FOHUTUKAWA DR. ATHENREE

PRELIMINARY SKETCH
PS 3 A
3/2000

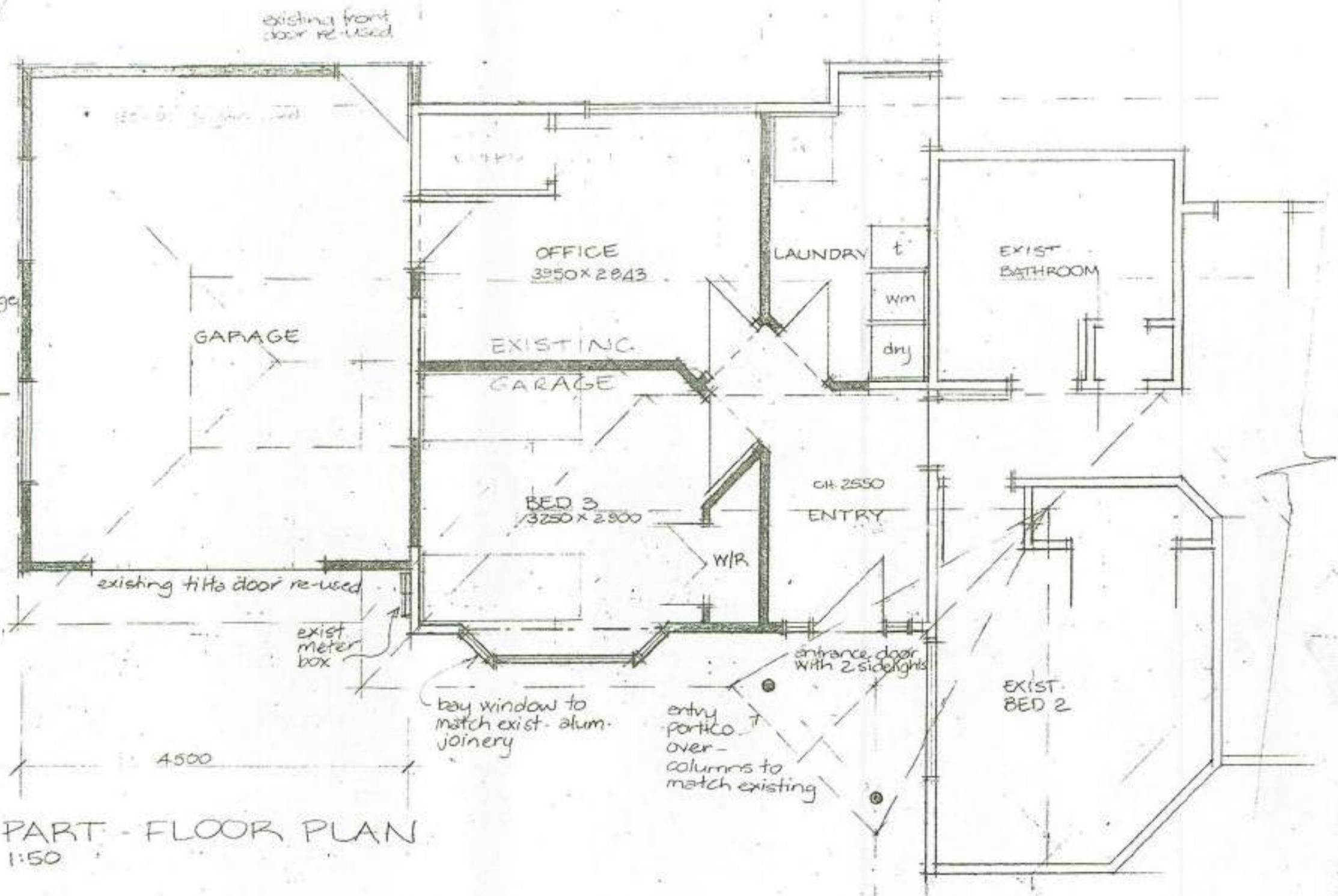
21000
AOC
EEG

PROPOSED
ADDITION

EXISTING HOUSE

3950

1887



PART - FLOOR PLAN
1:50

PRELIMINARY SKETCH

PROPOSED ADDITION to EXISTING RESIDENCE
for MR & MRS B DUSKE at 12 POHUTUKAWA DR. ATHENREE

PS 2A
3/2000

INSPECTIONS



This Building Consent is approved subject to inspections being requested.

PLEASE GIVE PRIOR NOTICE OF AT LEAST ONE WORKING DAY WHEN REQUESTING INSPECTIONS. QUOTE THE CONSENT NUMBER.

Keep this copy of plans and specifications on site at times of all inspections.

CALL FOR INSPECTIONS FOR ALL ITEMS TICKED.

1. **SITE INSPECTION**
The site has been inspected before the Consent is issued.
2. **FOOTINGS**
We want to see the excavations and ground before any concrete is poured.
3. **FOUNDATIONS**
We want to see the reinforcing in place before concrete is poured.
4. **CONCRETE SLABS**
We want to see the D.P.C. basecourse, reinforcing and underfloor services.
5. **TIMBER FLOORS**
We want to see the piles, sub-floor bracing and connectors.
6. **CONCRETE BLOCKWORK**
We want to see the reinforcing in cells and bond beams before concrete is poured.
7. **PRELINING INSPECTION**
We want to see all framing, bracing, connectors, vapour barriers, insulation, timber moisture.
8. **BRICK VENEER**
We want to see the walls when they are at about half height to inspect cavities and ties.
9. **STUCCO OR PLASTER FINISH**
We want to see the under surface and reinforcing prior to application of the plaster.
10. **PLUMBING INSPECTIONS**
We want to see all plumbing and water pipework under test before it is enclosed.
Can be combined with the Prelining inspection.
11. **FIREPLACE OR SOLID FUEL HEATERS**
We want to see the foundations, seismic restraint, clearances, flue and liners, and ceiling plate.
12. **DRAINAGE (Foulwater and Stormwater)**
We want to see all drainage work under test before it is closed in.
13. **SEPTIC TANK AND EFFLUENT TRENCH**
We want to see the tank before it is filled with liquid and effluent line before covering.
14. **FINAL**
We want to make a final inspection before issuing a Code Compliance Certificate.

KEEP DOGS TIED UP WHEN INSPECTOR CALLS





CODE COMPLIANCE CERTIFICATE

Building Consent No: **67856**

PROJECT	PROJECT LOCATION
<p>SEWER CONNECTION</p> <p>Intended Use: SEWER CONNECTION</p> <p>Intended Life specified at 50 years</p> <p>Being stage 1 of an intended 1 stages</p> <p>COUNCIL CHARGES</p> <p>The Councils total charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are:</p> <p>\$Nil</p>	<p>Street Address: 12 POHUTUKAWA DRIVE</p> <p>Legal Description: LOT 22 DPS27597</p> <p>Ref No: 1016/1</p> <p>Valuation Number: 06814 007 91</p> <p>This is:</p> <ul style="list-style-type: none"> <input type="checkbox"/> A final code compliance certificate issued in respect of all the building work under the above building consent. <input type="checkbox"/> An interim code compliance certificate, as specified in the attached particulars, in respect of only part of the building work under the above building consent. <input type="checkbox"/> This certificate is issued subject to the conditions specified in the attached _____ page(s).

Signed by or on behalf of the Council.

**THIS CERTIFICATE
DOES NOT APPLY TO
ELECTRICAL WIRING
OR GAS FITTING**

Name:



Position:

Building Officer

Date:

10 19 102



BUILDING CONSENT

Consent Number: 67856

APPLICANT

DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE
ATHENREE
R D 1
KATIKATI 3063

PROJECT LOCATION

12 POHUTUKAWA DRIVE

LEGAL DESCRIPTION

Property No: 1016/1
Valuation No: 06814 007 91
Legal Description:
LOT 22 DPS27597

COUNCIL CHARGES

The balance of Council's charges payable on uplifting this building consent, in accordance with the tax invoice are:

\$NIL

All fees are GST inclusive

PROJECT

SEWER CONNECTION

Intended Use:
SEWER CONNECTION

Intended Life: Not less than 50 years

Estimated Value: \$1,000

Signed for and on behalf of the Council:

Name: *Kushittle*

Position: Customer Care Officer

Date: 28/8/02

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is subject to the information specified in the covering letter.

Quality Statement

The statutory target to approve this building consent is 10 working days.

The average number of days to approve consents at Western Bay of Plenty District Council is 3.60 days.

This building consent was approved in 0 working days, including 0 days on hold waiting for further information.

Waihi Beach Wastewater Scheme Wastewater Application and Acceptance

Section 33, Building Act 1991

Application No.

67856

28 AUG 2002
WESTERN BOP
DISTRICT COUNCIL

10/10/11 ✓

Site Details:

Address	12 Pohutukawa Drive Athenree, RD1, Kaitiaki		
Lot Number	22	DPS Number	27597 84211 Kaitiaki
		Valuation Ref	0681400791

Details of Owner:

Details of Applicant (if different from Owner):

Name: DAVID BRUCE CAROL ANN DUKKE	Name:
Company:	Company:
Postal Address: 12 Pohutukawa Drive Athenree RD1, Kaitiaki	Postal Address:
Phone: 07 863 6576	Phone:
Contact for Application: <input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Applicant <input type="checkbox"/> Drainlayer

Signed by or for and on behalf of Owner:

Signed: David Duke *carol ann duke* Date: 26/08/2002

Name: David Bruce Duke *Carol Ann Duke*

Consent is requested to connect to Council's sewer mains at the above address in terms of the Western Bay of Plenty District Council General Bylaw and in accordance with the Building Act 1991.

Endorsement

You will need to contact a currently Registered Drainlayer and arrange for them to carry out the installation requirements. The Drainlayer must be familiar with the methods and materials required by Western Bay of Plenty District Council and it is a condition of this consent that this work is carried out to Council's specified standards. Upon completion of the work the **nominated drainlayer** is required to certify the work and return the certification along with the As Built Information required.

Fees (Council Use Only)

Receipt No Date:

Approved By: (Council Use Only)

Name:	Signature	Date

Consent No.

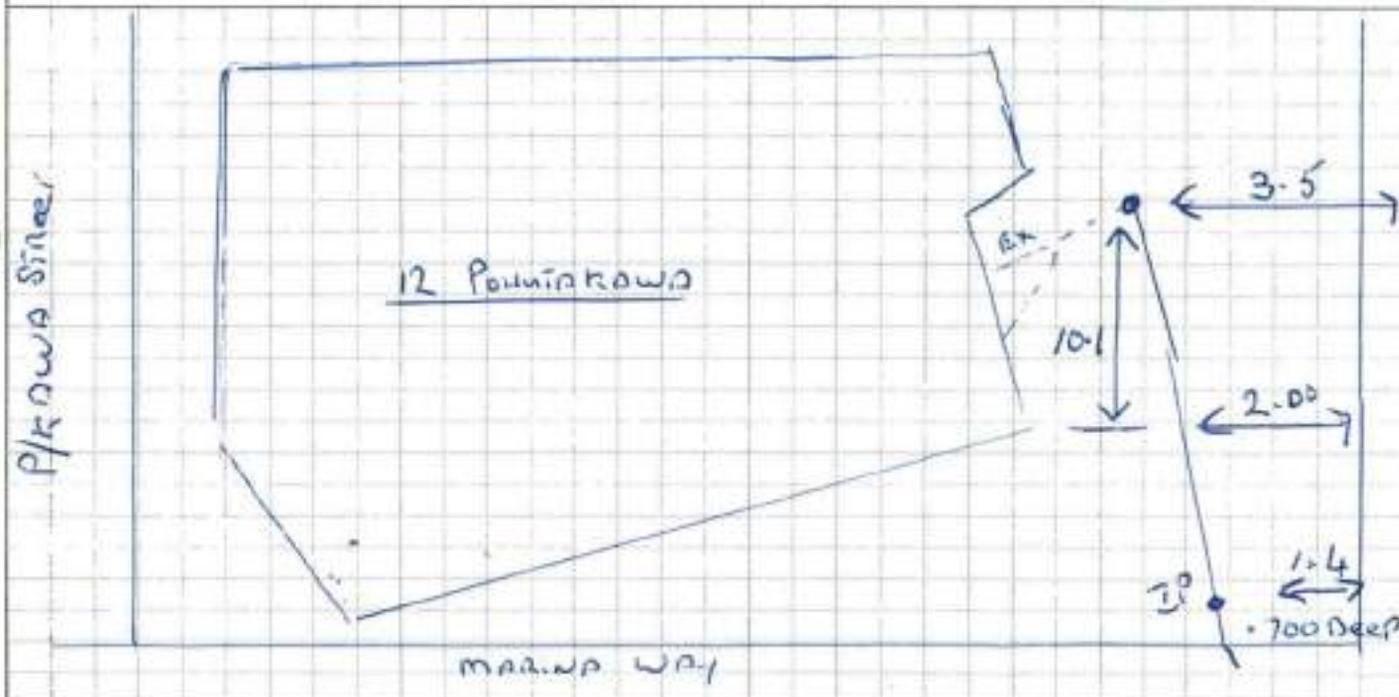
Please note: no work is to be carried out without Council's consent number

AS BUILT INFORMATION - To be completed by Registered Drainlayer

Please draw plan in ballpoint pen on graph below.

Plan to show:

1. All drains in correct position relative to building and boundaries
2. The road frontage
3. Depth of drains at connection point
4. All inspection openings, accurately dimensioned
5. All buildings and boundaries



Septic Tank Status

Cleaned Out

Filled In

Please tick appropriate ✓

Sealed

Nil

Installation (Registered Drainlayer)

Please note: work must be inspected and approved by Council's Building Inspectors prior to being covered over.

I, John Blackmore of John Blackmore Drainage (company)
certify that the above connection was made in accordance with the Building Act 1991 and that the As Built Information supplied is complete.

Signed: J Blackmore

Date: 28-8-02

RETURN FORM IN FREEPOST ENVELOPE TO: Western Bay of Plenty District Council, Private Bag 12803, Tauranga, 3030

COUNCIL USE ONLY:

Date:

Signature:

1. Rates Co-ordinator	Data Recorded		
2. GIS Department	As-Built Data		
3. Customer Care	For CCC Generation		
4. Records Section	Property File		

The personal information on this form will be used by Council specifically for the purpose of processing and identifying the application.
This form will then be placed within the property file, which is accessible to the public.

ISSUE CCC

Consent No.

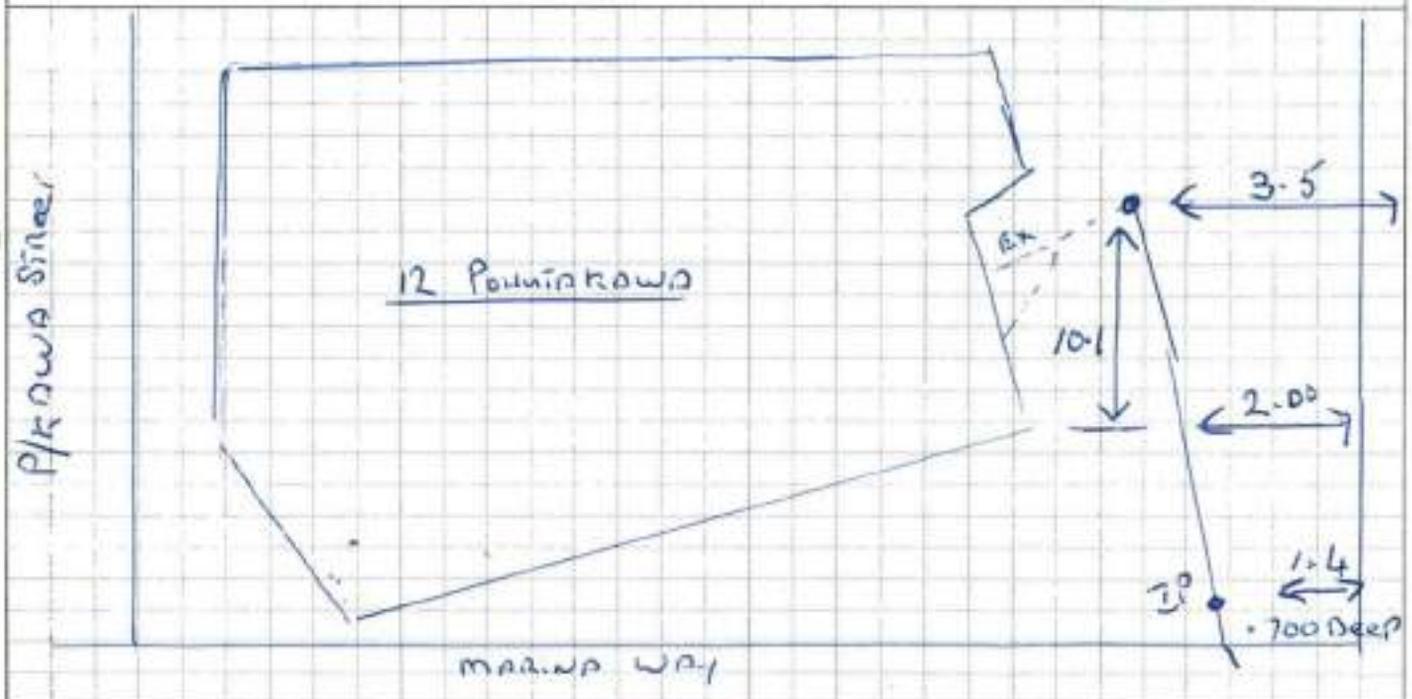
Please note: no work is to be carried out without Council's consent number

AS BUILT INFORMATION - To be completed by Registered Drainlayer

Please draw plan in ballpoint pen on graph below.

Plan to show:

1. All drains in correct position relative to building and boundaries
2. The road frontage
3. Depth of drains at connection point
4. All inspection openings, accurately dimensioned
5. All buildings and boundaries



Septic Tank Status	<input type="checkbox"/> Cleaned Out	Filled In	<input type="checkbox"/>
Please tick appropriate ✓	<input checked="" type="checkbox"/> Sealed	Nil	<input type="checkbox"/>

Installation (Registered Drainlayer)

Please note: work must be inspected and approved by Council's Building Inspectors prior to being covered over.

I, JOHN BLACKMORE of JOHN BLACKMORE DRAINAGE (company)
certify that the above connection was made in accordance with the Building Act 1991 and that the As Built Information supplied is complete.

Signed: J. Blackmore Date: 28-8-02

RETURN FORM IN FREEPOST ENVELOPE TO: Western Bay of Plenty District Council, Private Bag 12803, Tauranga, 3030

COUNCIL USE ONLY:		Date:	Signature:
1. Rates Co-ordinator	Data Recorded		
2. GIS Department	As-Built Data		
3. Customer Care	For CCC Generation		
4. Records Section	Property File		

The personal information on this form will be used by Council specifically for the purpose of processing and identifying the application. This form will then be placed within the property file, which is accessible to the public.

ISSUED CCC



BUILDING INSPECTION REQUEST

Request Date 26/8/02 Consent Number C: 15586
 Owners Name _____
 Builder/Plumber/Drainlayer Blackwood
 Project Address 12 Pohutukawa Dve
 Type of Building Drainage Inspection Request connection
 Contact Phone _____ Mobile Phone _____
 Inspection Day Tues am/pm pm Date 27/8/02

INSPECTORS NOTES

Inspection Date _____ Time _____ Inspector _____
 Work is approved: Yes No Advice Form: Yes No
 Builder/Owner on site: Yes No Advised by telephone: Yes No

OK Issue set

Lined writing area with horizontal lines and two binder holes on the right side.



Code Compliance Certificate

Section 95 Building Act 2004

Number: 81255

PIN No: 1016/1

The Building	The Owner
Street Address 12 POHUTUKAWA DRIVE	Name of Owner DUSKE, DAVID BRUCE
Legal Description LOT 22 DPS27597	Contact Person DUSKE, DAVID BRUCE
Building Name (Not compulsory)	Mailing Address 12 POHUTUKAWA DRIVE RD 1 KATIKATI 3177
Location of Building within Site	Phone Numbers Daytime a/h 0064 07 8634516 After Hours Mobile day 0064 07 863 4516 Fax Email Address
Level/Unit Number	
Current lawfully established use	
Year first constructed	
Project INSTALLATION OF SOLAR HOT WATER HEATING SYSTEM	

Building Work

Building Consent Number 81255 issued by Western Bay of Plenty District Council.

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that:

(a) the building work complies with the building consent; and

†(b) ~~the specified systems in the building are capable of performing to the performance standards set out in the building consent.~~

† Attachment

† Compliance Schedule

Signature: 

Date: 17/9/10

On behalf of Western Bay of Plenty District Council

- * Delete if the applicant is an individual
- † Contact details must be in New Zealand
- ‡ Delete if inapplicable



17 September 2010

DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE
RD 1
KATIKATI 3177

Dear Sir/Madam

Final Inspection – Building Consent Number 81255

A final inspection was recently carried out on your Building project and it was found to comply with the requirements of the NZ Building Code. Your Code Compliance Certificate is attached.

Thank you for your assistance on this project. We would be happy to assist with any future building projects that you may wish to undertake.

Yours faithfully

Regulatory Services Team



16 July 2010

DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE
RD 1
KATIKATI 3177

Dear Sir/Madam

Thank you for applying for a building consent with Western Bay of Plenty District Council. The consent has now been issued and documentation is enclosed herewith.

Your building consent number is **81255**. You will need to quote this number when booking inspections.

For a Code Compliance Certificate to be issued on the completion of the project you must call for all of the inspections shown on the green sheet attached to your copy of the plans. Our Building Control Official (BCO) will work with you to achieve full compliance with the New Zealand Building Code.

Each inspection type required will be charged for therefore it is important that the work is ready when the BCO calls. Please note more than one inspection type may be carried out during a visit to the site. **Re- inspections to check on items that did not meet the code requirements and failed previous inspections may incur an inspection fee.**

The BCO is generally unable to approve stages of work undertaken that cannot be seen. Therefore it is important that work is not closed in before it has been inspected. Occasionally and only with the BCO's prior approval closing in work may be agreed to subject to photographs or other evidence as determined by the BCO.

Please book inspections by telephoning **(07) 579 6514** between **8am and 3pm**. We recommend you book inspections at least 3 days in advance.

General Information Relating to this Building Consent:

This consent is issued in respect of the documents lodged with the application as approved. If you wish to make changes to the project then the prior approval of Council is required. An amendment application and revised plans and specifications may be required. Additional fees will be payable.

The Building Act requires you to apply for a Code Compliance Certificate when the project is fully completed.

1. This building consent has been issued on the basis of the information supplied with the application and no pre consent site inspection has been made.

Obj

2. There are no specific items to be listed for this building consent.

Specific Statutory Building Act 2004 Conditions applying to this Consent.

Nil

Yours faithfully



Regulatory Officer



Office Use Only
Application No

81255



Application for Project Information Memorandum/Building Consent for Residential Projects

Section 33 and/or Section 45 Building Act 2004

Date Received
RECEIVED
-6 JUL 2010
WESTERN BOP DISTRICT COUNCIL

Application for (tick all that are applicable)

<input type="radio"/> PIM Only	<input type="radio"/> Both PIM and Building Consent	<input checked="" type="radio"/> Building Consent	In accordance with PIM No: _____
--------------------------------	---	---	----------------------------------

The Building

STREET ADDRESS of BUILDING PROJECT: (for structures that do not have a street address, state the nearest street intersection and the distances and direction from that intersection)	12 Pohutukawa Drive Kaitiaki		
LEGAL DESCRIPTION of land where building is located: (state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)	Valuation No:	PIN No	
	06814 007 91	101611	
Lot	DP:	Block No	Survey District
	22	0PS 27597	11 Kaitiaki
	ML:	Land area	
	SO:	0.0884ha	
Area: (total floor area of building work; including internal areas affected)	N/A		
Current, lawfully established, use: (Please tick appropriate box)	<input checked="" type="radio"/> Housing	<input type="radio"/> Communal Residential	<input type="radio"/> Outbuildings
Proposed use:	Solar hot water heater		

The Owner

Name of owner: (full names)	DAVID BAUGE & CAROL ANNE BUSKE		
Contact person: (insert N/A if the applicant is an individual)	Bruce Buske		
Mailing address:	12 Pohutukawa Drive		Post Code: 3177
	Athens		
Street address/registered office:			Post Code:
Phone Number: 07 8634516	Mobile: 027 4875819	After Hours: 07 8634516	
Fax Number: 07 8634577	Email Address: b.buske@2xtra.co.nz		
Evidence of ownership is attached to this application:	<input type="radio"/> Agreement for Sale and Purchase	<input checked="" type="radio"/> Rates Invoice	<input type="radio"/> Certificate of title or Lease

The Project

Description of the building work: (provide sufficient description of building work to enable scope of work to be fully understood. Continue on a separate page if necessary, or refer to an attached document setting out the description)

install solar hot water heater

Will the building work result in a change of use of the building? Yes No

If yes, provide details of the new use:

Intended life of the building if less than 50 years: (number of years)

List building consents previously issued for this property: (BC number only)

Estimated value of the building work on which the building levy will be calculated (including GST): (state estimated value as defined in Section 7 of the Building Act 2004) \$ 4,900

Agent (if applicable - only required if application is being made or signed on behalf of the owner)

Name		
Contact person: (insert N/A if the applicant is an individual)		
Mailing address:		Post Code:
Street address/registered office:		Post Code:
Phone Number:	Mobile:	After Hours:
Fax Number:	Email Address:	
Relationship to owner: (provide letter of authorisation from the owner to make the application and sign on the owner's behalf)		Copy of Authorisation attached <input type="radio"/> Yes <input type="radio"/> No
FIRST POINT OF CONTACT for communications with the Council/Building Consent Authority: (state full name, mailing address, phone number(s), facsimile number(s) and email address(es))		Name:
		Address:
		Post Code:
Phone Number:	Mobile:	After Hours:
Fax Number:	Email Address:	

Note: The owner may be sent a copy of any letters to agent/consultant should their application be placed on hold.

Payment of Fees by (tick one)

<input type="radio"/> Owner <input type="radio"/> Agent <input type="radio"/> Builder <input type="radio"/> Other (specify)		
Address (if different from above):		Post Code:
Phone Number:	Mobile:	After Hours:
Fax Number:	Email Address:	

Signature

I request that you issue a **BUILDING CONSENT** for the building work described in this application.

Signature of owner/agent on behalf of and with the authority of the owner: (delete one)	Signature: <i>David Bruce Laske</i>
Date: <i>06/07/2010</i>	Name: <i>David Bruce Laske</i>

Project Information Memorandum (do not fill in this section if the application is for a building consent only)

The following matters are involved in the project: (tick the matters relevant to the project)

<input type="radio"/> Subdivision	<input type="radio"/> Alterations to land contours
<input type="radio"/> New or altered connections to public utilities	<input type="radio"/> New or altered locations and/or external dimensions of buildings
<input type="radio"/> New or altered access for vehicles	<input type="radio"/> Building work over or adjacent to any road or public place
<input type="radio"/> Disposal of stormwater and wastewater	<input type="radio"/> Building work over any existing drains or sewers or in close proximity to wells or water mains
<input type="radio"/> Storage of hazardous substances - specify type and class (if unsure contact HSN0 officer at Tauranga City Council on 5777 000)	
<input type="radio"/> Other matters known to the applicant that may require authorisations from the territorial authority: (specify)	

COMPLETE this section ONLY if you are applying for a BUILDING CONSENT.

The building work will comply with the building code as follows : (if you're not sure which clauses are applicable, talk to your designer)

Clause (Tick which relevant clauses of the Building Code will be involved in the building work)	Means of compliance (refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications; Tick N/A if not applicable)	Alternative solution or other (please specify)
<input type="checkbox"/> B1 Structure	<input type="checkbox"/> N/A <input type="checkbox"/> B1/AS1 <input type="checkbox"/> B1/AS2 <input type="checkbox"/> B1/AS3 <input type="checkbox"/> B1/AS4 <input type="checkbox"/> B1/VM1 <input type="checkbox"/> B1/VM4 <input type="checkbox"/> NZS3604 <input type="checkbox"/> AS/NZS 1170 <input type="checkbox"/> NZS 4221	<input type="checkbox"/>
<input type="checkbox"/> B2 Durability	<input type="checkbox"/> N/A <input type="checkbox"/> B2/AS1 <input type="checkbox"/> B2/VM1 <input type="checkbox"/> NZS 3604 <input type="checkbox"/> NZS 3602 <input type="checkbox"/> NZS 3101	<input type="checkbox"/>
<input type="checkbox"/> C1 Outbreak of fire	<input type="checkbox"/> N/A <input type="checkbox"/> C/AS1	<input type="checkbox"/>
<input type="checkbox"/> C2 Means of escape	<input type="checkbox"/> N/A <input type="checkbox"/> C/AS1	<input type="checkbox"/>
<input type="checkbox"/> C3 Spread of fire	<input type="checkbox"/> N/A <input type="checkbox"/> C/AS1	<input type="checkbox"/>
<input type="checkbox"/> C4 Structural stability during fire	<input type="checkbox"/> N/A <input type="checkbox"/> C/AS1	<input type="checkbox"/>
<input type="checkbox"/> D1 Access routes	<input type="checkbox"/> N/A <input type="checkbox"/> D1/AS1 <input type="checkbox"/> D1/VM1 <input type="checkbox"/> NZS 4121	<input type="checkbox"/>
<input type="checkbox"/> D2 Mechanical installations for access	<input type="checkbox"/> N/A <input type="checkbox"/> D2/AS1 <input type="checkbox"/> D2/AS2 <input type="checkbox"/> D2/AS3 <input type="checkbox"/> NZS 4332 <input type="checkbox"/> EN81 <input type="checkbox"/> EN115	<input type="checkbox"/>
<input type="checkbox"/> E1 Surface water	<input type="checkbox"/> N/A <input type="checkbox"/> E1/AS1 <input type="checkbox"/> E1/VM1 <input type="checkbox"/> AS/NZS3500.3	<input type="checkbox"/>
<input type="checkbox"/> E2 External moisture	<input type="checkbox"/> N/A <input type="checkbox"/> E2/AS1 <input type="checkbox"/> E2/VM1	<input type="checkbox"/>
<input type="checkbox"/> E3 Internal moisture	<input type="checkbox"/> N/A <input type="checkbox"/> E3/AS1	<input type="checkbox"/>
<input type="checkbox"/> F1 Hazardous agents on site	<input type="checkbox"/> N/A <input type="checkbox"/> F1/AS1 <input type="checkbox"/> F1/VM1	<input type="checkbox"/>
<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> N/A <input type="checkbox"/> F2/AS1 <input type="checkbox"/> NZS 4223	<input type="checkbox"/>
<input type="checkbox"/> F3 Hazardous substances & processes	<input type="checkbox"/> N/A <input type="checkbox"/> F3/AS1 <input type="checkbox"/> F3/VM1	<input type="checkbox"/>
<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> N/A <input type="checkbox"/> F4/AS1 <input type="checkbox"/> FSP Act	<input type="checkbox"/>
<input type="checkbox"/> F5 Construction and demolition hazards	<input type="checkbox"/> N/A <input type="checkbox"/> F5/AS1	<input type="checkbox"/>
<input type="checkbox"/> F6 Lighting for emergency	<input type="checkbox"/> N/A <input type="checkbox"/> F6/AS1	<input type="checkbox"/>
<input type="checkbox"/> F7 Warning systems	<input type="checkbox"/> N/A <input type="checkbox"/> F7/AS1 <input type="checkbox"/> AS/NZS 1688 <input type="checkbox"/> NZS 4512 <input type="checkbox"/> NZS 4515	<input type="checkbox"/>
<input type="checkbox"/> F8 Signs	<input type="checkbox"/> N/A <input type="checkbox"/> F8/AS1	<input type="checkbox"/>
<input type="checkbox"/> G1 Personal hygiene	<input type="checkbox"/> N/A <input type="checkbox"/> G1/AS1	<input type="checkbox"/>
<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> N/A <input type="checkbox"/> G2/AS1	<input type="checkbox"/>
<input type="checkbox"/> G3 Food preparation and prevention of contamination	<input type="checkbox"/> N/A <input type="checkbox"/> G3/AS1	<input type="checkbox"/>
<input type="checkbox"/> G4 Ventilation	<input type="checkbox"/> N/A <input type="checkbox"/> G4/AS1 <input type="checkbox"/> G4/VM1 <input type="checkbox"/> AS 1666.2	<input type="checkbox"/>
<input type="checkbox"/> G5 Interior environment	<input type="checkbox"/> N/A <input type="checkbox"/> G5/AS1	<input type="checkbox"/>
<input type="checkbox"/> G6 Airborne and impact sound	<input type="checkbox"/> N/A <input type="checkbox"/> G6/AS1 <input type="checkbox"/> G6/VM1	<input type="checkbox"/>
<input type="checkbox"/> G7 Natural light	<input type="checkbox"/> N/A <input type="checkbox"/> G7/AS1 <input type="checkbox"/> G7/VM1	<input type="checkbox"/>
<input type="checkbox"/> G8 Artificial light	<input type="checkbox"/> N/A <input type="checkbox"/> G8/AS1 <input type="checkbox"/> G8/VM1 <input type="checkbox"/> NZS6703	<input type="checkbox"/>
<input type="checkbox"/> G9 Electricity	<input type="checkbox"/> N/A <input type="checkbox"/> G9/AS1 <input type="checkbox"/> G9/VM1	<input type="checkbox"/>
<input type="checkbox"/> G10 Piped services (piping of dangerous substances in buildings)	<input type="checkbox"/> N/A <input type="checkbox"/> G10/VM1 <input type="checkbox"/> NZS 5261	<input type="checkbox"/>
<input type="checkbox"/> G11 Gas as an energy source	<input type="checkbox"/> N/A <input type="checkbox"/> G11/AS1	<input type="checkbox"/>
<input type="checkbox"/> G12 Water supplies	<input type="checkbox"/> N/A <input type="checkbox"/> G12/AS1 <input type="checkbox"/> G12/AS2 <input type="checkbox"/> AS/NZS 3500.1 <input type="checkbox"/> AS/NZS 3500.4 <input type="checkbox"/> AS/NZS 3500.5	<input type="checkbox"/>
<input type="checkbox"/> G13 Foul water	<input type="checkbox"/> N/A <input type="checkbox"/> G13/AS1 <input type="checkbox"/> G13/AS2 <input type="checkbox"/> AS/NZS 3500.2 <input type="checkbox"/> BS 5572	<input type="checkbox"/>
<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> N/A <input type="checkbox"/> G14/AS1 <input type="checkbox"/> G14/VM1	<input type="checkbox"/>
<input type="checkbox"/> G15 Solid waste	<input type="checkbox"/> N/A <input type="checkbox"/> G15/AS1	<input type="checkbox"/>
<input type="checkbox"/> H1 Energy efficiency	<input type="checkbox"/> N/A <input type="checkbox"/> H1/AS1 <input type="checkbox"/> NZS 4214 <input type="checkbox"/> NZS4218 <input type="checkbox"/> NZS4243	<input type="checkbox"/>
Waiver/modification (state nature of waiver or modification of building code required)		

Application Checklist to be completed for BUILDING CONSENT and/or PROJECT INFORMATION MEMORANDUM

PURPOSE:

To provide clear guidelines to customers of Western Bay of Plenty District Council on what information is required for Building Consent and Project Information Memorandum applications at time of lodgement and allow processing of the application to commence.

The information submitted with the application needs to be sufficiently clear so that,

1. The Building Consent Authority (Western Bay of Plenty District Council) is able to determine whether the application complies with the New Zealand Building Code.
2. Any reasonably competent builder picking up the plans is able to build the building in compliance with the Building Code as the designer intended.
3. The plans and drawings are legible, easily followed, details clearly identified and easily distinguished from the specifications.

PLEASE NOTE:

1. Western Bay of Plenty District Council has the right to refuse incomplete applications.
2. Allow 20 working days for processing, however if all the required information is not supplied you may experience additional delays in obtaining your consent.

YOU MUST complete the following sections:

SECTION 1: GENERAL					
BUILDING CONSENT APPLICATION FORM: Completed and signed by the owner or by the agent on behalf of and with written authority from owner.				Yes	N/A
APPLICATION FEE: Applications will not be accepted without payment of the appropriate fee/deposit				Yes	N/A
PROOF OF OWNERSHIP: Rates invoice, Agreement for Sale and Purchase, Certificate of Title, copy of relevant portions of Lease, License to Occupy/Occupation Order from the Maori Land Court.(single copy)				Yes	N/A
SECTION 2: DOCUMENTATION					
All plans drawn clearly to a recognized metric scale e.g. 1:50, 1:100 etc (no pencil, red ink or free hand)				Yes	N/A
All drawings to be clearly titled with owners and designers name and address.				Yes	N/A
All drawings to be dated and uniquely numbered with details numbered and cross-referenced.				Yes	N/A
All drawings revised /amended to be dated and clearly identified on drawings.				Yes	N/A
All structural details including Engineering detail to be on the plans				Yes	N/A
Plain white paper				Yes	N/A
PLANS, SPECIFICATIONS, REPORTS, CALCULATIONS, PRODUCER STATEMENTS ETC					
Two sets of documents to be supplied				Yes	N/A
The following has been attached:					
Plans	Yes	N/A	Buildable truss layout	Yes	N/A
Job specific specifications	Yes	N/A	Bracing calculations and fixings	Yes	N/A
H1 calculations (specify method)	Yes	N/A	E2 Risk matrix for all elevations	Yes	N/A
Engineering calculations attached	Yes	N/A	List all alternative solutions	Yes	N/A
Engineering producer statements	Yes	N/A	Alternative solution calculations	Yes	N/A
Engineer signed drawings to confirm design	Yes	N/A	Alternative solution producer statements	Yes	N/A
Fire report (for domestic dwellings of four storeys or more; or buildings providing more than one household unit)	Yes	N/A	Access and Facilities as required by Schedule 2 Building Act 2004	Yes	N/A
			Lift design	Yes	N/A
SECTION 3: SITE PLAN (Recommended Scales 1:100 min (urban) 1:200, 1:200, 1:500 min (rural) COMPLETE FOR ALL NEW BUILDINGS, FOR EXISTING BUILDINGS WHERE THE FOOTPRINT OF THE BUILDING WILL CHANGE OR A NEW STOREY IS BEING ADDED					
Legal description	Yes	N/A	Service connections	Yes	N/A
North point	Yes	N/A	Public/private drainage easements	Yes	N/A
Road name and number	Yes	N/A	Septic tank and effluent field location	Yes	N/A
Distances to boundaries	Yes	N/A	New sanitary drainage	Yes	N/A
Site area and boundary dimensions	Yes	N/A	New stormwater drainage & or soak holes	Yes	N/A
Datum, spot heights, ground contours	Yes	N/A	Parking and vehicle access	Yes	N/A
Existing and proposed buildings	Yes	N/A	Site and hardstand drainage	Yes	N/A
Buildings to be removed/demolished	Yes	N/A	Alteration to land contour (cut and fill)	Yes	N/A
Finished floor levels	Yes	N/A	Retaining walls existing and proposed	Yes	N/A
Wind zone	Yes	N/A	Corrosion Zone	Yes	N/A

SECTION 4: FOUNDATION PLAN (Recommended Scales 1:100, 1:50, 1:20)					
COMPLETE FOR ALL NEW BUILDINGS, FOR EXISTING BUILDINGS WHERE THE FOOTPRINT OF THE BUILDING WILL CHANGE OR A NEW STOREY IS BEING ADDED					
TIMBER FLOOR	Yes	N/A	CONCRETE SLAB	Yes	N/A
Pile layout, footing sizes and type	Yes	N/A	Slab thickness and strength	Yes	N/A
Pile, bearer and joist treatment	Yes	N/A	Reinforcing mesh type	Yes	N/A
Bearer and joist grade/size/span	Yes	N/A	Footing location	Yes	N/A
Joist layout and lateral support (for each level)	Yes	N/A	Load bearing thickenings and pads	Yes	N/A
Bearer cantilever and point loads	Yes	N/A	Floor level changes	Yes	N/A
Subfloor access and base linings	Yes	N/A	Shrinkage control	Yes	N/A
Dimensions of foundations	Yes	N/A	Slab dimensions	Yes	N/A
Fixings for bracing elements	Yes	N/A	Slab height above ground	Yes	N/A
Floor heights	Yes	N/A	Rebates	Yes	N/A
Foundation bracing layout and calculations	Yes	N/A	Specific engineers design details	Yes	N/A
BLOCKWORK					
NZS 3604	Yes	N/A	Concrete strength	Yes	N/A
NZS 4229	Yes	N/A	Control joints shown and detailed	Yes	N/A
Specific Engineer design	Yes	N/A	Reinforcing type vert. & horiz. centres	Yes	N/A
SECTION 5: FLOOR PLAN (Recommended Scales 1:100, 1:50)					
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO THE EXISTING STRUCTURES					
Plan of all levels (new and altered)	Yes	N/A	Plumbing fixtures (incl. pipe sizes)	Yes	N/A
Floor areas (proposed and existing)	Yes	N/A	Designated fire walls	Yes	N/A
All demolition or structure to be removed	Yes	N/A	Designated exits and exit signs	Yes	N/A
Indicate use of all rooms	Yes	N/A	Emergency lighting positions	Yes	N/A
Framing layout fully dimensioned	Yes	N/A	Smoke detector positions	Yes	N/A
Window size and position	Yes	N/A	Decks, balconies and barriers	Yes	N/A
Lintel size and fixing types specific for location noted on plan	Yes	N/A	Stair, tread and riser dimensions	Yes	N/A
Beam sizes and fixings	Yes	N/A	Fire/sound proof rated wall detail	Yes	N/A
Ceiling access	Yes	N/A	Handrail height and position	Yes	N/A
			Skylight/ HWC location	Yes	N/A
SECTION 6: ELEVATIONS (Recommended Scales 1:100, 1:50)					
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO THE EXISTING STRUCTURES					
Elevation of each face	Yes	N/A	Cladding types identified	Yes	N/A
District plan daylight control planes	Yes	N/A	All doors and windows incl. opening sashes	Yes	N/A
E2 Risk Matrix for all elevations	Yes	N/A	Natural, existing and finished ground lines	Yes	N/A
Control joint positions (if required by cladding)	Yes	N/A	Sub floor ventilation	Yes	N/A
Roof pitch and material	Yes	N/A			
SECTION 7: CROSS-SECTIONS AND DETAILS (Recommended Scales 1:100, 1:50, 1:20)					
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO THE EXISTING STRUCTURES					
Cross-section supplied and scale shown	Yes	N/A	All details need to be cross-referenced	Yes	N/A
Finished ground levels to floor levels	Yes	N/A	Stud height dimensioned	Yes	N/A
Cladding clearances to ground level or paving	Yes	N/A	Identify timber treatment and gauge	Yes	N/A
Foundation details all reinforcing shown	Yes	N/A	Window/door head, sill and jamb flashings for all cladding types	Yes	N/A
Foundation footing depth and width	Yes	N/A	Deck to wall junction single & upper storey	Yes	N/A
Barriers providing safety from falling	Yes	N/A	Roof to wall junctions	Yes	N/A
Detail junctions between different claddings	Yes	N/A	Insulation materials used for ceilings, walls and floors	Yes	N/A
Membrane roof, deck and enclosed balcony detailing including drainage outlets and fall	Yes	N/A	Fire rating systems to walls closer than 1m to boundary & eaves closer than 650mm	Yes	N/A
Purlin gauge, size, spacing and fixings	Yes	N/A	Stud to top plate fixing specific for location	Yes	N/A
Ceiling construction	Yes	N/A	Bottom plate fixings	Yes	N/A
Roof cladding details e.g. ridge, eave etc	Yes	N/A	Wall /soffit junctions	Yes	N/A
Cavity batten type/treatment/size and centres	Yes	N/A			
Building wrap type	Yes	N/A			
SECTION 8: BRACING PLAN (Recommended Scales 1:100, 1:50)					
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO THE EXISTING STRUCTURES					
Bracing lines identified on plan	Yes	N/A	Bracing calculations provided	Yes	N/A
Location, type and number of bracing element clearly shown on floor plan	Yes	N/A	Specific engineers design calculations provided (if applicable)	Yes	N/A
Wall bracing fixings detailed correctly	Yes	N/A	Ceiling diaphragm sheet layout supplied	Yes	N/A
SECTION 9: ROOF FRAMING (Recommended Scales 1:100, 1:50)					
Buildable truss layout & producer statement	Yes	N/A	Roof space and plane bracing	Yes	N/A
Truss to top plate fixing specific for location	Yes	N/A	Ceiling batten type, sizing, spacing & grade	Yes	N/A
Purlin to truss fixing specific for location	Yes	N/A	Specific engineers design (other than truss)	Yes	N/A
Framed roof member sizes, spacings, treatment and grade	Yes	N/A	Internal gutter and overflow sized and detailed	Yes	N/A

SECTION 10: SERVICES PLUMBING AND DRAINAGE (Recommended Scales 1:100, 1:50)					
COMPLETE FOR PROJECTS WITH NEW INSTALLATION/ALTERATION OF PLUMBING/DRAINAGE SYSTEMS					
Plumbing layout to AS/NZS3500	Yes	N/A	Plumbing layout to NZBC G12AS/1	Yes	N/A
Drainage layout to AS/NZS3500	Yes	N/A	Drainage layout to NZBC G13AS/1	Yes	N/A
Waste pipe sizes and falls	Yes	N/A	Sewer and stormwater pipe sizes & falls	Yes	N/A
Isometric diagram for two storey or more	Yes	N/A	Council connection points	Yes	N/A
Down pipe sizes and area of roof collected	Yes	N/A	Septic tank and effluent field location	Yes	N/A
Water supply source e.g. council supply, water tank (including filtration), bore or spring.	Yes	N/A	EBOP resource consent for effluent disposal	Yes	N/A

SECTION 11: STRUCTURAL ENGINEERING (Recommended Scales 1:100, 1:50)					
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO THE EXISTING STRUCTURES					
ENGINEERED STRUCTURAL STEEL					
Portal to rafter / purlin details supplied	Yes	N/A	Slab-portal construction details supplied	Yes	N/A
Specific bracing requirements detailed	Yes	N/A	Steel connections	Yes	N/A
ENGINEERED MASONRY/RETAINING WALLS/STACK BONDING					
All items are covered by engineers design and producer statement (PS1)	Yes	N/A	Cantilevered footing designed by engineer with (PS1)	Yes	N/A
Grade of masonry & inspections by Engineer	Yes	N/A	Reinforcing type, centres and size	Yes	N/A
Grout strength	Yes	N/A	Construction joints specified and detailed	Yes	N/A
ENGINEERED TIMBER					
All items are covered by engineers design and producer statement	Yes	N/A	Slab-portal construction details supplied incl. fixings	Yes	N/A
Portal to rafter / purlin details included	Yes	N/A	Specific bracing details detailed	Yes	N/A

SECTION 12: RELOCATABLE BUILDINGS					
PLEASE COMPLETE THE FOLLOWING SECTIONS					
SECTION 1: GENERAL	Yes	N/A	SECTION 6: ELEVATIONS (photographs can be used if building on a rural site)	Yes	N/A
SECTION 2: DOCUMENTATION	Yes	N/A			
SECTION 3: SITE PLAN	Yes	N/A	SECTION 10: SERVICES- PLUMBING & DRAINAGE	Yes	N/A
SECTION 4: FOUNDATION PLAN	Yes	N/A			
SECTION 5: FLOOR PLAN	Yes	N/A	SECTION 13: SPECIFICATION	Yes	N/A
NOTE: If new building work outside of the relocatable footprint is also being done, complete the relevant additional sections for this work.					

SECTION 13: SWIMMING POOLS					
PLEASE COMPLETE THE FOLLOWING SECTIONS					
SECTION 1: GENERAL	Yes	N/A	SECTION 2: DOCUMENTATION	Yes	N/A
SECTION 3: SITE PLAN - also to include the location of windows and doors opening into the pool area with self closing devices if using the house as a boundary.				Yes	N/A
POOL CONSTRUCTION details and specifications including if applicable structural calculations and drawings with a producer statement from engineer.				Yes	N/A
FENCING DETAILS – showing a) types of materials to be used, b) spacings and clearances of components, c) height of proposed fence, d) details of gate and latching.				Yes	N/A
DECKS -construction details of adjoining decks if over 1.0m with provisions for safety from falling etc.				Yes	N/A
CROSS-SECTION through pool if being installed on sloping site.				Yes	N/A
ELEVATIONS of pool if being installed on a sloping site.				Yes	N/A
Backwash/water disposal method and backflow prevention type and location identified				Yes	N/A

SECTION 14: SPECIFICATION					
COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO THE EXISTING STRUCTURES					
Are required to be project specific	Yes	N/A	Details of all materials required for project	Yes	N/A
To be divided into relevant sections	Yes	N/A	List all Alternative Solutions	Yes	N/A
Provided with section headings	Yes	N/A	Alternative Solutions calculations/producer statements	Yes	N/A
Specific design calculations & details	Yes	N/A			
Structural calculations & producer statements	Yes	N/A	Lift design and producer statements	Yes	N/A
H1 calculations (specifying method used)	Yes	N/A			

Checklist for ACCEPTANCE/REJECTION for all BUILDING CONSENT APPLICATION (Office use only)

Building Consent No _____ PIN No _____

Address _____

Project _____

Is it clear what has been applied for? e.g. PIM only

Yes No

Details of project location

Yes No

Legal description

Yes No

Ownership details provided

Yes No

Address for service

Yes No

Owner and agent (if applicable) details completed in full.

Yes No N/A

Written authority provided (if applicable)

Yes No N/A

Clear and concise explanation of proposed work

Yes No

Details of fee payer

Yes No

Building Code clauses completed (sheet 4 of application)

Yes No

Applicant checklist completed correctly and relevant to project

Yes No

Information supplied on plans

Yes No

Two copies of all documents provided

Yes No

Correct lodgement fee paid

Yes No

Application signed and dated

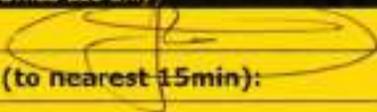
Yes No

Application complete

Yes No

This application is incomplete and has been returned for the following reason(s):

Accepted by (Print name) _____ Date _____

Building Fees (Office use only)		Amount	
Application Fee		\$	
Project Information Memorandum		\$	
Plan checking deposit		\$	
BCA Accreditation and Assessment Levy		\$ 25.00	
Application for Code Compliance Certificate		\$	
Inspection	1	\$	
DBH Levy		\$	
BRANZ Levy		\$	
Other Fees (Office use only)		Amount	
Title Endorsements		\$	
Actual Processing charges based on time taken calculated when all processing completed		\$	
		\$	
	Total	\$	
Payment Details (Office use only)	Date	Receipt Details	Amount
LO/BCON:			\$
Balance Due:			\$
Building Consent Can be Issued (Office use only)			
Building Officer Signature:		Date:	15/07/10
*Time taken to process consent (to nearest 15min):			1/2 hour.

01 July 2009 To 30 June 2010

Rates Assessment

DUSKE, DAVID BRUCE
 DUSKE, CAROL ANN
 12 POHUTUKAWA DRIVE
 RD 1
 KATIKATI 3177

Valuation No: 06814 007 91
 Location: 12 POHUTUKAWA DRIVE
 Land Area (ha): 0.088Ha
 Legal Description: LOT 22 DPS 27597 BLK II KATIKATI SD

Land Value \$275,000.00 Capital Value \$485,000.00 Special Land Value \$0.00

Summary of District Rates and Charges

Functions Funded	Factor
General and Community Board Rate	
Democracy, Community Boards, Customer Services, Libraries, Reserves, Planning	Land Value, Capital Value
Uniform Annual General Charge	
Democracy, Community Boards, Customer Services, Libraries, Reserves, Planning	Separate Rating Unit
District Targeted Charges	
Library and Environmental Activities	Separate Rating Unit
Targeted Rates and Charges	
Roading, Rural Works, Beach Protection, Stormwater, Water, Wilson Rd, Subdivision	Land Value, Separate Rating Unit
Community and Recreational Activities	
Libraries, Swimming Pools, Halls, Promotions, Development, Solid Waste, Green Waste, Drainage	Separate Rating Unit & Location Capital Value Area
Targeted Charges for Services	
Water	Number of Connections
Sewerage	Availability of Service

A 10% penalty will be applied to any balance outstanding on the dates indicated in the summary. A further 10% penalty will be applied in January and July 2010 to any balance outstanding of a prior year. A 3% discount is available if total annual rates plus any b/w/d balance is paid by the date as specified on the invoice.

Inspection of Rating Information

You are able to inspect the information your rates are based on and the state of your rates account at Council's Offices. You have the right to object to any information in these records.

The name and address data shown on this assessment will be made available to the general public. Please notify Council in writing if you **DO NOT** wish to have your details reflected on Council's rating database.

Your Annual Rates

Description of Rate	Value of Factor	Rate	Amount
DISTRICT LIBRARY CHARGE	1	41.000000	41.00
KATIKATI RESOURCE CENTRE W/B	1	1.400000	1.40
COMMUNITY BOARD RATE WAIHI BEACH	1	42.900000	42.90
WILSON ROAD UPGRADE	1	16.000000	16.00
ROADING RATE WAIHI BEACH RES	275,000	0.001130	310.75
W/B COASTAL PROTECTION CHARGE	1	28.000000	28.00
SEWERAGE AVAIL WAIHI BEACH	1	590.000000	590.00
GENERAL RATE W/B RESIDENTIAL	485,000	0.000483	234.26
ANNUAL GENERAL CHG WAIHI BEACH	1	161.000000	161.00
ROADING CHARGE	1	75.000000	75.00
SOLID WASTE WAIHI BEACH	1	43.000000	43.00
ENVIRONMENTAL PROTECTION W/B	1	63.100000	63.10
WAIHI BEACH STORMWATER CHARGE	1	200.000000	200.00
SEWERAGE CHARGE WAIHI BEACH	1	209.000000	209.00
UNMETERED WATER CHARGE WESTERN	1	317.000000	317.00

Total for Western Bay of Plenty District Council (excl GST): **2,332.41**
 GST: **291.58**
 Total for Western Bay of Plenty District Council: **\$2,623.99**

SEE COMBINED TAX INVOICE FOR TOTAL NOW DUE

Summary of Instalments and Penalties

	Due Date	Penalty Date	Discount Date
1st Instalment	18-Sep-09	23-Oct-09	25-Sep-09
2nd Instalment	26-Feb-10	26-Mar-10	

Enquiries

Postal

Western Bay of Plenty District Council
Private Bag 12803
Tauranga Mail Centre 3143

Telephone

Customer Call Centre
07 571 8008
0800 WBOPOC
0800 926 732
(Waihi Beach Residents Only)

Customer Services

Barkes Corner, Tauranga
Katikati
Te Puke
Waihi Beach
Omokoroa Beach

Office Hours

Barkes Corner	8.00am to 5.00pm	
Katikati / Te Puke	8.00am to 5.00pm	
Omokoroa Beach	9.00am to 5.00pm	
Waihi Beach	8.30am to 5.00pm	Tuesdays and Fridays

Payment Options

Payments can be made by either telebanking, automatic payments, direct debit, cash, cheque or eftpos. Should you wish to know more about any of these methods of payment, please call our Rates Department.

Remission and Postponement Policies

Early Payment of Rates

Where prior year rates and current year rates are paid on or before the discount date reflected on the Council's rate invoice, you are entitled to a discount.

In certain circumstances it may be possible to pay future years rates.

Rates Remission on Land Covenanted for the Protection of Natural Environments

In certain circumstances rate payers may be eligible for a rates remission where they have a QEII Trust Covenant over their property or a protection lot defined by the subdivision rules of Council's district plan.

Rates Remission and Postponement on Maori Freehold Land

Remission or Postponement of rates may occur:

- Where blocks are small unproductive and unoccupied
- On multiple owned Maori land where there are multiple dwellings
- Where blocks are situated on multiple owned Maori land and meet one or more criteria outlined in Council's long term community plan

Rates Postponement Policy

Rating units used solely for residential purposes maybe eligible for rates postponement where ratepayers experience extreme financial hardship.

Rates Postponement Conversion Policy

In certain circumstances ratepayers maybe eligible to postpone current rates until a future date provided the rating unit is used by the ratepayer for their personal residence.

Remission of Rates Penalties

A remission maybe considered:

- In any one rating year due to significant family disruption
- Excellent payment history (no penalties within the previous five years)
- On the basis of good economics
- Proof can be provided that late payment has resulted from matters outside their control

Rates Remission for Residential Land in Commercial, Industrial or Rural Areas or Rural use Land within a Residential Zone

Those properties used for residential purposes but zoned commercial / industrial or rural; or within an area zoned residential in the case of properties used for rural purposes.

Rates Remission of Uniform Charges

Rating units must be contiguous, used as a single entity and owned by the same person or persons.

Code Compliance Certificate Assessment Form

Building Consent No: 81255

Date: 1.9.10

Building Control Official: Craig Todd

1.	Producer Statements requested.	Received	Required	N/A
2.	Application form for C.C.C.	Received	Required	N/A
3.	"As Built" drainage plan.	Received	Required	N/A
4.	Amended Plans.	Received	Required	N/A
5.	Electrical Certificate.	Received	Required	N/A
6.	Gas Certificate.	Received	Required	N/A
7.	Compliance Schedule.	Received	Required	N/A
8.	Certificate of Acceptance.	Received	Required	N/A
9.	Application for Certificate for Public Use.	Received	Required	N/A
10.	Notice to rectify	Received	Required	N/A
	If yes, has this been resolved		Yes	No
12.	All outstanding work complete		Yes	No

13.	Number of inspection types carried out:	1
	Number of inspection types paid for:	1
	Number of inspection types to be charged:	—

Comments/Notes:
 Refer were all as per request at/in consent

OK to issue Code Compliance Certificate: YES NO

Approved by (signature): 

BCO's Full Name (print): Craig Todd Date: 1.9.10



Western Bay of Plenty
District Council

Generon Road
Private Bag 12803
Tauranga 3143
Phone: 07 571 8008
Fax: 07 577 9620
customercare@westernbay.govt.nz
www.westernbay.govt.nz

Application for Code Compliance Certificate

Section 92, Building Act 2004

The Building Consent

Building Consent Number	81255
Issued By	Western Bay of Plenty District Council

*The Owner

Name of owner:	David Bruce & Carol Ann Duske		
† Contact person:	Bruce Duske		
Mailing address:	12 Pohutukawa Dr		Post Code: 3177
	Athenree		
Street address/registered office:	as above		
Phone Number:	Landline: 07 8634576	Mobile: 0274875819	
	Daytime:	After hours:	
Facsimile Number:	Email address: b.duske@xtra.co.nz	Website: (if applicable)	

The following evidence of ownership is attached to this application: (Copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building)

‡The Agent

‡ Name of Agent: (only required if application is being made on behalf of the owner)			
§ Contact person:			
Mailing address:			Post Code:
Street address/registered office:			
Phone Number:	Landline:	Mobile:	
	Daytime:	After hours:	
Facsimile Number:	Email address:	Website: (if applicable)	
Relationship to Owner: (state details of the authorisation from the owner to make application on the owner's behalf)			

First Point of Contact for Communications with the Council/Building Consent Authority: (State full name, mailing address, phone number(s), facsimile number(s) and email address(es):

Contact person:			
Mailing address:			Post Code:
Street address/registered office:			

Phone Number:		Landline:	Mobile:
		Daytime:	After hours:
Facsimile Number:	Email address:		Website: (if applicable)

Application

All building work to be carried out under the above building consent was completed on:

The personnel who carried out the building work are as follows:

Name	Address	Phone Number	Registration Number (where relevant)
Glen Walker	605D Gt South Rd. Manukau.	09 2638838	19952

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

I request that you issue a code compliance certificate for this work under Section 95 of the Building Act 2004.

The code compliance certificate should be sent to: (state which address, and whether owner or agent)

David Duke
 Signature of ¹(owner/agent in behalf of and with the authority of the owner)
 David Duke
 Name of person signing
 01/09/2010
 Date:

Attachments

The following documents are attached to this application:

¹Certificates from the personnel who carried out the work

²Certificates that relate to the energy work

³Evidence that specified systems are capable of performing to the performance standards set out in the building consent

¹Delete this section if details have not changed from the building consent.

²Delete if owner is an individual.

³Delete this section if the application is not being made on behalf of the owner.

⁴Delete if the agent is an individual.

⁵Contact details must be in New Zealand.

⁶Delete items not applicable.



Western Bay of Plenty
District Council

Cameron Road
Private Bag 12603
Tauranga 3143
Phone: 07 571 8008
Fax: 07 577 9820
customercare@westembay.govt.nz
www.westembay.govt.nz

Application for Code Compliance Certificate

Section 92, Building Act 2004

The Building Consent	
Building Consent Number	81255
Issued By	Western Bay of Plenty District Council

*The Owner		
Name of owner:		
† Contact person:		
Mailing address:		
	Post Code:	
Street address/registered office:		
Phone Number:	Landline:	Mobile:
	Daytime:	After hours:
Facsimile Number:	Email address:	Website: (if applicable)
The following evidence of ownership is attached to this application: (Copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building).		

‡The Agent		
‡ Name of Agent: (only required if application is being made on behalf of the owner)		
§ Contact person:		
Mailing address:		
	Post Code:	
Street address/registered office:		
Phone Number:	Landline:	Mobile:
	Daytime:	After hours:
Facsimile Number:	Email address:	Website: (if applicable)
Relationship to Owner: (state details of the authorisation from the owner to make application on the owner's behalf)		

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Contact person:	
Mailing address:	
	Post Code:
Street address/registered office:	

Phone Number:		Landline:	Mobile:
		Daytime:	After hours:
Facsimile Number:	Email address:	Website: (if applicable)	

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The code compliance certificate should be sent to: (state which address, and whether owner or agent)	

Signature of ¹(owner/agent on behalf of and with the authority of the owner)

Name of person signing

Date:

Attachments

The following documents are attached to this application:

- ²Certificates from the personnel who carried out the work
- ³Certificates that relate to the energy work
- ⁴Evidence that specified systems are capable of performing to the performance standards set out in the building consent

¹Delete this section if details have not changed from the building consent.
²Delete if owner is an individual.
³Delete this section if the application is not being made on behalf of the owner.
⁴Delete if the agent is an individual.
⁵Contact details must be in New Zealand.
⁶Delete items not applicable.

Arrived 9:15 left 9:30 1/4



Western Bay of Plenty
District Council

Craig

SITE NOTICE

Consent No: **81255** Booking ID: **79966** Date Printed: **1 September 2010**
 Owner: **DUSKE, DAVID BRUCE**
 Site Address: **12 POHUTUKAWA DRIVE**
 Work Type: **INSTALLATION OF SOLAR HOT WATER HEATING SYSTEM**

Inspection Type: **Final Inspection** Inspection Status: **Pass**
 Inspected By: **Craig Dodd** Inspection Date: **1 September 2010**

Inspector Comments/Instructions:

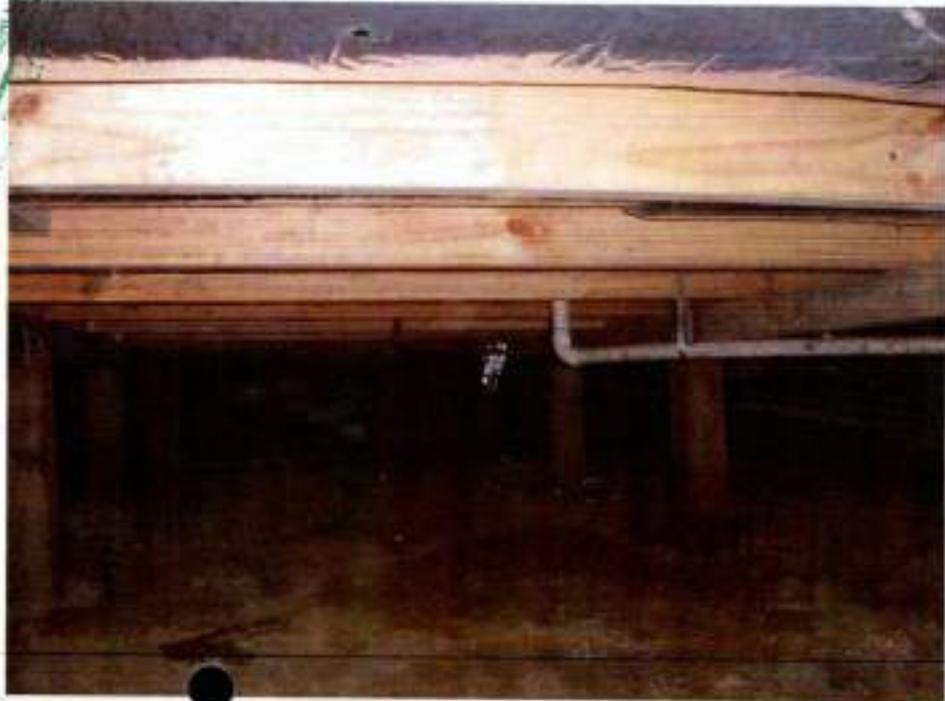
Solar Panel installation to HWC

- Passed: Other (specify) P.S. from SUNZ
- Passed: Hot water cylinder - check size and location
- Passed: Application for Code Compliance Certificate
- Passed: All work appears to be completed as per approved plans.

coc checklist please.

[Handwritten signature]

KEEP ON SITE FOR RECHECK



APPROVED
#81255
Building Department
City of [illegible]



APPROVED
81255
Building consent issued with number
Western Bay of Plenty District Co.



Processing Progress Report

Consent No: 81255

Time	OnHold Date	OffHold Date	Initials	Notes
30			JCS	
30 minutes				

Processing Detail Report

Consent No: 81255

Elements/Detail	Status	Notes
Checklist: Solar Panels	Pass	
Structural support limitations	Pass	
Buildings meet structural requirements of anyone of the following: 1. NZS 3604:1990 or 1999	Pass	NZS 3604
2. NZS 4203	N/A	
3. AS/NZS 1170: Parts 0, 1, 2, 3 and NZS 1170: Part 5.	N/A	
and only when all of the following requirements are met: a) combined weight is no greater than 22kg/sq.m (based on gross area collector) and	Pass	
b) hot water storage tank is not installed on or above roof and	Pass	
c) hot water storage tank is located within a roof has a max. size of i) 200 litres installed to NZS 3604: 1999 Section 13 or	N/A	
ii) 450 litres installed to AS/NZS 3500 Part 4: 2003, Section 5, and	N/A	
d) the roof pitch is no steeper than 45 degrees, and	Pass	
e) wind zone does not exceed 50 m/s (VH wind zone to NZS 3604: 1999) and	Pass	
f) solar collector has an area no greater than 4 sq.m., and	Pass	
g) design snow load is less than 0.5 kPa as determined by NZS 3604:1999 Section 15 and	Pass	
h) either i) collectors installed parallel to the roof cladding, or	N/A	
ii) collectors installed to different pitch to the pitch of the roof: -1) pitch of collector not steeper than 45 degrees, and 2) wind zone does not exceed 44m/s (H wind zone to NZS 3604:1999), and 3) the collector faces in the same direction as the sectio	N/A	
Solar water heater requirements	Pass	
1. Solar water heater and controller are an approved product	Pass	AS/NZS 2712: 2007
2. System Sizing (50 litres per sq.m.)	Pass	G12/AS2, clause 3.3.1
3. Protection from frosts	Pass	G12/AS2 Clause 3.6.1 and fig. 1
Location	Pass	
1. Location from edge of gables	Pass	AS/AS2 Clause 4.1 and fig. 2
2. Orientation to north	Pass	G12/AS2 Clause 4.2.1 and fig. 2
3. Inclination angle	Pass	

Elements/Detail	Status	Notes
4. Wetback water heater	N/A	
2.Complies with G12/AS2 clause 5.1 and G12/AS1 fig. 5.	N/A	
5. Collector only installation to existing HWC capacity	Pass	250 Litres
6. Tempering valve	Pass	New installation
Support for solar water heaters	Pass	
1. Direct fix panels parallel to roof support details	Pass	G12/AS2, clause 6.3, figs. 10 & 11 or figs 12 and 13.
2. Elevated panels parallel to the roof collector support rails	N/A	
3i) Collector support rails across slope of roof	N/A	
3ii) Collector support rails up slope of roof	N/A	
4. Mounting collectors at a different pitch to the roof cladding	N/A	
5. Weathertightness/penetrations	Pass	G12/AS2 clause 5.2, figs 5, 6, and table 4 - deklite
The installer	Pass	
1. Name of installer	Pass	SUNZ
2. SIA Accredited installer	Pass	
3. WBOPDC approved p/s author	N/A	
4. Application for WBOPDC approved producer statement author sent	N/A	
5.Producer statement acknowledgement form received and attached to site copy	N/A	
6.Producer statement acknowledgement form sent	Pass	

SUNZ LTD

Model Producer Statement PS3
Installation of Solar Water Heating System.

Council:.....

Building Consent No:.....

Producer Statement Issued By:..... Sunz Ltd.
(Suitably qualified Solar Heating system installer)

Address Of Installer:..... 6050 Great South Rd, Manukau.

Telephone Number for Installer:..... 09 263-9838

Product and Model Number Installed:..... S250 Premier Solar System.

Supplier of Product:..... Sunz Ltd.

Registered Plumber(if applicable):..... Glenn Walker Registration No:..... 15952

Registered Electrician(if applicable):..... \ Registration No:..... \

Address of Property on which installed:..... 12 Pohutukawa Drive, Athenree 3177

Location of Installation:..... Panel on North Facing Roof, Controls in Cyl. Cupboard

Owner of Property on which installed:..... Bruce Duske

The system has been installed such that the requirements of the New Zealand Building Code have been met.
Plumbing work has been installed to meet the requirements of standard AS/NZ3500.4.

The Solar Water Heating System described above has been installed on a dwelling on the named property according to the Code of Practice for Manufacture and installation of Solar Water Heating Systems in New Zealand and the requirements of the building consent.

The system has been located as shown on the drawings provided with the Building Consent application.

The installation has been undertaken in terms of manuals and instructions from the Product Supplier who is a Solar Industries Association Accredited Supplier.

I certify that I have been appropriately trained in the installation of the named Product by the Product Supplier and operate under the Suppliers accreditation.

Installer Signature:..... [Signature] Date:..... 06/08/10

Advice on Time Limits to Start and Complete Your Building Work

Commencement of Work

Under Section 52 of the Building Act 2004, a building consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent.

Completion of Work

All building work to which this building consent relates is to be completed within two years of the approval date of this building consent.

If the building work is likely to extend beyond two years then Council must be advised in writing with a programme of the work outstanding and an estimated completion date. If Council can not extend this period then a new building consent will need to be applied for to complete the work. There is a lodgement fee to pay at the time of applying for an extension of time.

Building Consent – General Information

Owner:

 12~~1~~ Duske.

**Consent
No.**

81255

Address:

12 Pohutakawa dr.

Reg Admin check for conditions of consent over leaf

1. This building consent has been issued on the basis of the information supplied with the application and no pre consent site inspection has been made.
2. There are no specific items to be listed for this Building Consent.
3. The solid fuel heater is to be installed strictly in accordance with the manufacturers instructions. Heater and hearth to be secured to the floor (NZ Building Code Sections B1 and C1).
4. This consent does not give approval for the building to be occupied as a dwelling (NZ Building Code Section A1).
5. Septic tanks and effluent disposal for building projects must comply with Environment BOP on-site Effluent Treatment Plan. Building owners have an obligation to ensure that the septic tank and effluent disposal complies with the Plan. If a system is installed that does not comply with the Plan then the owner may be liable for the non compliance in the future. If in doubt ask Environment BOP to check the proposal for you.
6. A Compliance Schedule is required for this building. A provisional Compliance Schedule will be issued with the Building Consent. The actual Compliance Schedule and Building Statement of Fitness will be issued at the same time as the Code Compliance Certificate. The building should not be occupied until the Code Compliance Certificate is issued or the Building Inspector otherwise agrees. Provide a copy of the Energy Work Certificate to the Council when the work is completed.
7. The Building Code does not allow excavations for buildings to effect adjacent buildings or property. Where excavations are close to other buildings, or other property, then excavations must remain stable under all conditions. Specifically designed retaining walls may be required to stabilise cut slopes and the edge of filled areas. (NZ Building Code Section B1.)
8. This Building Consent has been issued subject to Section 37 of the Building Act 2004. This means that you have a building consent but you **may not** commence work until the required approvals under the Resource Management Act (eg resource consent) have been obtained.
9. The Building Code (C/AS1) and NZS 4512 now require that fire alarm systems be certified by an accredited inspection body. Currently accredited are:

Fire Protection Inspection Services Ltd and Building and Fire Safety Ltd.

For an up-to-date list, visit www.ianz.govt.nz, click on 'directory' then search for 'NZS4512'

10. A building consent does not address any issues in relation to the Smoke Free Environments Act 1990. If this legislation applies or is likely to apply to your premises, you should contact the Ministry of Health to have your plans assessed for compliance with the Act.

Conditions of Consent *(add prior to general information 1-13)*

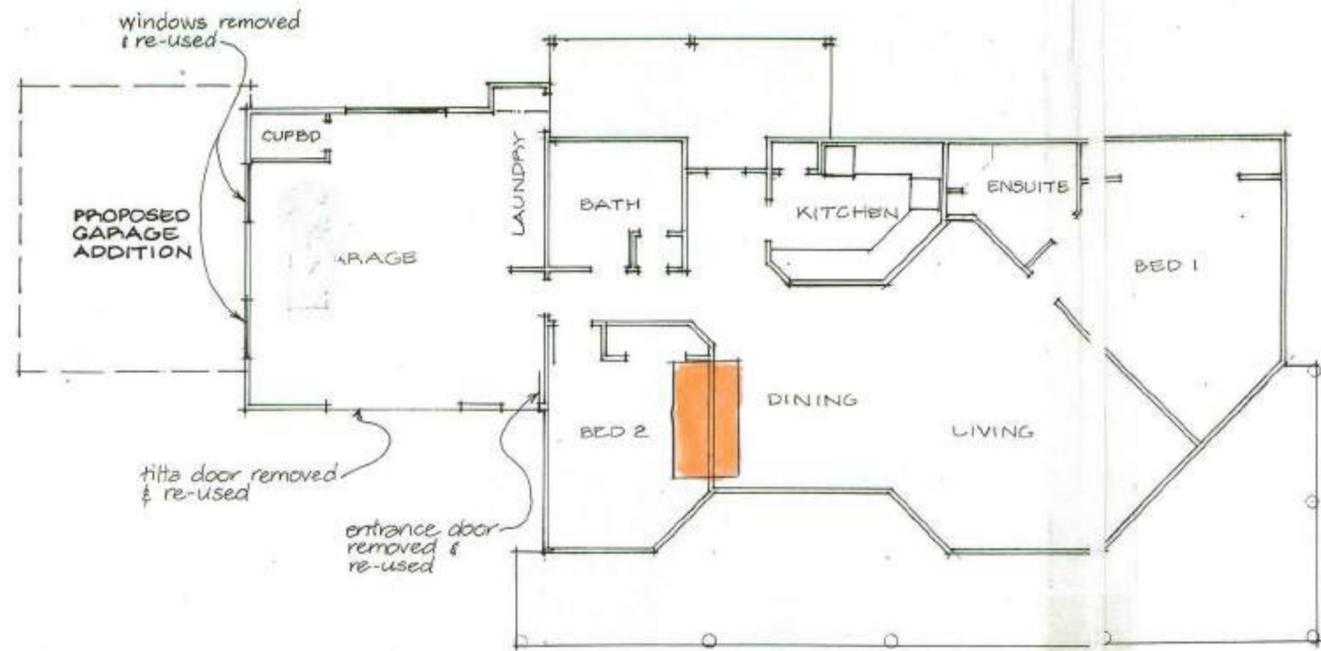
- 1. Section 67(2) – Waviers and modifications** *(specify)*

- 2. Section 73(1) – Building consent granted under Section 72** *(specify)*

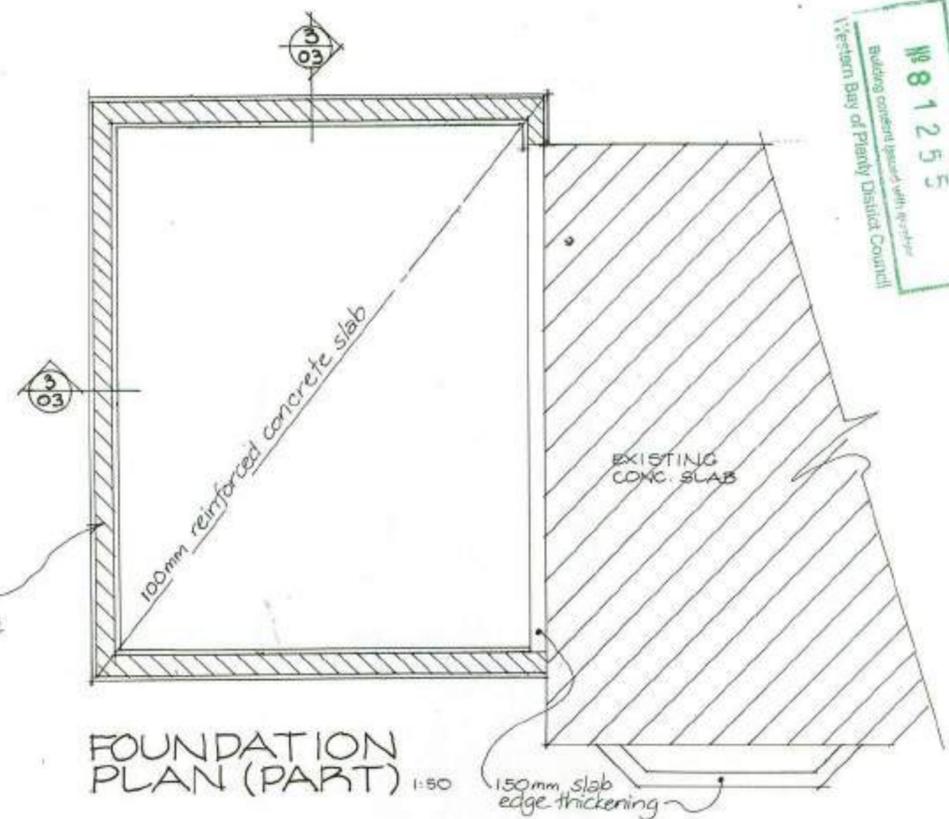
- 3. Section 75 – Building across lots** *(specify)*

- 4. Section 90(1) – Condition to inspect** *(specify)*

- 5. Section 113 (2) – Specified intended life** *(specify)*

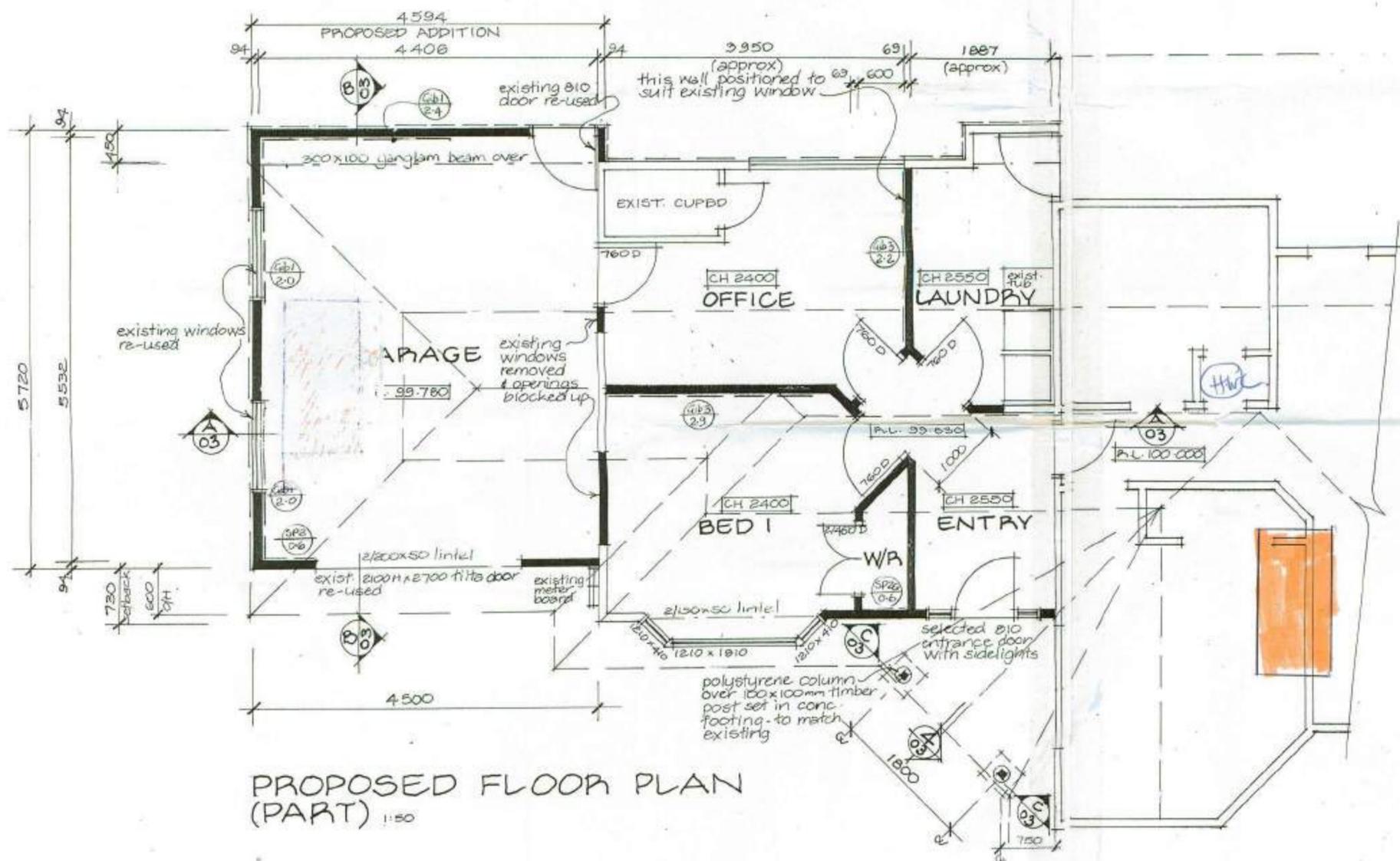


EXISTING FLOOR PLAN 1:100

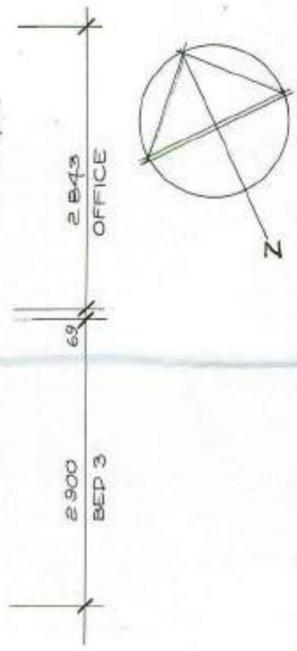


FOUNDATION PLAN (PART) 1:50

APPROVED
 No 8 1 2 5 5
 Building consent issued with condition
 Western Bay of Plenty District Council



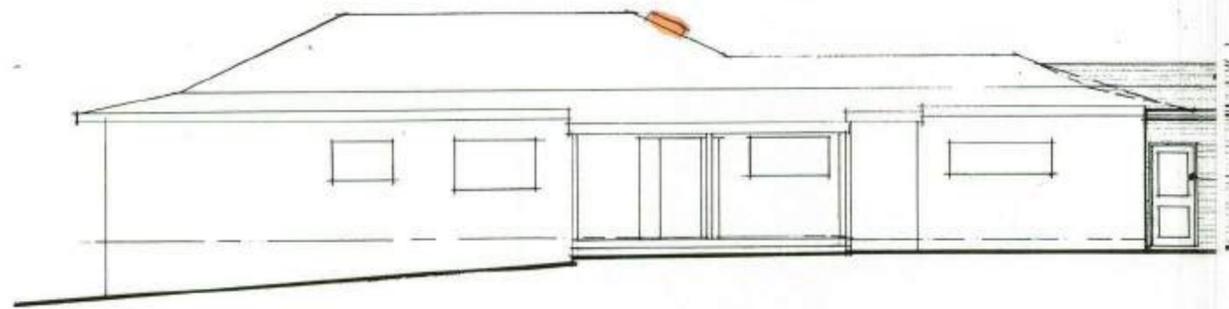
PROPOSED FLOOR PLAN (PART) 1:50



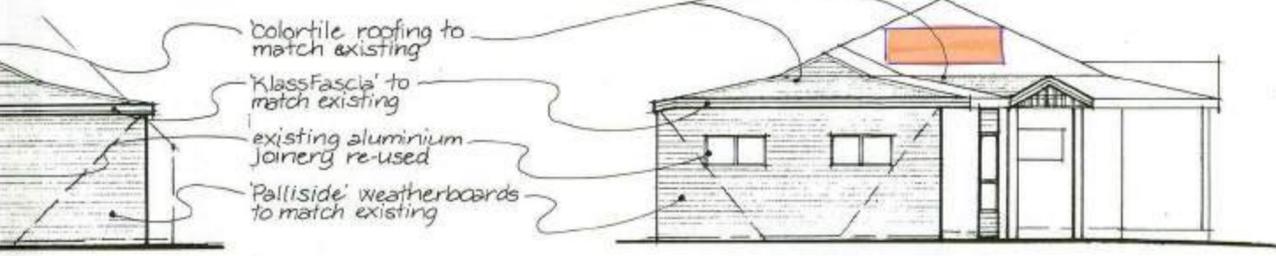
(Lib 2.4) denotes bracing elements

NOTES:
 - contractor shall check all dimensions on site before commencement of work
 - all materials & fixings shall comply with NZS3604 & 1991 Building Act

AMENDMENTS:		
PROPOSED ADDITION TO EXISTING RESIDENCE for MR B & MRS C DUSKE at 12 POHUTUKAWA DRIVE ATHENREE		
PLANS		
SCALE: AS SHOWN	DRAWN: STAN HAI NZCD (arch)	DRWG. NO: 02
DATE: APRIL 2000		of 3



NORTH EAST ELEVATION
1:100



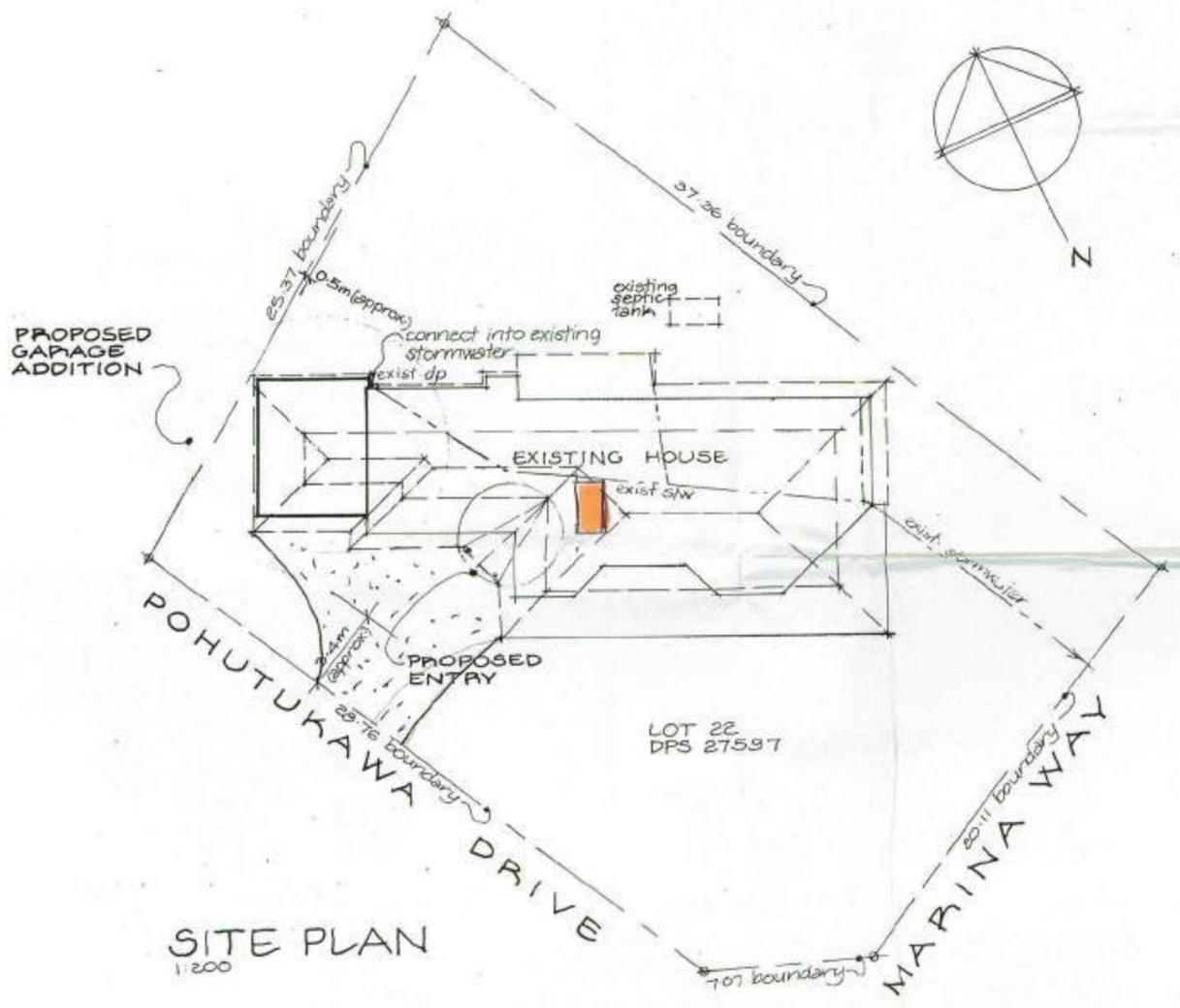
NORTH WEST ELEVATION
1:100

- Colortile roofing to match existing
- KlassFascia to match existing
- existing aluminium joinery re-used
- Pallside weatherboards to match existing



SOUTH WEST ELEVATION
1:100

- Colortile roofing to match existing
- Pallside weatherboards to match existing
- existing tilta door re-used
- new aluminium joinery to match existing



SITE PLAN
1:200

SPECIFICATION

- FOUNDATIONS:** 100mm thick concrete slab with 200mm reinforced concrete blockwork footing on 300x100 PSD. 400mm x 600mm deep concrete post footing
- DAMPCOURSE:** 2 ply DPC under all plates
- FRAMING:** all timber to be boric treated machine gauged Pinus Prodiata. 100x100 H4 posts
- WALL BRACES:** diagonal steel strap brace & gib board. 7mm plybrace sheets
- ROOF FRAMING:** trusses to match existing pitch
- ROOFING:** 'colortile' metal tiles to match existing on tile battens & underlay
- ROOF BRACING:** diagonal steel strap
- SPROUTING:** 'KlassFascia' colorsteel concealed sprouting system to match existing
- DOORS:** existing tilta & entrance doors re-used. Selected entrance door with 2 sidelights. Selected hollow core interior doors.
- WINDOWS:** existing aluminium re-used & new aluminium to match existing
- EXTERIOR SHEATHING:** Manley 'Pallside' weatherboards to match existing. 45mm Hardiflex soffit lining
- INTERIOR LINING:** 9.5mm gib board to walls & ceiling
- INSULATION:** fibreglass Batts or similar approved to ceilings & external walls

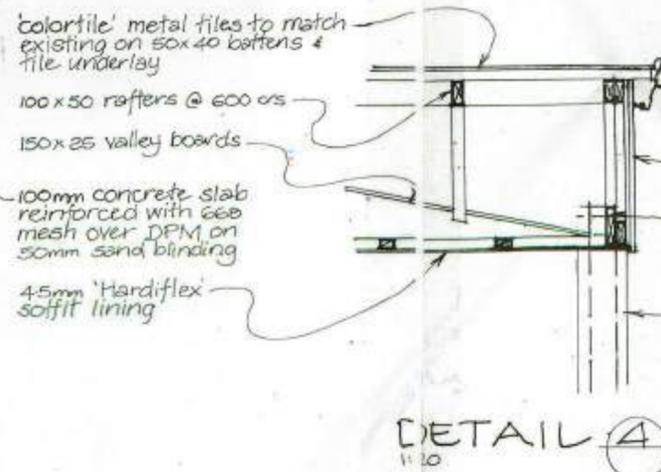
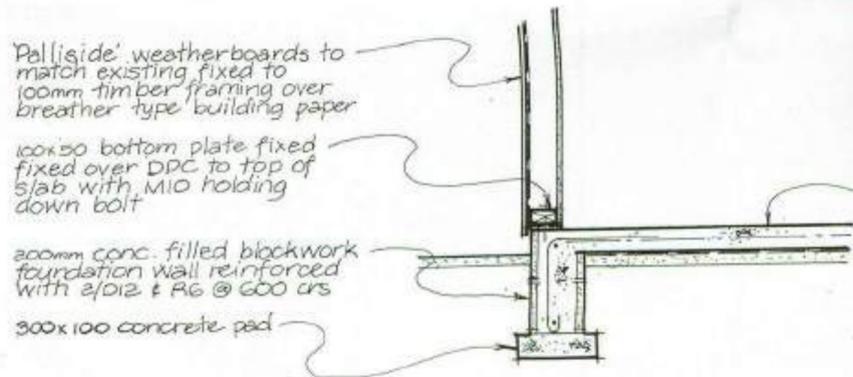
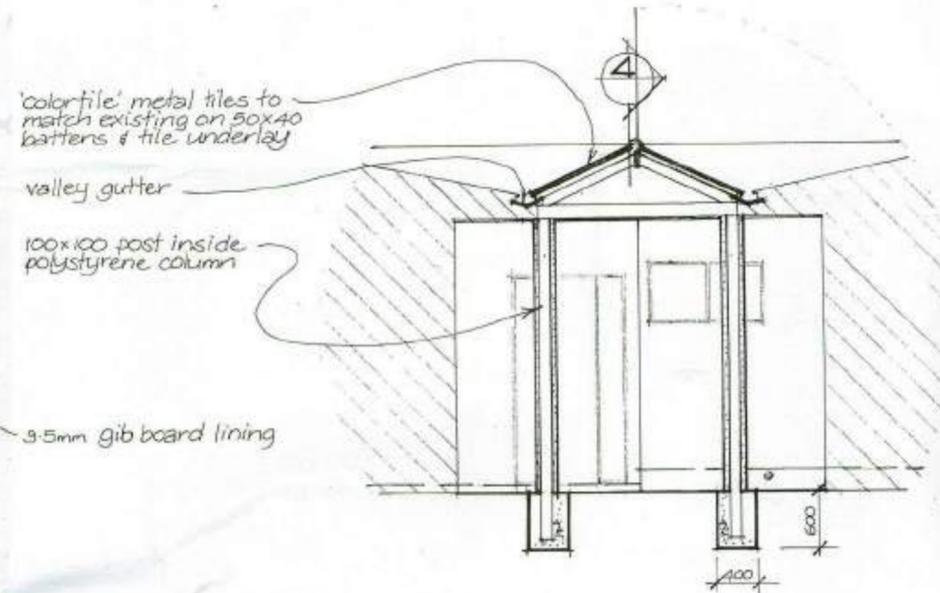
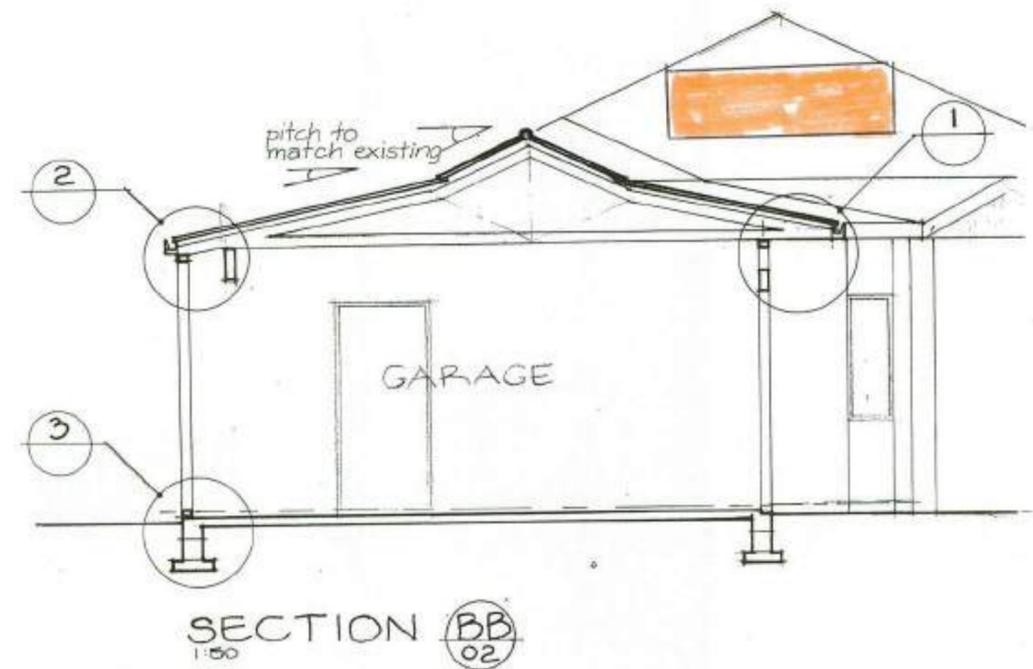
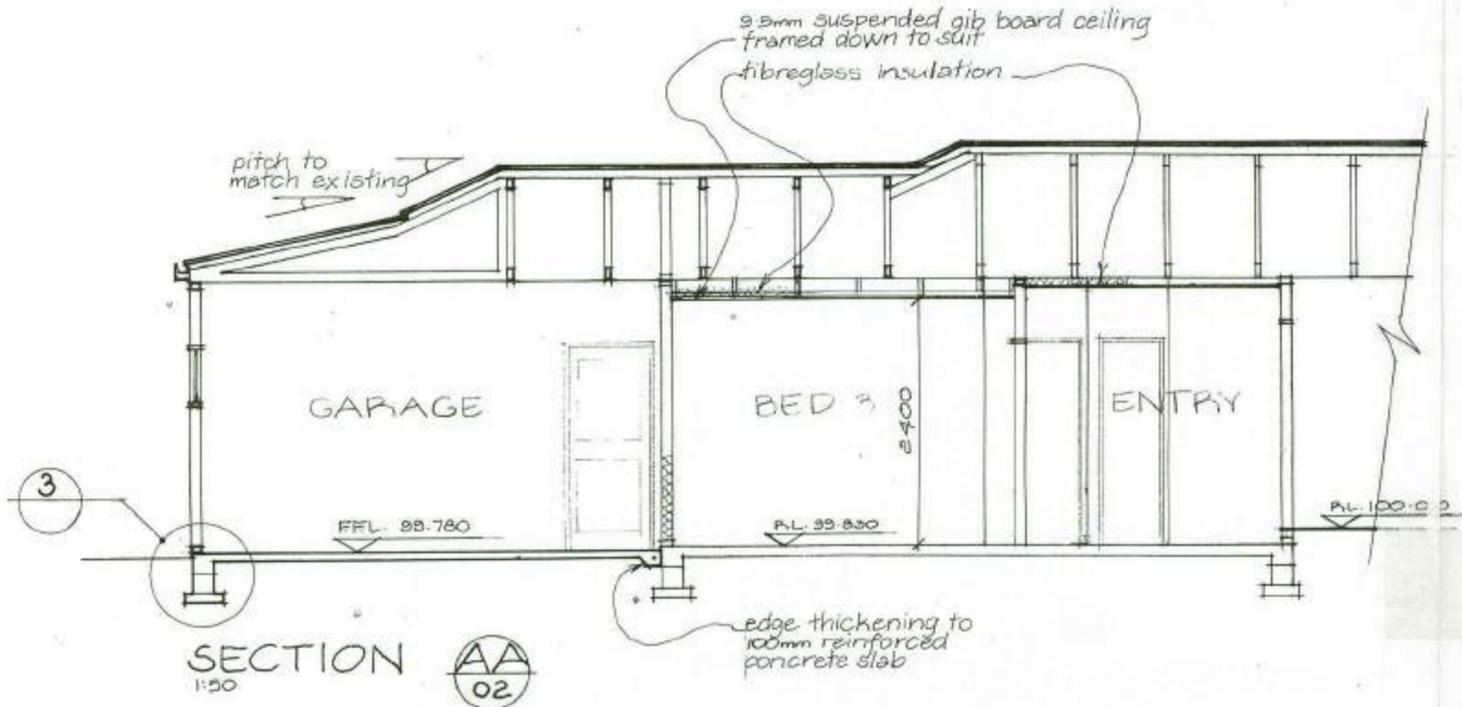
AMENDMENTS:
A: 16/4/00 - connection to existing stormwater added

PROPOSED ADDITION TO EXISTING RESIDENCE FOR MR B & MRS C DUSKE at 12 POHUTUKAWA DRIVE ATHENREE

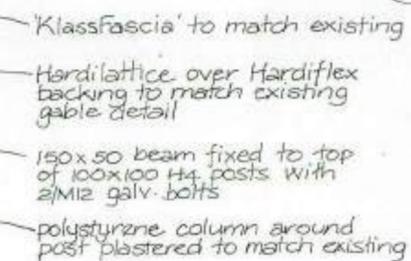
NOTES:
- contractor shall check all dimensions on site before commencement of work
- all materials & fixings shall comply with NZS 3604 & 1991 Building Act

ELEVATIONS SITE PLAN

SCALE: AS SHOWN	DRAWN: STANHAI NZCD(arch)	DRWG NO: 01A
DATE: APRIL 2000	of 3	



SECTION CC 1:50



NOTES:

- contractor shall check all dimensions on site before commencement of work
- all materials & fixings shall comply with NZS3604 & 1991 Building Act

AMENDMENTS:	
PROPOSED ADDITION TO EXISTING RESIDENCE for MR B & MRS C DUSKE at 12 POHUTUKAWA DRIVE ATHENREE	
SECTIONS DETAILS	
SCALE: AS SHOWN	DRAWN: S-TAYWHA NZCP (ARCH)
DATE: APRIL 2000	03 of 3

Inspections

Call for Inspections for all items ticked on 579 6514 between 8am and 3pm.

* The items below are required to be inspected. These items are the minimum requirement and it is likely further inspections will be required.

* Please quote the **BC number** when requesting inspections and give at **least 3 working days notice**.

<input checked="" type="checkbox"/>	Inspection Type	Explanation
<input type="checkbox"/>	1. Siting	To check the position of the building relative to clearly identified boundaries.
<input type="checkbox"/>	2. Pile Foundation	To see excavated ground, pile/post footings and any reinforcing in place before concrete is poured.
<input type="checkbox"/>	3. Concrete Foundation	To see excavated ground, footings and any reinforcing in place before concrete is poured.
<input type="checkbox"/>	4. Concrete Floor	To see the D.P.C. basecourse, reinforcing and underfloor services under test .
<input type="checkbox"/>	5. Timber Floor	To see the piles, sub-floor bracing and connectors.
<input type="checkbox"/>	6. Blockwork	To see the reinforcing in cells and bond beams before concrete is poured in concrete blockwork
<input type="checkbox"/>	7. Framing	To see fixings of framing to the floor and subfloor for bracing panels, roof framing to walls etc before building wrap .
<input type="checkbox"/>	8. Preclad - Prior to cladding being installed as set out in the approved plans additional inspections will be required. These are: 1. When cavity battens have been installed, sills taped and windows are installed and flashed. 2. Construction joints are formed, and prior to plastering (applicable to monolithic).	
<input type="checkbox"/>	9. Brick Veneer	To see the walls when they are about half height to inspect cavity and ties.
<input type="checkbox"/>	10. Preline	To see all framing, bracing, connectors, vapour barriers, insulation, timber moisture, when the building is weathertight.
<input type="checkbox"/>	11. Plumbing	To see all plumbing and water pipe work under test before it is enclosed.
<input type="checkbox"/>	12. Postline	To check sheet brace fixings before stopping.
<input type="checkbox"/>	13. Drainage (sewered site)	To see all drainage work under test before it is closed in with a fully dimensioned drainage as-built plan to be provided at time of inspection.
<input type="checkbox"/>	14. On Site Effluent Treatment & Drainage (non-sewered site)	To see all drainage work under test before it is closed in with a fully dimensioned drainage as-built plan to be provided at time of inspection.
<input type="checkbox"/>	15. Solid Fuel Heater 1. We want to see the chimney cavity prior to inbuilt installation 2. The foundations, seismic restraint, clearances, flue and liners, and ceiling plate.	
<input checked="" type="checkbox"/>	16. Final	Owner must provide all required producer statements and completed Application for Code Compliance Certificate as required by Section 92 Building Act 2004, and available for collection at time of inspection.
<input type="checkbox"/>	17. Garage Siting/Foundation/Floor	As above for inspection numbers 1, 3 and 4.
<input type="checkbox"/>	18. Garage Final	To check framing, bracing and connections. Owner must provide all required producer statements and completed Application for Code Compliance Certificate as required by Section 92 Building Act 2004, and available for collection at time of inspection.
<input type="checkbox"/>	19. Access and Facilities for People with Disabilities	To see that all Access and Facilities are as per the Approved Plans.
<input type="checkbox"/>	20. Fire Safety	To see that all fire precautions are as Fire Report and Approved Plans.
<input type="checkbox"/>	21. Commercial Final	Owner must provide all required producer statements and completed Application for Code Compliance Certificate as required by Section 92 Building Act 2004, and available for collection at time of inspection.
<input type="checkbox"/>	22. Swimming Pool Inspection	To see Siting as per Approved Plans and excavated ground and any reinforcing in place before concrete is poured.
<input type="checkbox"/>	23. Swimming Pool Final	Owner must complete Application for Code Compliance Certificate attached to the Building Consent as required by Section 92 Building Act 2004, and available for collection at time of inspection.

Please Keep Dogs Tied up when the Inspector Calls



Sunz Ltd

605d Great South Road
PO Box 97 309,
Manukau City 2241
Phone: 09 263 9839
Fax: 09 263 9837
e-mail: Info@Sunz.co.nz



Building Consent Details-Open Circuit Solar Water Heating System

Site

Owner: BRUCE Duske
Address: 12 Pohutukawa Dr
Athenece



Phone: 09 863 4576
Mobile: 02 748 75819

Application Checklist

- Building Consent Details-Open Circuit Solar Water Heating System Completed []
Solar Heating System Drawing []
Existing plumbing pipe work and valves drawn and identified as existing
New plumbing and valves drawn and identified as new
Tempering valve drawn and identified
Location of Element drawn and Relay drawn if going to be installed
Cylinder Earthquake restraint details []
Penetration Method Specific to this installation []
Collector fastening method specific to this installation []
PS3 Producer Statement for Installation of the Systems []
Site Plan showing North []
Roof Plan showing location of collectors []
Floor Plan showing location of Hot Water Cylinder []
Elevations showing location of collectors []

Sunz Ltd Open Circuit System Description

Sunz Ltd open circuit systems are split with the solar collector(s) installed remote from the heated water container with primary circuit piping arranged to suit site conditions.

Sunz Ltd open circuit systems are open circuit configuration, where the water in the primary circuit is directly heated in the collector(s).

Sunz Ltd open circuit systems are active systems, with a pump and controller forcing circulation.

Sunz Ltd open circuit systems can be supplied as a packaged system, including the nominated tank, or can be supplied as a component set to be retrofitted to an existing heated water tank. Solar heating system design is similar for both situations with only the attachment of solar flow and return lines different depending on the tank the system is fitted to. Detailed attachment drawings are supplied in the installation manual.

Supplementary heating is provided by immersion element. For systems retrofitted to existing heated water tanks with the immersion element in the lower region of the tank, supplementary heating is controlled by the solar controller via a relay. For packaged systems, the heated water tank is supplied with an element installed in the mid portion of the tank.

An isolating valve is installed between the pump and the tank, and a non-return valve installed immediately following the pump. This enables the pump to be serviced without draining the system. A second isolating valve is installed on the solar return to the tank. A pressure relief valve is installed above the non return valve and plumbed to waste to relieve any pressure build up in the solar heating circuit should both isolating valves be turned off. An automatic air vent valve is installed on the highest point of the system, which is normally at the collector outlet.

Frost protection is carried out by forced circulation in the event of freezing conditions at the collector. Over temperature of the tank is avoided by stopping circulation when the tank reaches its maximum allowable temperature.

Standards

Sunz Ltd open circuit solar water heating systems as specified in this document meet the requirements of AS/NZS2712:2007. When installed in accordance with the Sunz Ltd Installation Instructions, Sunz Ltd open circuit solar water heating systems will also meet the requirements of the New Zealand Building Code.



Component Specifications-Generic to all Sunz Ltd Open Circuit Solar Heating Systems

Collectors

Manufacturer:	Solimpeks Solar Enerav Systems Co.		
Model:	CLS 2108	CLS 2510	CLS 2810
Dimension:	2006 x 1059 x 105mm	2006 x 1236 x 105mm	2270 x 1236 x 105mm
Weight:	40.5 kas	47.5 kas	52 kas
Liquid Volume:	1.07 litres	1.27 litres	1.5 litres
Flow Volume:	105 lt/h	120 lt/h	120 lt/h
Gross Area:	2.10m ²	2.48m ²	2.78m ²
Aperture Area:	1.92m ²	2.26m ²	2.53m ²
Absorber Area:	1.90m ²	2.24m ²	2.51m ²
Test Pressure:	20 bar	20 bar	20 bar
Max Working	10 bar	10 bar	10 bar
Pressure Loss:	1.6 mbar	1.8 mbar	2.2 mbar
Absorber Plate	Titanium TINOX	Titanium TINOX	Titanium TINOX
Absorption Level:	95%	95%	95%
Thermal Emission	3%	3%	5%
Absorber Plate:	Copper Sheet	Copper Sheet	Copper Sheet
Header/Absorber	Ø18/Ø8.0mm	Ø18/Ø8.0mm	Ø18/Ø8.0mm
Glass:	4mm, Low Iron, Tempered	4mm, Low Iron,	4mm, Low Iron, Tempered
Glass Transmittance:	91%	91%	91%
Gazing Standard:	EN572-5 & EN12150-1	EN572-5 & EN12150-1	EN572-5 & EN12150-1
Insulation:	High Density Rock Wool	High Density Rock Wool	High Density Rock Wool
Weather Proofing:	EPDM/Silicon	EPDM/Silicon	EPDM/Silicon
Case:	Electrostatic Aluminium	Electrostatic Aluminium	Electrostatic Aluminium
Heat Endurance:	232°C	232°C	200°C
Rack Plate:	Embossed Aluminium	Embossed Aluminium	Embossed Aluminium
Riser to Absorber	Ultrasonic Weld	Ultrasonic Weld	Ultrasonic Weld
Number of Risers:	8	10	10

Pump

Model	Wilo Star Z 25/6
Media Temperature	-10 - +110 °C
Power Supply	230v 50 Hz
Power Consumption	Low = 49w , Med = 74w , High = 99w
Protection	IP44
Connections	25mm
Max. Operating Pressure	10 Bar

Controller

Model	Sorel TDC2
Power Supply	230v 50-60Hz
Power Consumption	2w
Switched Power	Electronic relay R1 = Min 20w, Max 120w Mechanical relay R2 = 460va for AC1, 185w for AC3
Internal Fuse	2a slow blow 250v
Protection	IP40
Settings	Controller supplied with all settings factory set by Sunz. Settings only to be changed by authorized personnel under advice from Sunz Ltd.

Primary Circuit

Pipes	3/8" or 1/2" soft copper -Bureau Veritas certification NZS3501
Fittings	Titon compression
Internal Insulation	Armacell Armaflex 13mm
External Insulation	Armacell Armaflex 13mm covered and sealed with UV Rated tape
Isolating Valves	1 x 20mm, 1 x 15mm
Non Return Valve	1 x 15mm spring type
Pressure Relief Valve	Caleffi 311580 8 bar rated at 187.5kw
Roof penetrations -Metal Roof	Mini dectite flashing and plumbing sealant
Roof penetrations-Concrete or Clay tile	Tile-tite flashing
Roof penetrations-Membrane roof	Pipe penetration by roofing manufacture
Automatic Air Bleed Valve	Watts 160°C



Installation Specific Details

Hot Water Cylinder Details

New

Existing

Details:

Make: Rheem

Model: 311.180.15

Capacity: 180 ltr

Low Pressure:

Medium Pressure:

Mains Pressure:

Copper:

Ceramic Lined:

Stainless Steel:

Existing valves and pipe work added to Solar Heating System Drawing:

New valves and pipe work added to Solar Heating System Drawing:

Tempering Valve to be installed:

Make

Model

Existing so not required

Earth Quake Restraints Details Attached

Solar Heating System Details

System Model Number: S2050 Model and Number of Collectors CLS 2050

System installed as per Acceptable Solution G12/AS2 and Solar water Heaters Guidance for suppliers, installers and building consent authorities - December 2009. Installation Options specific to this installation:

Structural Support Limitations-System Complies

Weather-tightness - Relevant detail attached (Tick One)

Masonry Tiles Figure 5 Alternative Boot Sleeve

Pressed Metal tile Figure 6

Profiled Metal Figure 6

Membrane roof Figure 8

Collectors Fastening Method - Relevant detail attached

Collectors Parallel to Roof Cladding

Elevated from Roof (Tick One)

Portrait facing same direction as roof. Roof greater than 10 degrees pitch. Drawings PN & FJ

Portrait on flat Roofs. Roof less than 10 degrees pitch. Drawings PF & FJ

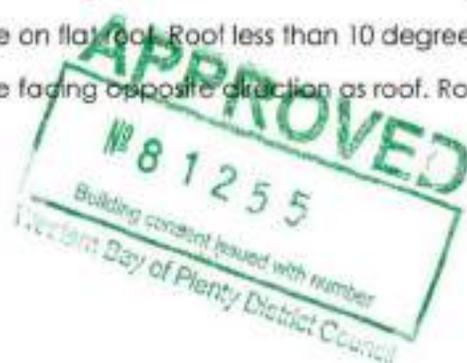
Portrait facing opposite direction as roof. Roof greater than 10 degrees pitch. Drawings PS & FJ

Landscape facing same direction as roof. Roof greater than 10 degrees pitch. Drawings LN & FJ

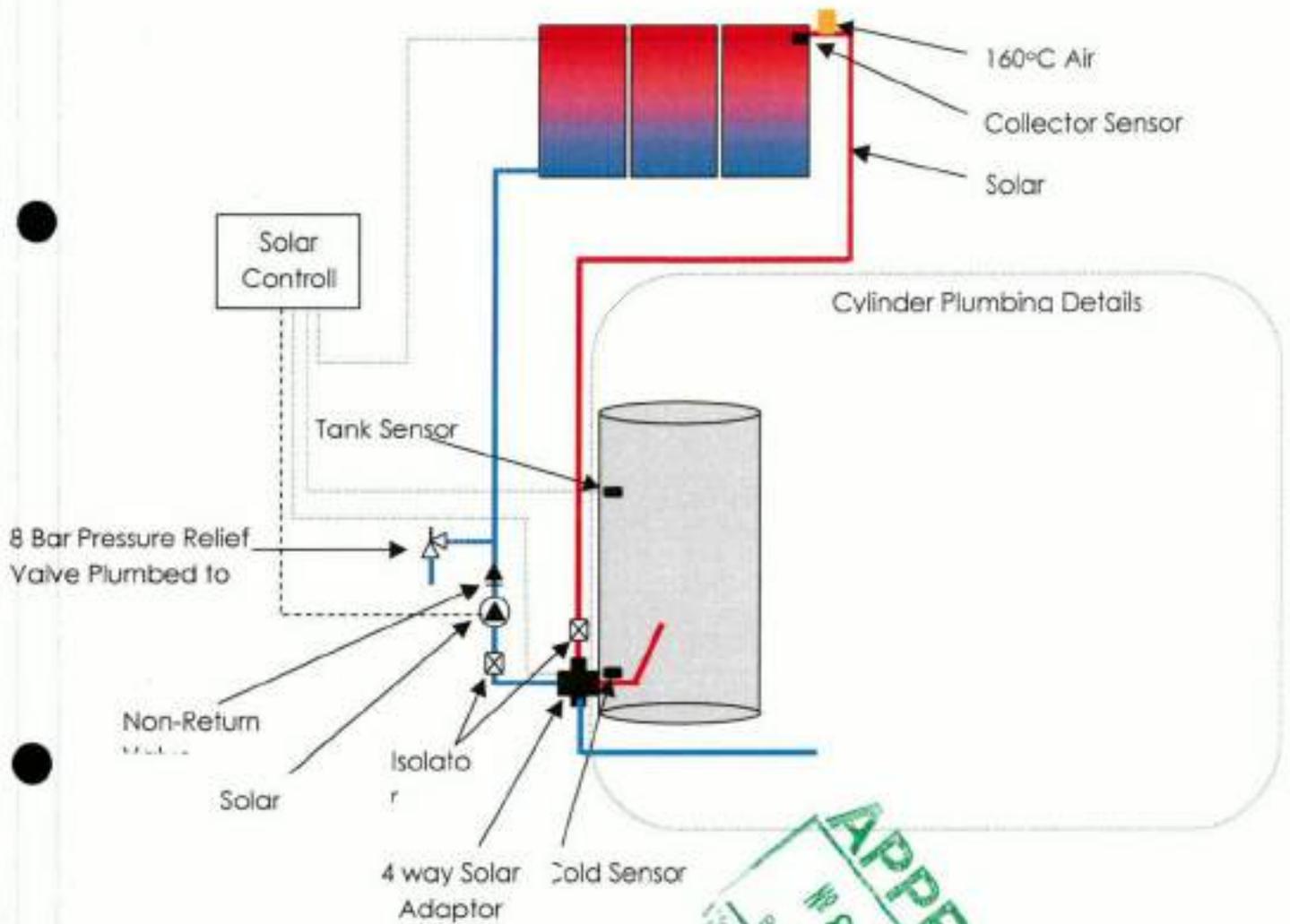
Landscape on flat roof. Roof less than 10 degrees pitch. Drawings LF & FJ

Landscape facing opposite direction as roof. Roof greater than 10 degrees pitch. Drawings LS & FJ

FJ



Open Circuit Solar Water Heating System- Side Entry Cylinder with 4 Way Fitting



APPROVED
 # 8 1 2 5 5
 Building consent project with number
 Western Bay of Plenty District Council

Draw and label all existing cylinder pipe work and valves

Draw and label all proposed new pipe work and valves

Identify Tempering valve

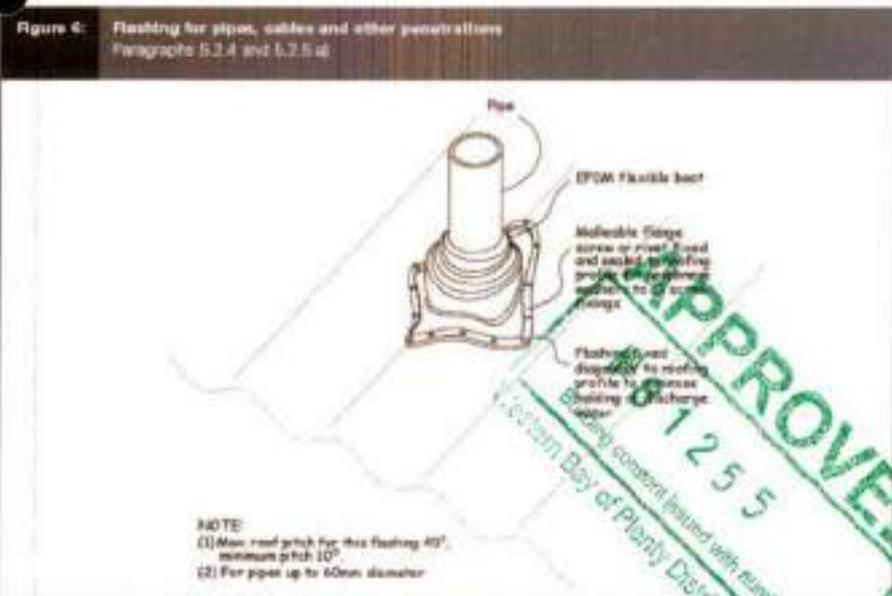
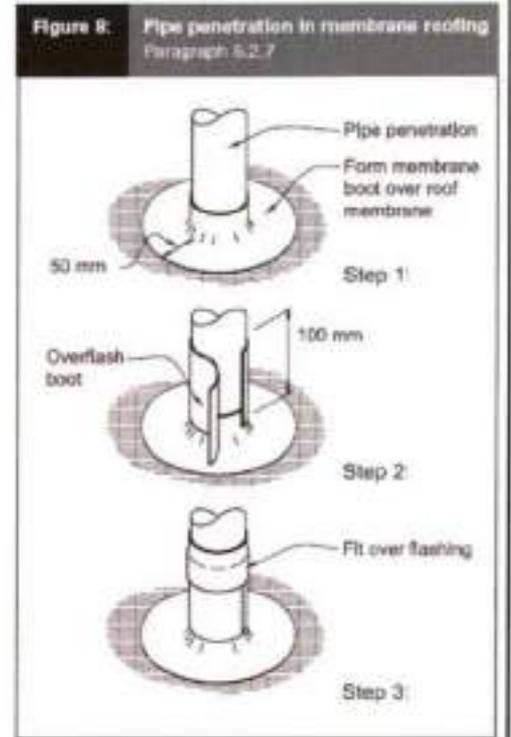
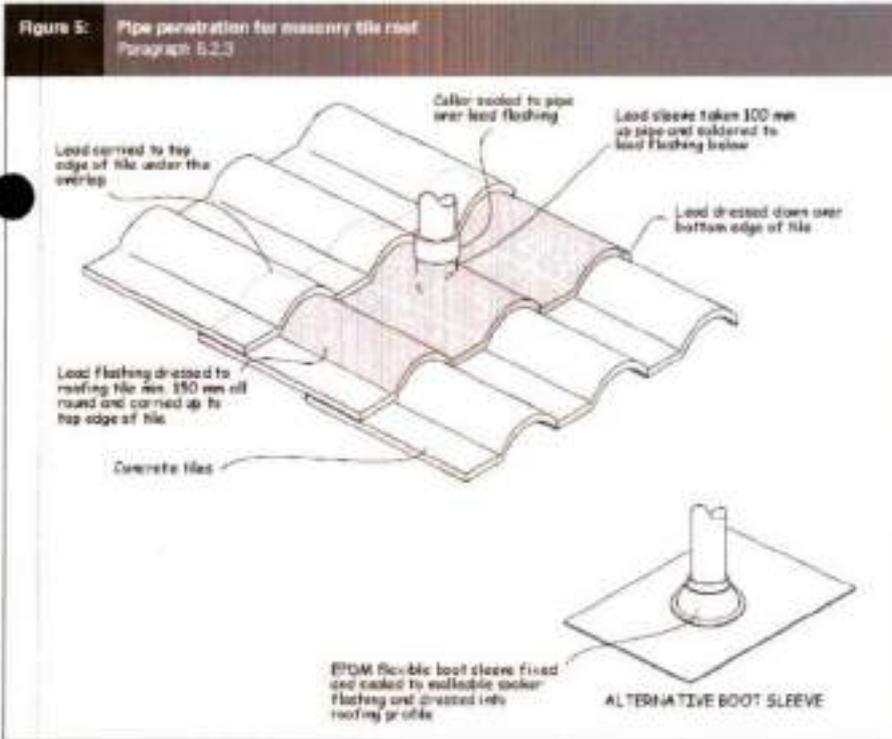
Draw in location of Immersion Element(s)

Draw Relay if one is going to be installed and show which element it will be connected to.

-
-
-
-
-

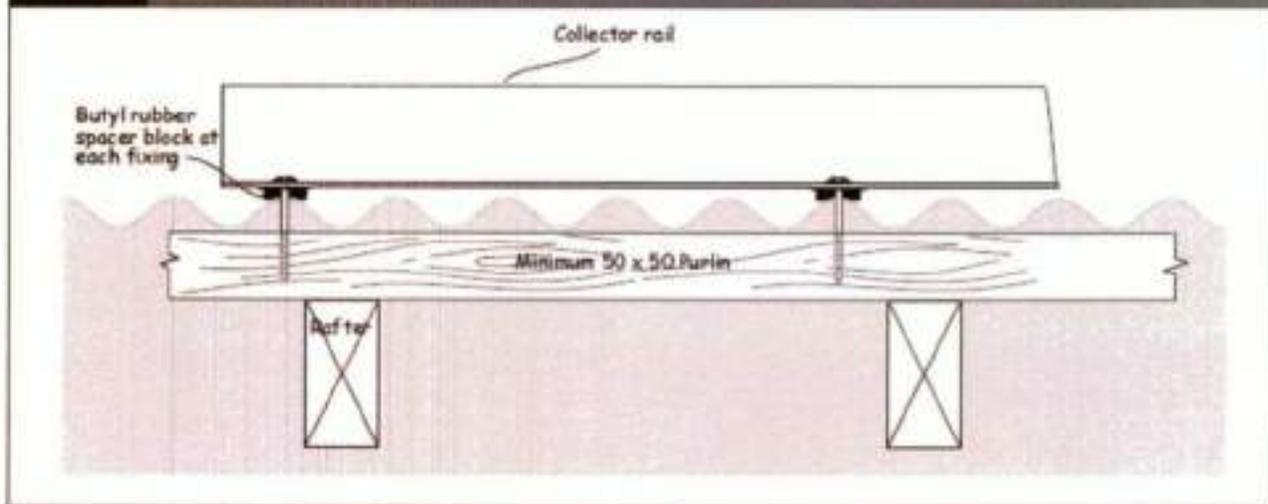
Collector Fixing Flat on Roof Detail

Roof Penetration Options



Collector Fixing Flat on Roof Detail

Figure 10: Direct fixed strap with rail – section
Paragraph 6.3.1



Figure

Bu
ble

APPROVED
8 1 2 5 5
Building consent issued with number
123456789 Bay of Plenty District Council

Collector Fixing Flat on Roof Detail

Figure 10: Direct fixed strap with rail – section
Paragraph 6.3.1

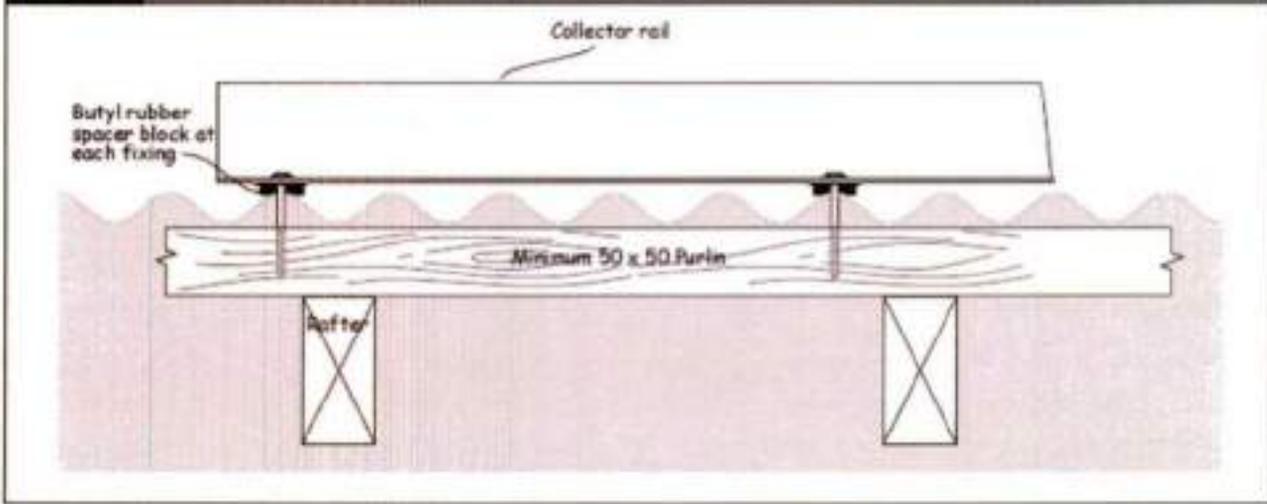
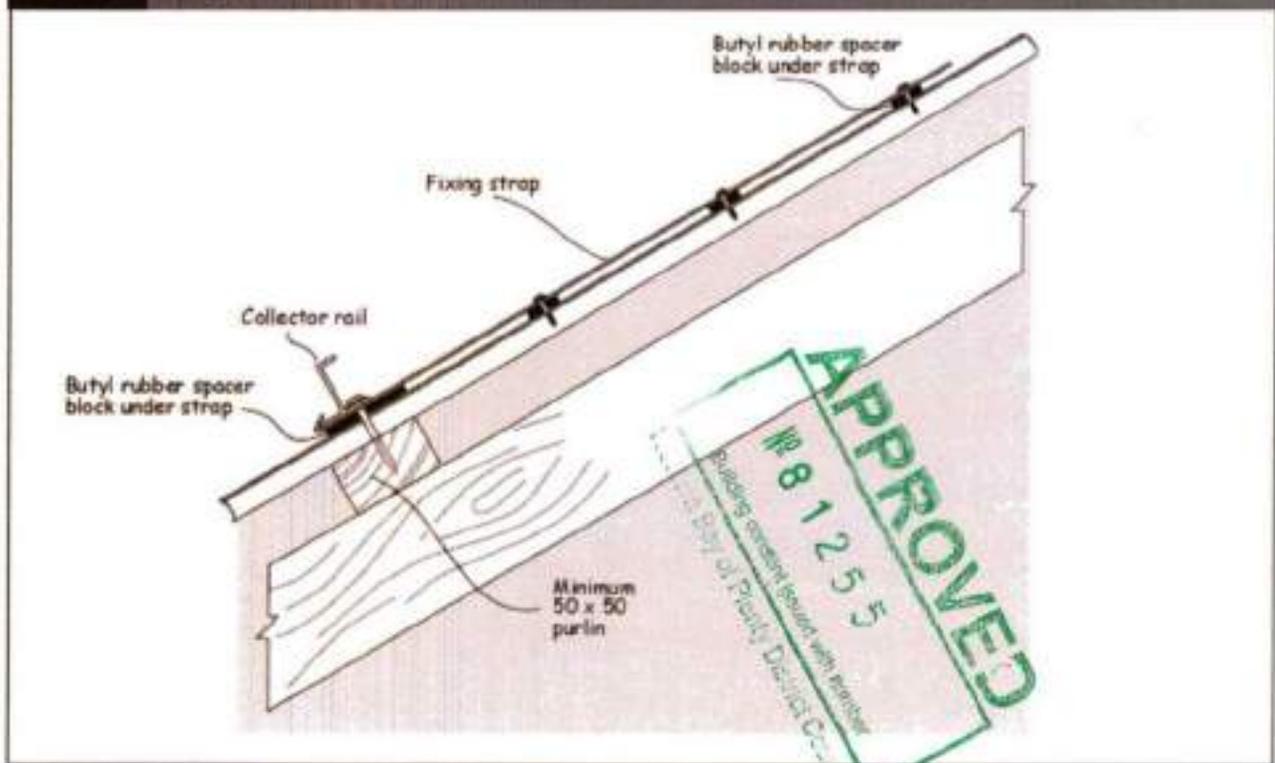
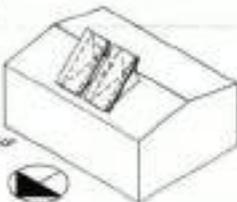
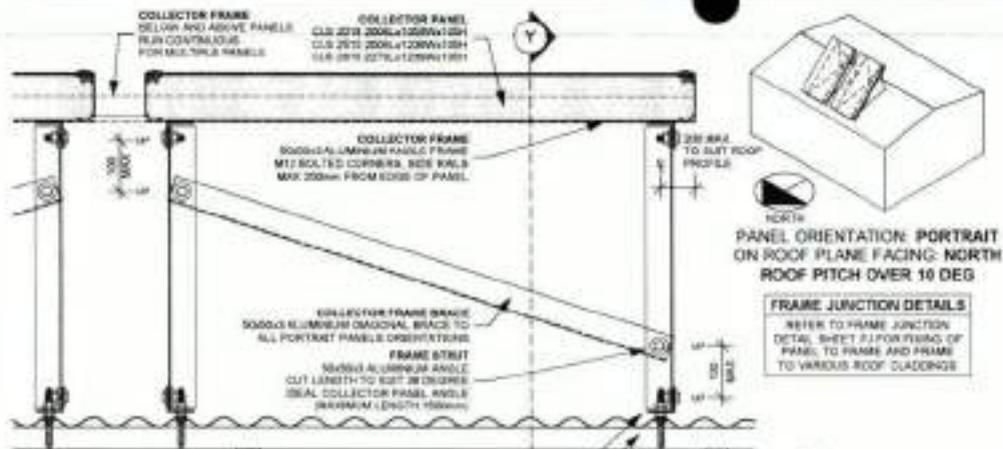


Figure 11: Direct fixed strap with rail – elevation
Paragraph 6.3.1

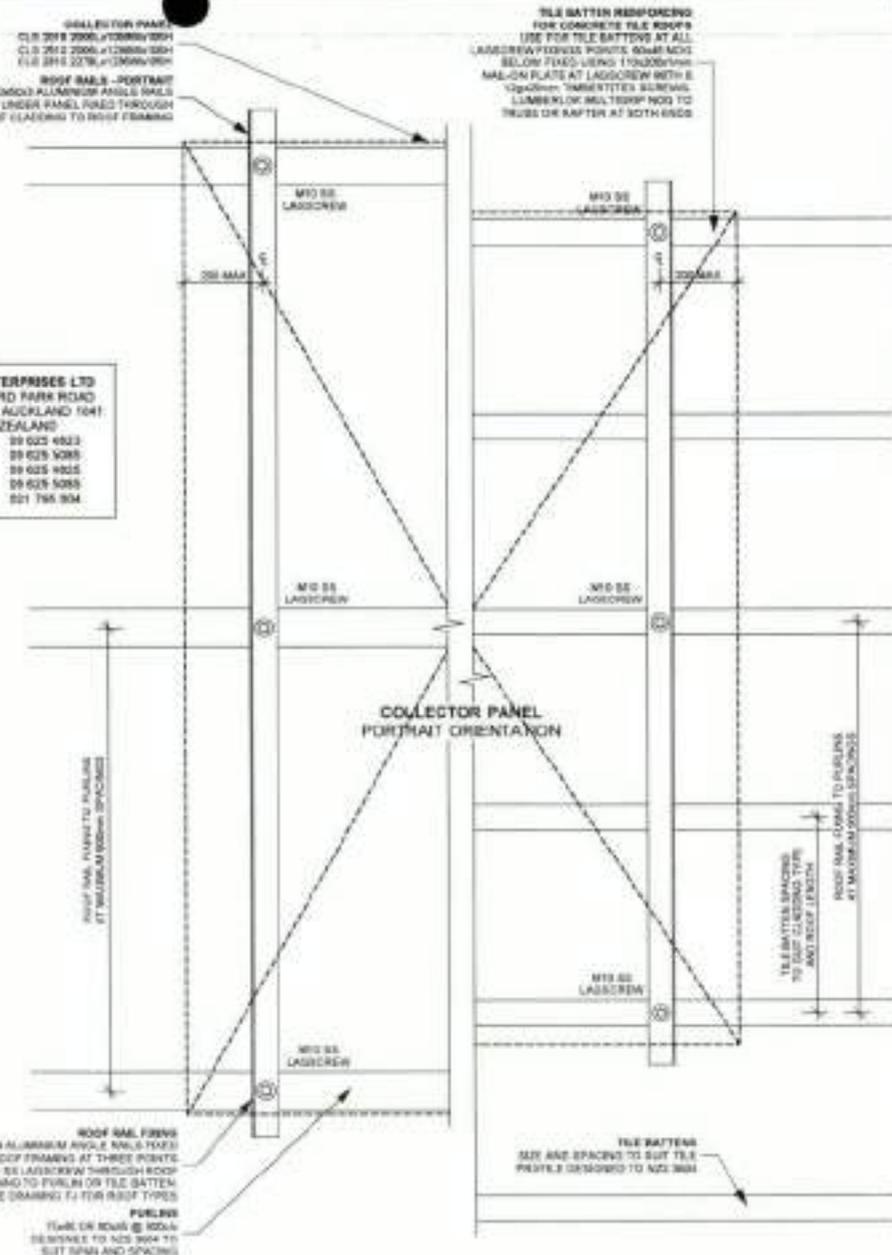
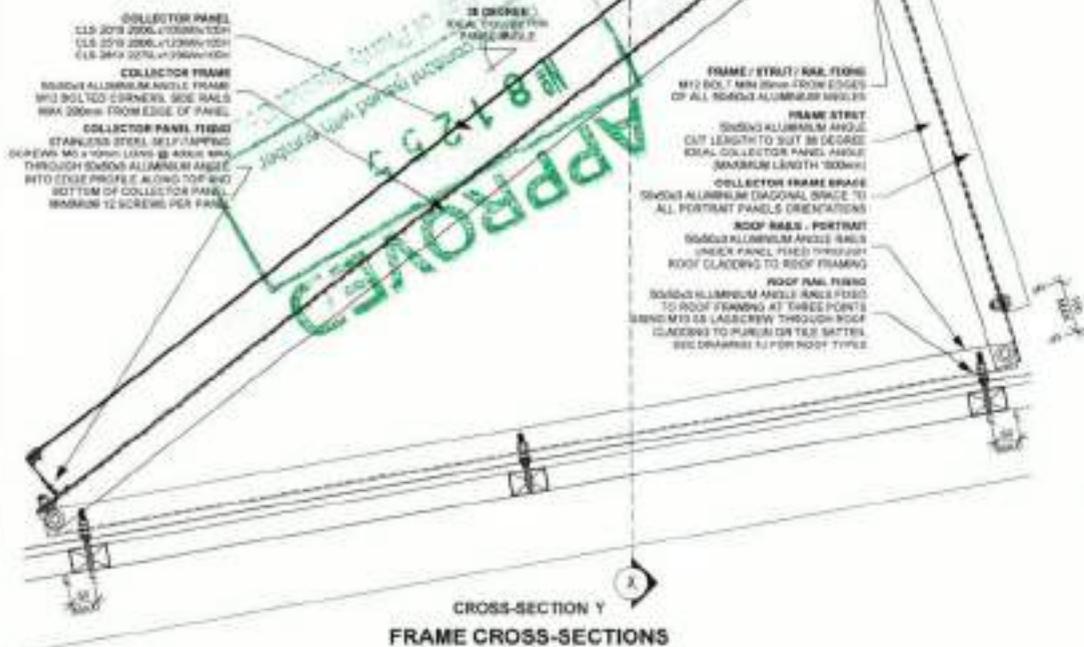




**PANEL ORIENTATION: PORTRAIT
ON ROOF PLANE FACING NORTH
ROOF PITCH OVER 10 DEG**

FRAME JUNCTION DETAILS
REFER TO FRAME JUNCTION
DETAIL SHEET 11 FOR FIXING OF
PANEL TO FRAME AND FRAME
TO VARIOUS ROOF CLADDINGS

CROSS-SECTION X



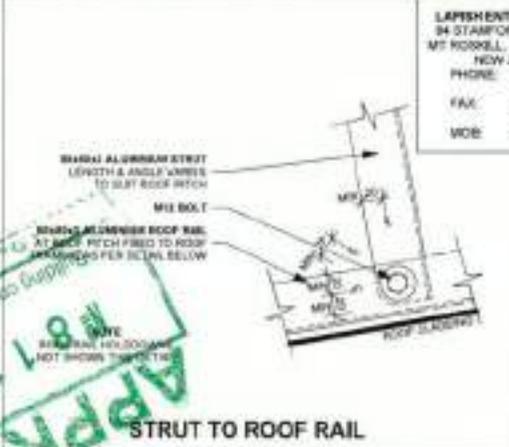
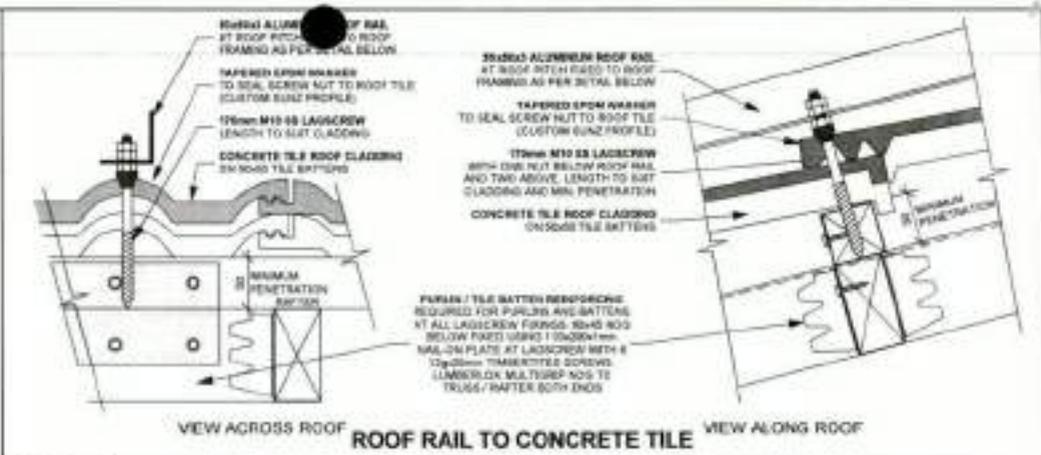
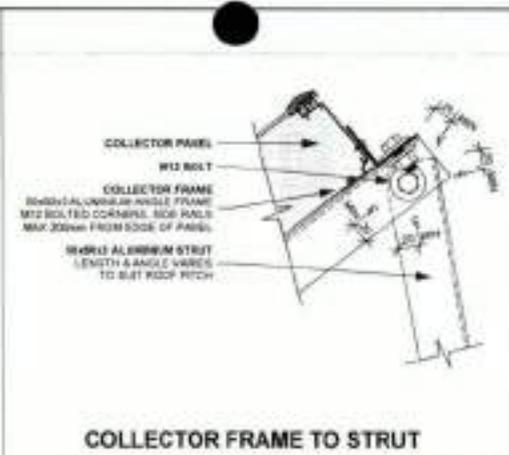
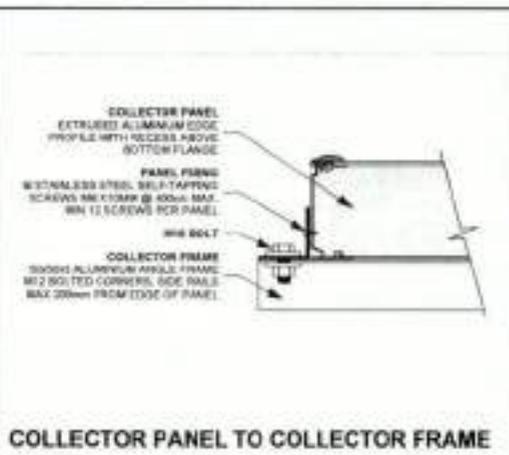
LAPISH ENTERPRISES LTD
34 STAMFORD PARK ROAD
MT ROSKILL, AUCKLAND 1041
NEW ZEALAND
PHONE: 09 625 9832
FAX: 09 625 9285
MOBI: 09 625 9285
MOBI: 021 765 934



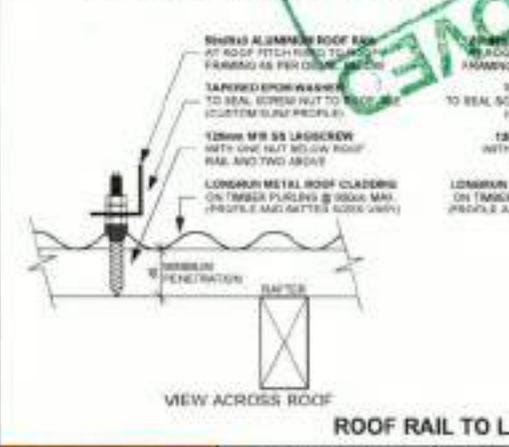
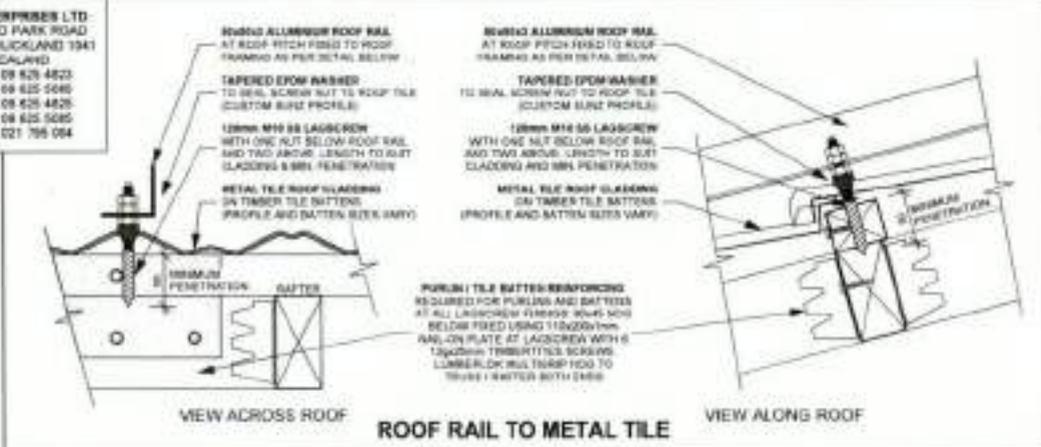
SUNZ LIMITED
WWW.SUNZ.CO.NZ
PHONE 09 263 9839

GLAZED COLLECTOR FIXING DETAILS
PORTRAIT ORIENTATION, NORTH-FACING ROOF PITCH OVER 10 DEG

DESIGNED BY	PLAN NUMBER	DATE DRAWN	SCALE	VERSION
LVM - MIA CASA	20101	SCALE AT A4	1:50	PN
8 MAY 2010				VERSION 1.0



LAPSE ENTERPRISES LTD
 94 STAMFORD PARK ROAD
 MT ROSE, AUCKLAND 1941
 NEW ZEALAND
 PHONE: 09 625 4822
 09 625 5040
 FAX: 09 625 4828
 09 625 5085
 MOB: 021 795 084



SUNZ LIMITED
 WWW.SUNZ.CO.NZ
 PHONE: 09 283 5839

GLAZED COLLECTOR FIXING DETAILS
 FRAME JUNCTIONS AND ROOF CLADDING FIXINGS

DRAWN BY	SCALE	DRAWING
LVR - MA CASA	201801	FJ
DATE ISSUED	SCALE AT A3	VERSION 1.0
8 MAY 2010	1:5	

Public Register

Registration

- Plumbers
- Gasfitters and
- Drainlayers Board
- Public Register

[Public Register](#) [Gas Certification](#) [Contact Us](#)

Please enter either a Surname OR a 5 digit Registration Number

Surname

Wallis

Suburb or RD No.

Registration Number

04247

Town or City

Search

Reset

1 Practitioners found.

Wallis, Mervyn L

04247

Mobile: Contact the Board

Email: Contact the Board

Licence Type

Certifying Drainlayer

Certifying Plumber

Licensed Date

Licensed from 20 Apr 2010 to 31 Mar 2011

Licensed from 20 Apr 2010 to 31 Mar 2011

Supervisor

Licence History

Licence Type	Status	History
Certifying Drainlayer	Ready to Print	2010
Certifying Plumber	Ready to Print	2010, 2009, 2008, 2007, 2006, 2005, 2004, 2003, 2002, 2001, 2000, 1999, 1998
Licensed Drainlayer	Expired	2009, 2008, 2007, 2006, 2005, 2004, 2003, 2002, 2001, 2000, 1999, 1998



GoGet Inspection Audit Report

Consent No: **90396**
Applicant: **THE FIREMAN LTD**
Site Address: **12 POHUTUKAWA DRIVE, ATHENREE**
Work Type: **NEW FREESTANDING SOLID FUEL HEATER**

Inspection Type: **CCC review**
Inspection Outcome: **Pass**
Inspected By: **Case Verkerk**
Inspection Date: **29 August 2017 10:58 a.m.**
Duration: **0 minutes**

Inspection Element	Status
General	Pass
Review of failed item of previous inspection(s) No issue	Pass
Where required, supervision review for all inspection was completed.	N/A
All required inspection completed? Missed inspection? No issue	Pass
Outstanding amendment cleared/resolved	N/A
National Multiple Use Approval	N/A
Requirement of compliance schedule	N/A
Outstanding documentation required for CCC	N/A
Outstanding issues for CCC to be considered	N/A
Consideration of time frame required for following up and remedial works	N/A
RFI letter - CCC	N/A
Outcome No outstanding issue; CCC can be considered for this consent	Pass
New Item	N/A

GoGet Inspection Audit Report

Consent No: **90396**
Applicant: **THE FIREMAN LTD**
Site Address: **12 POHUTUKAWA DRIVE, ATHENREE**
Work Type: **NEW FREESTANDING SOLID FUEL HEATER**

Inspection Type: **Final Inspection - SFH**
Inspection Outcome: **Pass**
Inspected By: **Case Verkerk**
Inspection Date: **29 August 2017 10:57 a.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Pass
Review of failed item of previous inspection or missed inspection	N/A
Confirming the scope and extent of this inspection Full inspection type as specified/requested	Pass
Make/model of SFH As per approved plans and specifications	Pass
Position of SFH As per approved floor plan	Pass
Hearth size, thickness and material used As per manufacturers installation instructions	Pass
Seismic restraint	Pass
Clearance distances (incl roof timber) As per manufacturers installation instructions	Pass
Flue size and jointing Three fixings equally spaced around all flue joints	Pass
Ceiling plate Ceiling plate installed	Pass
Weatherproofing at flue/roof junction Visual inspection from ground only	Pass
External height of flue Complies with requirements of AS/NZS 2918	Pass
Ventilation of chimney space	Pass
Seismic restraint to H.W.C	N/A
Cylinder vented and tempering valve installed	N/A
Smoke alarms installed and positioned Complies with F7 / AS1 tested	Pass
Distances from heater to combustible materials acceptable As per manufacturers instructions	Pass
Change/variation from approved consent	N/A
Status of Work Office review is required for CCC	Pass
Other comments	N/A
All work appears to be completed as per approved plans	Pass
Application for Code Compliance Certificate Received	Pass
Old consent review	N/A



Taken at 10:45 AM on Tuesday 29/08/2017



Taken at 10:46 AM on Tuesday 29/08/2017



Taken at 10:54 AM on Tuesday 29/08/2017

BUILDING CONSENT APPROVAL CHECKSHEET

BC NUMBER	90396	DATE	03/08/2017
PROJECT DESCRIPTION	NEW FREESTANDING SOLID FUEL HEATER		
BC CATEGORY	<input checked="" type="checkbox"/> R1	<input type="checkbox"/> R2	<input type="checkbox"/> R3
	<input type="checkbox"/> C1	<input type="checkbox"/> C2	<input type="checkbox"/> C3

Review prior to sign off

Is a supervision review required for this approval?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> NA
If yes, has a supervision review been undertaken?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> NA
Certificate of Design Work	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> NA
Requirements for third party inspection, QA requirements	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> NA
For this application, Compliance Schedule is	<input checked="" type="checkbox"/> NA	<input type="checkbox"/> New
	<input type="checkbox"/> Amended	
Total number of Specified System (for fee purpose):		
Estimated total number of inspection: 1		
Lodgement time (to nearest 15min): 15 mins	Processing time (to nearest 15min): 30	
Lodged with: Lesley Date: 17/07/2017	RMA HOLD	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA

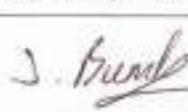
Approval/sign-off**BCO Check****Admin Check**

Approval/sign-off	BCO Check	Admin Check
subject to all outstanding fees are paid <i>(Admin to add Fees)</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> NA	<input type="checkbox"/> Yes
subject to fee payment for NZFS review <i>(Admin to add Fees)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA	<input type="checkbox"/> Yes
subject to condition of S73 Notice <i>(Admin to add Fees)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA	<input type="checkbox"/> Yes
subject to condition of S77 Notice <i>(Admin to add Fees)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA	<input type="checkbox"/> Yes
subject to specified intended life being _____ years from the issuing date	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA	<input type="checkbox"/> Yes
if subject to issuing of draft Compliance Schedule file to go to BWOFA Administration <i>(Admin to add Fees)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA	<input type="checkbox"/> Yes

Building Control Officer: Neda Nozari**Reviewer:** Jackie Bumby

Assessed competency level: Under supervision

Assessed competency level:

Signature: Signature: 

Date: 03/08/2017

Date: 03/08/2017

Notes/Comments:

Notes/Comments:

COUNCIL

Building consent application - Vetting checksheet

The application is required to be vetted for completeness of document by the officer taking into consideration the nature and complexity of the project with the type of documents required.
 Where required, a pre-application meeting should be arranged/requested with the applicant/design team to ensure all requirements are communicated and discussed with relevant parties prior to consent being lodged.

Project Address/ Ref No.	12 Pohutukawa Drive - P1016/1 Lot 22 DPS27597 -Valuation 06814-007-91
Completeness of documents	<input checked="" type="checkbox"/> Checked
Application form completed, signed and dated	Metro Wee Rad SFP Flue
Proof of ownership	
Drawings and plans of adequate quality	
Application fee and any Council fee	
Site specific specification; generic specification with relevant information and appropriate selection	
Bracing calculation; bracing design	
Weathertightness risk matrix E2	
Truss design producer statement (PS1) and buildable layout	
LBP/Design Memo requirements	
PIM; boundary measurements, daylighting, site coverage, floor level, building heights, etc.	
Engineering documents	<input type="checkbox"/> Checked <input checked="" type="checkbox"/> NA
Geotechnical report/geotechnical issue	
Specific design wind documents	
Structural engineer's producer statement (PS1) and associated calculation; including proposed level of construction monitoring appropriate for level of the work	
Other specialist design documents	<input type="checkbox"/> Checked <input checked="" type="checkbox"/> NA
Maintenance process for B2/Maintenance regime to ensure compliance with B2 (where required)	
Supporting documents for all alternative solutions	
Fire assessment / ANARP assessment	
Accessibility assessment / ANARP assessment	
Change of Use / S115 assessment	
Compliance Schedule documents	
Lift design	
Emergency lighting design and design certification	
Mechanical services / ventilation design	
Site safety / construction safety	<input type="checkbox"/> Checked <input checked="" type="checkbox"/> NA
Site management and protection of public during construction (NZBC F5)	
CPU application	
Inspection regime by engineer / specialist; PS4 and independent certification requirements	<input type="checkbox"/> Checked <input type="checkbox"/> NA
QA programme where necessary due to nature and complexity of the project	
PS4 and independent certification requirements for specialist design (geotechnical, structural, fire, acoustic, mechanical, hydraulic, etc.)	
NZFS Design Review	<input type="checkbox"/> Checked <input checked="" type="checkbox"/> NA
Applicable to building or part of a building described in Section 21A of the Fire service Act 1975 regardless of whether the building or part of the building is sprinkler protected.	

Does any of the following apply to the building as proposed? If yes, the Design Review by NZ Fire Service may not be required.	
Household units separated vertically from other fire cells, each with independent and direct egress to a safe place outside the building	<input type="checkbox"/> Yes <input type="checkbox"/> No
Outbuilding or ancillary building	<input type="checkbox"/> Yes <input type="checkbox"/> No
New building fully complies with the Compliance Documents of Clauses C1-C6, D1, F6 and F8 (i.e. without waiver/modification or Alternative Solution).	<input type="checkbox"/> Yes <input type="checkbox"/> No
Building works for Internal fit-out, alteration, change of use or subdivision of a building with only "minor effect" to fire safety system.	<input type="checkbox"/> Yes <input type="checkbox"/> No
Decision	
The building consent is required to be sent to the NZ Fire Service for review (If yes, Additional copy plan/document is required, preferably electronic copy i.e. USB)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Vetting outcome	
Application is accepted	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Pre-application meeting is required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Date: 21/07/2017	
Officer Name	Lesley Alexander
Total time taken (to nearest 15 minutes): 15	

Lodgement checksheets	
This section is required to be completed by the vetting officer for data entry and allocation purpose.	
Application Type	<input checked="" type="checkbox"/> BC <input type="checkbox"/> Staged BC <input type="checkbox"/> BC and PIM <input type="checkbox"/> PIM only
Building Category (pre-approval)	<input checked="" type="checkbox"/> R1 <input type="checkbox"/> R2 <input type="checkbox"/> R3 <input type="checkbox"/> C1 <input type="checkbox"/> C2 <input type="checkbox"/> C3
Building Type	<input checked="" type="checkbox"/> Detached dwelling <input type="checkbox"/> Multi-unit/Group dwelling <input type="checkbox"/> Communal Residential <input type="checkbox"/> Communal Non-Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Ancillary/Outbuildings
Project Description (brief description)	Choose an item. Solid Fuel Heater
Compliance Schedule	<input checked="" type="checkbox"/> NA <input type="checkbox"/> New CS is required <input type="checkbox"/> Amendment to CS is required
Allocation for checking by other departments or for specific consideration (vetting check only; referral can still be required during processing if found to be relevant)	
PIM/RMA check	<input type="checkbox"/>
Development Engineer	<input type="checkbox"/>
Utilities	<input type="checkbox"/>
Environmental Health	<input type="checkbox"/>
HSNO	<input type="checkbox"/>
Natural Hazard	<input type="checkbox"/>
Change of Use	<input type="checkbox"/>
Building over more than one allotment	<input type="checkbox"/>
Specified intended life	<input type="checkbox"/>
Waiver/Modification	<input type="checkbox"/>
Specialist peer review; geotechnical, structural, weathertightness, fire, acoustic, emergency lighting, HVAC, lift, surface water, HSNO, hydraulic specific design, energy efficiency, OSET effluent design,	<input type="checkbox"/>

**Code Compliance Certificate checksheet**

This checksheet is for use by BCO only to record decision to issue or not to issue the Code Compliance Certificate

BC Number: 90396	BCO Name: Case Verkerk	Date: 30/08/2017
BC Category:	<input checked="" type="checkbox"/> R1	<input type="checkbox"/> R2
	<input type="checkbox"/> R3	<input type="checkbox"/> C1
	<input type="checkbox"/> C2	<input type="checkbox"/> C3

Review

CCC review of Goget checksheet checked and completed	<input checked="" type="checkbox"/> Yes
If old consent, old building consent review checksheet checked and completed	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA
All outstanding issue/documentation is resolved and completed. CCC can be issued	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> NA
All outstanding issue/documentation is not resolved sufficiently. CCC is to be refused.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA

Decision

<input checked="" type="checkbox"/> OK to issue CCC <i>Only if no other outstanding issue and outstanding fee paid</i>	<input type="checkbox"/> CCC is refused <i>Refusal letter with reason must be sent to owner/applicant</i>
--	---

Approval/sign-off

Is a supervision review required for this CCC decision?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA
If yes, has a supervision review been undertaken?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA
CCC is subject to issuing of final Compliance Schedule	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA
CCC is subject to Modification of durability requirement of the building code Clause B2.3.1; durability periods to commence from _____ (as the date when the works was substantially completed) instead of from the date of the CCC.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NA

Lawfully established use

<input checked="" type="checkbox"/> Housing - Detached Dwellings	<input type="checkbox"/> Communal Residential - Community Service	<input type="checkbox"/> Commercial
<input type="checkbox"/> Housing - Multi-unit Dwelling	<input type="checkbox"/> Communal Residential - Community Care	<input type="checkbox"/> Industrial
<input type="checkbox"/> Housing - Group Dwelling	<input type="checkbox"/> Communal Non-Residential - Assembly Service	<input type="checkbox"/> Outbuildings
	<input type="checkbox"/> Communal Non-Residential - Assembly Care	<input type="checkbox"/> Ancillary

Year first constructed	<input type="checkbox"/> New building Year:	<input checked="" type="checkbox"/> Existing Year (if known):
------------------------	--	--

	Name	Competency level	Signature	Date
BCO	Case Verkerk	Res3 and Com1		30/08/2017
Reviewer				

Notes/comments:

Building Administration checklist

CCC assessment form signed and dated and decision clearly documented	<input type="checkbox"/> Yes	<input type="checkbox"/> NA
If CCC is refused, notice of refusal with reason is signed, dated and sent	<input type="checkbox"/> Yes	<input type="checkbox"/> NA
Modification/Waiver notation added to the project description of the CCC	<input type="checkbox"/> Yes	<input type="checkbox"/> NA
Commencement date of durability amendment is included in the CCC: ___/___/___	<input type="checkbox"/> Yes	<input type="checkbox"/> NA
All amendment application been entered and charged for	<input type="checkbox"/> Yes	<input type="checkbox"/> NA
Compliance Schedule and Compliance Schedule Statement are prepared/finalised for issue with the CCC	<input type="checkbox"/> Yes	<input type="checkbox"/> NA
Number of inspection types carried out:		
Number of missed inspection: (to check also with BCO if required)		
Number of inspection types paid for:		
Number of inspection types to be CHARGED / REFUNDED:		

Issuing the Code Compliance Certificate

Certificate Issue date entered in Ozone and status changed to CCC Issued	<input type="checkbox"/> Yes
Certificate signed	<input type="checkbox"/> Yes
Certificate dated	<input type="checkbox"/> Yes
Regulatory/Building Administration Officer:	Date:

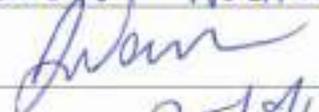
Tradespeople who carried out building work other than restricted building work are as follows:			
Name:	Address:	Contact number:	Registration number:
Hayden Fern	THE FIREMAN LTD PO Box 4227, Mt Maunganui 3116 0800 FIREMAN (347 362)		NZQA # 1952
Please list specified systems installed in the building or use N/A if this section is not applicable.			<input checked="" type="checkbox"/> N/A
The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:			
/			

5. DECLARATION

I understand that this application may only be made with the owner's approval.

- Please tick to indicate your agreement.

I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004. The Code Compliance Certificate should be sent to:

<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Agent	<input type="checkbox"/> Owner address as per Section 2	<input checked="" type="checkbox"/> Agent address as per Section 2
Name:	Jordan Warren		
Signature:			
Date:	25/8/17		
	THE FIREMAN LTD PO Box 4227, Mt Maunganui 3116 0800 FIREMAN (347 362)		

6. HAVE YOU ATTACHED ALL REQUIRED DOCUMENTS?

You are required to provide all the necessary documents to support your application. This includes (but is not limited to) the following sections:

- Memorandum of Licensed Building Practitioners – Record of Work (for each type of building work completed)
- Certificates relating to energy work
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent (if changed from the building consent)
- Other documents from personnel who carried out the work.

Refer to your building consent approval letter for a full list of documents required to support your Code Compliance Certificate application.



THE FIREMAN

PRODUCER STATEMENT

Date 25, 08, 17

The Metro Wee Rod Base fire installed for:

Mr/Mrs Kevin Pool

Situated at 12 Pohutukawa Drive

Building Consent # 90396

The above fire was installed according to the manufacturers specifications and the NZ Standard AS/NZS 2918:2001

The following things were done during the installation:-

- Smoke alarms tested and locations checked (3m from each bedroom, and on the exit path)
- Flashing complies with E2
- Flue extends 600mm above the ridge if within 3m
- Seismic Restraints fitted
- Hearth measurement checked (Hearth Extension installed if too short)
- Flues joints sealed and fixed with 3 stainless steel or monel fasteners

Freestanding Installation

- Inner Liner used in ceiling and extending 200mm above roof penetration
- Support Stays installed if flue extends more than 1500mm from penetration

Insert installation

- All cracks in masonry cavity filled with fire resistant sealant or matting
- Chimney swept
- No exposed timber in cavity
- Mantel height checked (Mantel reflector installed if too low)

Hayden Fenn

NZHHA Certified Installer – Hayden Fenn NZHHA Registration # 1952

Phone: 0800 FIREMAN
(347 362)

Showroom: 54 Hewletts Road
Mount Maunganui

Address: PO Box 11446
Papamoa

"Keeping you Warm"

WESTERN BAY OF PLENTY DISTRICT COUNCIL

Consent No: 90396

Building Category: R1

Site Address: 12 POHUTUKAWA DRIVE, ATHENREE

Owner/Agent: POOL, KEVIN BRIAN

Inspections Required

Call for inspections for all items listed on 579 6514 between 8am and 3pm.

Please quote the BC number when requesting inspections and give at least 3 working days notice.

The items below are required to be inspected.

These items are the minimum requirement and it is likely further inspections will be required.

1 Final Inspection - SFH

At completion of all installation; to check the foundation, seismic restraint, clearances, flue and liners, ceiling plate as in accordance with manufacturer's specification and the approved consent document.

1 Total Inspections

Documentation Required

The following documentation is required:

CCC application - Form 6 (BA 04)

Advice Notes

This building consent has been issued on the basis of the information supplied with the application and no pre consent site inspection has been made.

Solid fuel heater to be installed in strict accordance with manufacturer's installation instructions.

GoGet Processing Summary Report

Consent No: 90396

Site Address: 12 POHUTUKAWA DRIVE, ATHENREE

Description: SOLID FUEL HEATER

Checklist/Elements	Status	Notes	Processed By
Vetting	Pass		Neda Nozari
Application documentation	Pass		NFN
Application type	Pass	The application is for a building consent.	NFN
Application form signed	Pass	The application form is signed by the owner or by an agent nominated by the owner.	NFN
Proof of ownership	Pass	A Relevant rates bill has been provided for a minor works application.	NFN
Quick Consent	Pass		Neda Nozari
Consent type	Pass		NFN
Minor works	Pass	Freestanding burner	NFN
Checklist	Pass		NFN
B1 - B2: Stability	Pass	B1: Freestanding fire with min 5 years durability B2: Seismic restraining info noted to specs	NFN
C1 - C6: Protection from fire	Pass	Installation of freestanding Metro Wee rad base Tested and complies with AS/NZS 2918:2001 Meets NES requirements. Floor plan provided showing location of SFH, doors, windows and smoke alarms (complying with F7/AS1). Wood burner manufacturers installation details provided with clearances to combustible surfaces, hearth requirements and seismic restraints. Floor protector requirements noted to specs. SFP 150mm stainless steel flue kit, Manufacturers installation details provided. Complies AS/NZS2918:2001 when installed to manufacturer's instructions.	NFN
E1 - E3: Moisture	Pass	Lead and aluminium flashing for tile roof	NFN
F1 - F8: Safety of users	Pass	Floor plan provided showing location of SFH, doors, windows and smoke alarms (complying with F7/AS1).	NFN



SITE NOTICE

Consent No: **90396** Date Printed: **29 August 2017**
 Applicant: **THE FIREMAN LTD**
 Valuation Ref: **06814*007*91*** Booking ID: **130135**
 Site Address: **12 POHUTUKAWA DRIVE, ATHENREE**
 Work Type: **NEW FREESTANDING SOLID FUEL HEATER**

Inspection Type: **Final Inspection - SFH**
 Inspection Status: **Pass**
 Inspected By: **Case Verkerk**
 Inspection Date: **29 August 2017**

Passed Items

General

Confirming the scope and extent of this inspection	Full inspection type as specified/requested
Make/model of SFH	As per approved plans and specifications
Position of SFH	As per approved floor plan
Hearth size, thickness and material used	As per manufacturers installation instructions
Seismic restraint	
Clearance distances (incl roof timber)	As per manufacturers installation instructions
Flue size and jointing	Three fixings equally spaced around all flue joints
Ceiling plate	Ceiling plate installed
Weatherproofing at flue/roof junction	Visual inspection from ground only
External height of flue	Complies with requirements of AS/NZS 2918
Ventilation of chimney space	
Smoke alarms installed and positioned	Complies with F7 / AS1 tested
Distances from heater to combustible materials acceptable	As per manufacturers instructions
Status of Work	Office review is required for CCC
All work appears to be completed as per approved plans	
Application for Code Compliance Certificate	Received

Inspection Type: **CCC review**
 Inspection Status: **Pass**
 Inspected By: **Case Verkerk**
 Inspection Date: **29 August 2017**

Passed Items

General

Review of failed item of previous inspection(s)	No issue
All required inspection completed? Missed inspection?	No issue
Outcome	No outstanding issue; CCC can be considered for this consent

Documentation

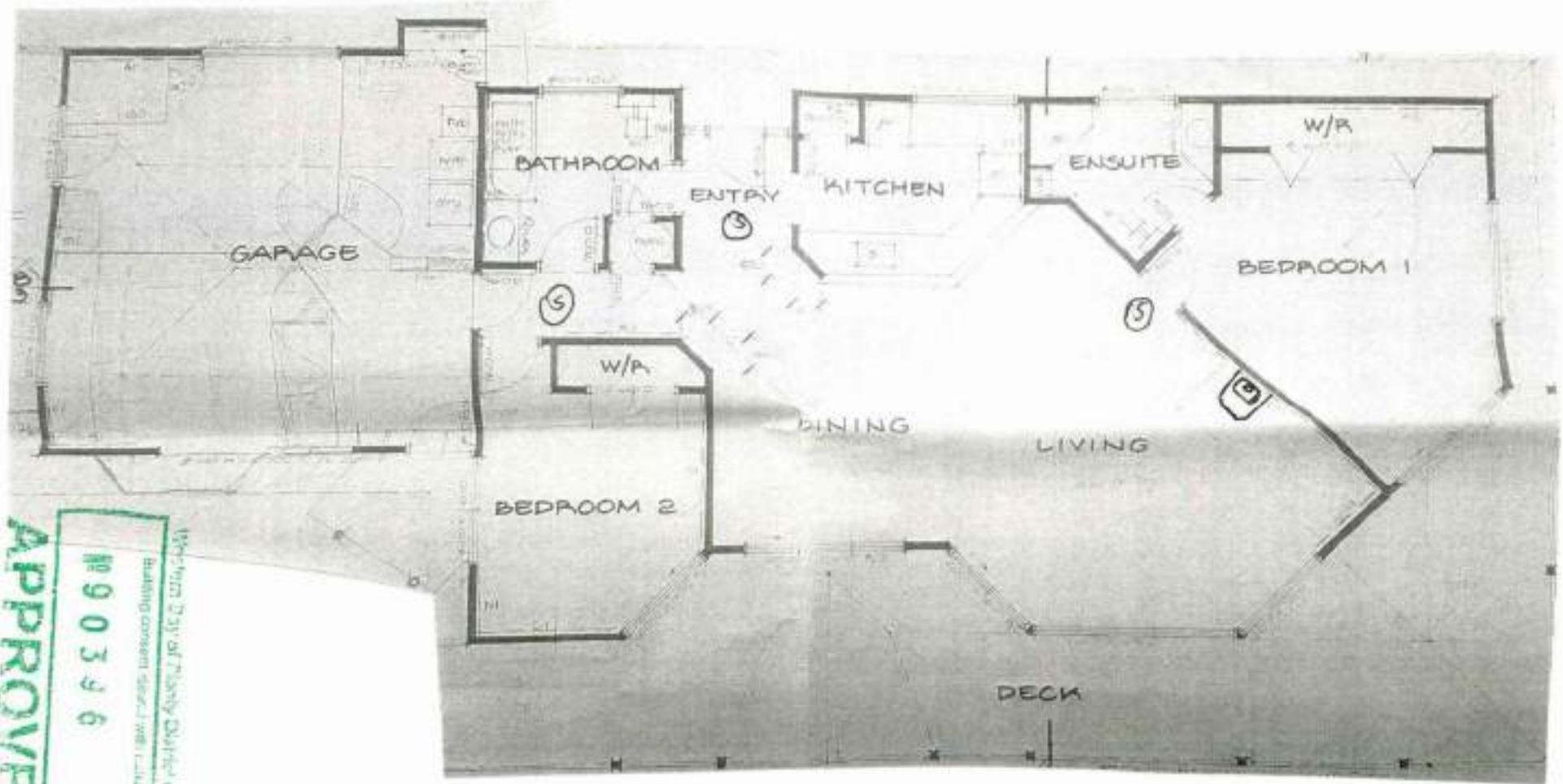
CCC application - Form 6 (BA 04)	Status Required
----------------------------------	---------------------------

Installation of Metro Woodburner

Smoke Alarms to comply with F7 Warning systems (3m from every sleeping space and on exit path)

No ridge line, hip or valley will be impacted by this flue penetration

Address: 12 Pohutukana Drive



APPROVED

№ 90396

With the City of Tisbury District Council
Building consent issued with effect

Efficiency & Emissions Compliance Certificate

Customer.	Pioneer Manufacturing Limited
Certification Date.	Tuesday, 16 September 2014
Appliance.	Free Standing Wood burning fire Metro Wee Rad Base
Tested Standard.	AS/NZS 4012:1999 AS/NZS 4013:1999
Test Fuel.	Soft Wood (Pinus Radiata)
Configuration.	Free Standing
Thermal Efficiency.	70% (as accepted under AS/NZS 4012:1999 Clause 8.5)
Emissions Rate.	0.62g/kg (as accepted under AS/NZS 4013:1999 Clause 9.2) or 45mg/MJ (in accordance with ECan AQL-2, Chapter 3)

REPORT DETAILS:

Prepared by.	Mr. Suman Das
Approved by.	Mr. Poyang Chen
Report Reference.	#0267
Release Date.	Tuesday, 16 September 2014

Laboratory opinion letter 16/09/2014 as per Spectrum Laboratories, P.Chen.



Emission and Efficiency

The National Environmental Standards (NES) require a minimum 60% efficiency and maximum 1.5 grams emission requirement on all wood fires installed on properties with a load area of less than two hectares.

There are certain regions in New Zealand that have more stringent bylaws in place. For example, Central Otago Air Shed 1 is limited to 0.7 grams and Canterbury is limited to 1 gram. Please check with your local council on the emission limits within your region.

Metro Fires offer a large range of NES and ECan approved wood fires. The majority of these can be fitted with a wetback and still meet NES and ECan compliance. In addition to these clean air approved models, Metro also offer a range of LTD models for rural home owners wanting longer burn times and full capacity wetbacks.

Clean Air Models

Specifically designed for properties less than two hectares in size. These models surpass the requirements of the NES. Utilising advanced combustion technology these Metro's have a complex firebox design which operates at higher combustion temperatures keeping emission levels to a minimum and improving efficiencies.

LTD Models

Specifically designed for properties of two hectares or greater (non clean air zones). Metro LTD models are capable of a comprehensive overnight burn with both 3kW and 4kW wetback options available.

Clean Air Models	Tested Emission & Efficiency		ECan Authorisation Numbers		Complies with NES
	Without Wetback	With Wetback	Without Wetback	With Wetback	
Tiny Ped	0.73gms/78%	1.00gms/66%	073897	050009	With & Without Wetback
Tiny Rail	0.94gms/71%	0.85gms/67%	072605	072007	With & Without Wetback
Tiny Rad - Woody	0.62gms/66%	0.54gms/66%	122397	172396	With & Without Wetback
Wee Rad - Legs	0.62gms/70%	0.68gms/67%	130810	130815	With & Without Wetback
Wee Rad - Base	0.62gms/70%	0.68gms/67%	152162	152163	With & Without Wetback
Wee Rad - Woody	0.62gms/70%	0.68gms/67%	162621	162663	With & Without Wetback
Wee Ped	0.62gms/70%	0.68gms/67%	151781	151783	With & Without Wetback
R1	0.60gms/71%	Not Tested	134103	Not Tested	Without Wetback only
R2	0.79gms/70%	Not Tested	134104	Not Tested	Without Wetback only
Ambie One	0.59gms/78%	Not Tested	120834	Not Tested	With & Without Wetback
Ambie Plus	0.42gms/69%	0.40gms/67%	120835	120836	With & Without Wetback
Classic Rad	0.63gms/67.4%	0.60gms/66.7%	151777	151779	With & Without Wetback
Xtreme Rad <small>with wetback</small>	0.64gms/67%	0.67gms/66%	132245	160209	With & Without Wetback
Xtreme Rad - Woody	0.64gms/67%	0.67gms/66%	152622	162665	With & Without Wetback
Xtreme Ped	0.64gms/67%	0.67gms/66%	141008	160207	With & Without Wetback
Euro Ped	0.65gms/70%	1.08gms/70.2%	112001/112019	156728	With & Without Wetback
Mega Rad	0.66gms/66%	0.67gms/66%	156727	156728	Without Wetback only
ECO Trend Inset	0.91gms/65%	Not tested	101059	Not Tested	With & Without Wetback
Smart Inset	0.49gms/68%	0.82gms/67%	102411	102426	With & Without Wetback
Mega Smart Built-In	0.65gms/69%	0.56gms/66%	110719	110558	With & Without Wetback

Please note, some regional councils have imposed emission requirements which take precedence over the NES, while some councils in New Zealand have imposed or are considering adopting by-laws relating to environmental dust. If in doubt, consult your local council or Metro retailer. Some Councils require a 'Test Certificate' detailing the wood fire approval details. All Metro Test Certificates are listed on metrofires.co.nz

Freestanding Specifications

Minimum clearances

All Metro wood fires comply with AS/NZS 2918:2001. Minimum clearances shown below are detailed in millimetres, with a Pioneer double flue shield fitted to the appliance. Measurements are taken from the following reference points as illustrated in the diagrams far right.

- The nearest combustible wall or surface (A, B, D, E, G, H)
- The Metro's flue centre (A, B, C, D)
- The Metro's cabinet / heatshield outermost point (E, F, G, H)
- The edge of the ash floor protector non-combustible surface (C, F, I, J, K, L, M)

Clearance reductions

AS/NZS 2918:2001 allows for a reduction in minimum clearances as detailed in tables 3.1 and 3.2 of the standard.

Some Metro models have undergone additional testing which allows for reduced clearances. Please see the footnotes below the table for the applicable models.

Specifications were correct at the time of printing, but may alter and those detailed should be used as a guide only. If in doubt, please consult your nearest Metro retailer.

Clean Air Models	Minimum installation clearances with a Pioneer double flue shield fitted													Wetback		Dimensions		
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	D	Width	Depth	Height
 Tiny Ped	210	430	580	290	25	200	185	60	790	650	990	875	250	280	470	490	530	665
 Tiny Rad	225	552	580	420	150	200	300	75	805	650	1165	925	250	280	470	505	530	665
 Tiny Rad Woody	251	568	580	382	110	230	310	100	831	650	1120	880	250	365	555	515	495	758
 Wee Rad ¹ Legs	251	568	580	455	150	230	260	100	831	825	1224	1015	425	295	485	615	501	688
 Wee Rad Base 	271	678	580	489	160	230	370	120	851	825	1270	1049	425	295	485	615	501	691
 Wee Rad Woody	271	708	580	509	200	230	400	120	851	825	1295	1069	425	365	555	615	501	758
 Wee Ped ²	253	651	580	490	170	230	350	110	843	825	1274	1050	425	295	485	602	503	665
 R1	243	774	586	554	280	244	530	100	829	825	1370	1118	425	N/A	N/A	488	485	668
 R2	246	858	626	582	275	235	570	100	872	905	1449	1203	505	N/A	N/A	575	537	690
 Ambie One	250	538	589	391	100	275	250	100	839	825	1142	960	427	350	540	577	464	717
 Ambie Plus	257	685	658	462	125	275	350	100	925	905	1217	1110	506	360	550	671	550	758
 Classic Rad ³	257	695	780	500	220	229	430	100	1037	728	1487	1168	328	393	583	530	708	680
 Xtreme Rad Legs	251	650	630	458	100	227	280	100	881	907	1277	1077	507	312	502	740	554	743

¹ Wee Rad (leg model) corner clearance (E) can be reduced to 120mm with the Wee Rad corner wing shields fitted. This in turn also reduces clearances (D) to 425mm, (K) to 1180mm and (L) to 985mm. When fitting the corner wing shields the Wee Rad itself must be installed to a corner clearance (E) of 100mm. The corner wing shields are then fitted which gives a wall to shield corner clearance of 100mm.

² Wee Ped corner clearance (E) can be reduced to 150mm if installed with a Pioneer double flue shield with the side extensions fitted. This in turn also reduces clearances (D) to 436mm, (K) to 1197mm and (L) to 996mm.

³ Classic Rad corner clearance (E) can be reduced to 180mm if installed with a Pioneer double flue shield with the side extensions fitted. This in turn also reduces clearances (D) to 460mm, (K) to 1430mm and (L) to 1127mm.

Wetback connections

Wetback connection dimensions are taken facing the Metro wood line/wall.

- Tiny Ped & Tiny Rad models are 52mm left of the flue centre
- The Tiny Rad Woody model is 384mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 354mm left of the flue centre
- All other models including all LTD freestanding models are 140mm left of the flue centre.

Ambience models



All other models



		Minimum installation clearances with a Pioneer double flue shield fitted													Wetback		Dimensions		
Clean Air Models		A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
	Xtreme Rad Base	251	650	630	458	100	227	280	100	881	907	1277	1077	507	512	502	740	554	743
	Xtreme Rad Woody	251	680	630	478	120	227	310	100	881	907	1292	1097	507	382	572	740	554	813
	Xtreme Ped	251	624	630	441	70	227	280	100	881	907	1254	1065	507	312	502	688	554	721
	Euro Ped 1	230	585	625	495	170	200	250	80	855	905	1325	1120	508	325	515	670	575	715
	Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1431	1227	606	300	490	840	659	744
		Minimum installation clearances with a Pioneer double flue shield fitted													Wetback		Dimensions		
LTD Models		A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height
	LTD Wee Rad Legs	251	548	580	425	120	230	240	100	831	825	1180	985	425	295	485	615	501	688
	LTD Wee Rad Base	251	658	580	480	180	230	350	100	831	825	1270	1049	425	300	490	615	501	691
	LTD Wee Rad Woody	271	708	580	509	200	230	400	120	831	825	1285	1069	425	350	550	615	501	758
	LTD Xtreme Rad Legs	251	650	630	458	100	227	280	100	881	907	1277	1081	507	350	540	740	554	743
	LTD Xtreme Rad Base	251	650	630	458	100	227	280	100	881	907	1277	1081	507	350	540	740	554	743
	LTD Xtreme Rad Woody	251	680	630	478	120	227	310	100	881	907	1292	1097	507	420	610	740	554	813
	LTD Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1431	1227	606	300	490	840	659	744

† Euro Ped corner clearance (E) can be reduced to 110mm if installed with a Pioneer double flue shield with the side extensions fitted. This in turn also reduces clearances (D) to 435mm, (K) to 1240mm and (L) to 1060mm.

All details are correct and current at the time of printing. Specifications are subject to change without notification. If in doubt consult your Metro retailer.

Wood Fire Installation & Owner's Operation Manual



metrofires

Freestanding Wood Fires

Important information.....	2	Optional wetbacks.....	9
Assembling your Metro fire.....	2	Getting to know your Metro fire.....	10
Floor protector.....	4	Operating your Metro fire.....	10
Direct vent option.....	5	Cleaning and maintenance.....	11
Wetback and flue installation.....	6	Troubleshooting.....	12
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Where to install a Metro fire in your home.....	9	Heating accessories.....	16

⚠ WARNING! Important Information

- **WE HIGHLY RECOMMEND YOU READ THIS ENTIRE MANUAL AS INCORRECT OPERATION, MISUSE AND/OR LACK OF MAINTENANCE WILL VOID THE WARRANTY**
- The appliance and flue-system shall be installed in accordance with AS/NZS2918 and the appropriate requirements of the relevant building code or codes
- Any modification of the appliance that has not been approved in writing by the testing authority is considered to be in breach of the approval granted for compliance with AS/NZS4013 and will void the warranty
- The appliance must be installed correctly. We recommend a competent and suitably qualified NZHHA installer

⚠ CAUTION! Important Information

- Mixing of appliance or flue-system components from different sources or modifying the dimensional specification or components may result in hazardous conditions. Where such action is considered, the manufacturer should be consulted in the first instance
- Do not install a Metro fire if there is any sign of visible damage to the product
- This appliance must be regularly maintained.
- Use authorised Metro replacement parts only. The use of unauthorised parts may void the warranty
- This manual **MUST** be left with the home owner

All Metro wood fires comply with AS/NZS2918:2001 when installed in accordance with this manual. Please ensure you are fully conversant with the relevant standard and the contents of this manual. Correct installation is critical to the safe operation and performance of this wood fire.

Please take particular note of the following:

- It is recommended that Metro fires be installed with a Metro ECO flue system which has been developed to enhance the performance of Metro wood fires. Any alternative flue system must have a minimum flue pipe length of 4.2 metres of 150mm diameter flue pipe & have been tested to AS/NZS2918:2001
- The 150mm active flue pipe must be fully encased from the ceiling to the underside of the flashing zone at the top of the flue system, i.e. there must not be any 150mm flue pipe exposed

- All flue pipe joints must be sealed and riveted. The bottom of the flue pipe in particular **MUST** be fully sealed into the flue outlet of the Metro fire
- In New Zealand, the Metro fire must be bolted through the floor protector into the floor to comply with the seismic restraint provisions of AS/NZS2918:2001
- All Metro's are extremely heavy, varying in weight from 75kgs up to 185kgs. During the installation process do not lift the appliance by yourself, and take care not to damage the panel coating
- Please take care when lifting the Metro fire into place onto the hearth or floor protector as point loading may break tiles and/or scratch surfaces.

Assembling your Metro wood fire

Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation. The Metro carton shows the model Metro you are about to install, enabling you to select the appropriate model's assembly instructions.

All Metro wood fires are packed in a single heavy-duty carton, and tok screwed to a wooden pallet. Having removed the packaging and located this manual, familiarise yourself with the illustrations on pages 2 & 3, and proceed as follows

Metro radiant fires

These Metro's are supplied virtually fully assembled. Packed inside the firebox you will find bricks in a cardboard wrapper, a wire door handle and the air control wire handle.

- Remove the two tok screws located at the base of each rear leg which secure the Metro to the wooden pallet, and carefully 'walk' the Metro off the pallet
- Open the door fully and fit the side bricks to each side of the firebox. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2
- Attach the door handle to the door latch assembly by screwing it on clockwise.
- Attach the air control wire handle by screwing it on clockwise.



Assembling your Metro wood fire

Please note: You should only assemble this wood fire if you are suitably experienced in wood fire assembly and installation.

Metro pedestal and base model fires

To eliminate freight damage, the pedestal base has been packaged inside the firebox. To safely assemble your Metro, please proceed as follows:

- Lift off the top grill (convection models only) and place somewhere safe. Be careful not to chip the enamel coating or damage paint
- Open the door 45 degrees and lift the door off the hinge and place somewhere safe. Be careful not to damage the finish
- Remove the pedestal packed in a cardboard wrap
- Remove the pedestal mount plate

Note: The ECO Tiny Ped model utilizes a slightly different pedestal to that detailed in Diagram 1. The rear panel on the pedestal must be turned around with the return hole facing back the opposite way. This then creates the mounting plate.

- Remove the pedestal heat shield

Note: For some models the pedestal heat shield may be taped to the rear heat shield. The ECO Tiny Ped's pedestal heat shield is pre-fitted.

- Remove the side bricks, door handle and the bolt bag
- Remove the 2 tek screws at the base of the inside of the firebox that fix the wood fire to the pallet.

It is recommended that 2 people work together with the next step:

- Grab the underneath top of the firebox door opening with one hand, holding the flue spigot with the other, slowly lift the front of the wood fire all the way back and rest the wood fire on its rear heat shield on the floor. Remove the packaging pallet.
- Fit the pedestal heat shield over the 4 bolts as shown in Diagram 1, with the open edge facing the front of the Metro (up)
- Position the pedestal with its front being over the 4 bolts and fit the washers and nuts supplied. Check to ensure the pedestal is correctly aligned and securely tighten the nuts.

It is recommended that 2 people work together with the next step:

- Grab the flue spigot with one hand and the other hand underneath the top of the firebox door opening. Lift upwards sliding the wood fire onto its pedestal
- Fit the side bricks to each side of the fire box. Location lugs are fitted to the base and rear wall of the firebox to retain the side bricks in position. Refer to Diagram 2.
- Re-fit the door and top grill (Convection models only)

All Metro models

Check to ensure the top baffle is in its correct position in the top chamber of the firebox. It should be resting on four support lugs (two on each side of the firebox). The baffle must be held back against the rear of the firebox with the "promet extension" (white board) or return horizontal edge of the baffle facing forward as illustrated in Diagram 2.

Note: Some models feature a two-piece top baffle.

Diagram 1

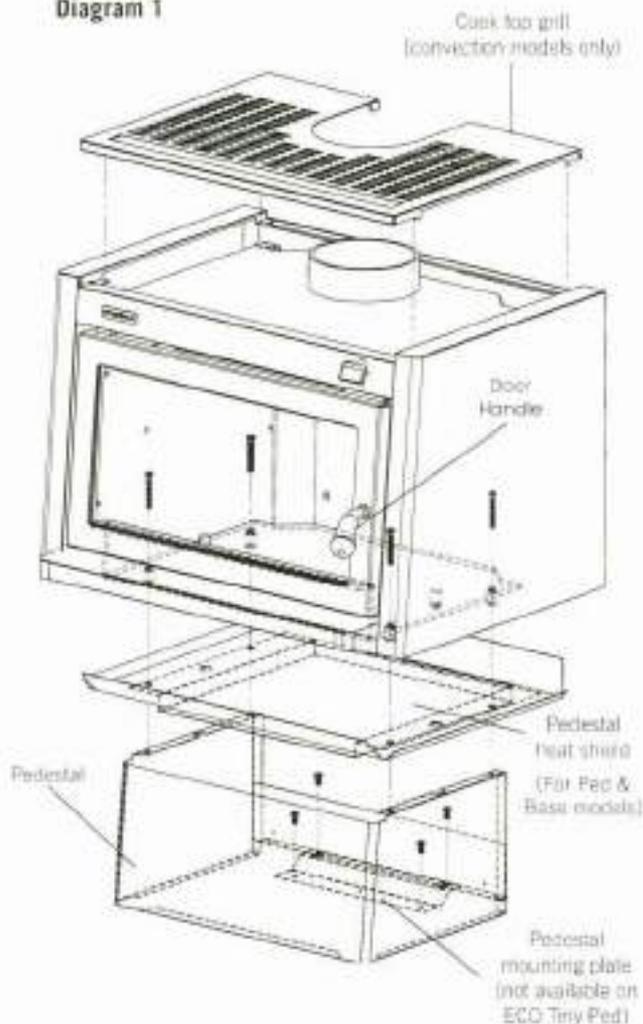
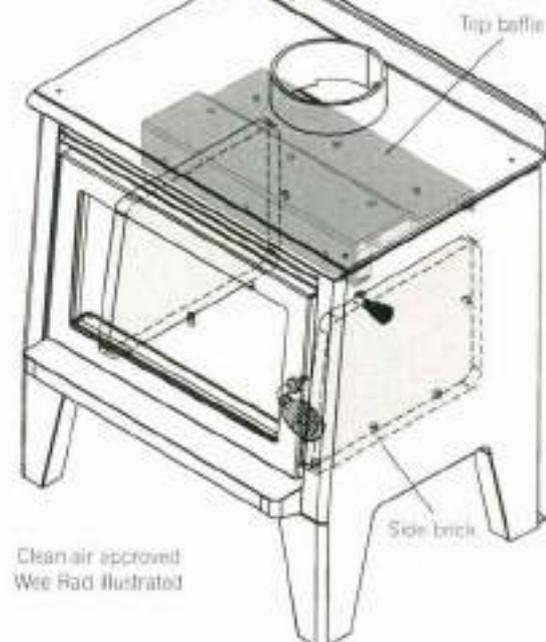


Diagram 2



Floor protector size, construction and fitting

Pioneer manufacture an extensive range of Pioneer 'Ash Floor Protectors' which comply with the minimum floor protector requirements of AS/NZS2918:2001, and can be installed with any freestanding Metro wood fire. Metro freestanding wood fires do not require an insulated floor protector as they comply with the minimum floor protector requirements of AS/NZS2918:2001. These minimum floor protector requirements are:

- They must be of adequate size to give appropriate wall, rear and front clearances/projections as detailed below and in the chart illustrated on page 7. *Note:*
- The floor protector must extend 200mm horizontally to the rear and each side directly below the door opening, and 300mm forward of the door opening
- The upper surface of the floor protector must be made of non-combustible material.

A suitable floor protector for a Metro freestanding wood fire is therefore any non-combustible material which could include:

- Ceramic tiles with grouted joints fixed directly to a hard base over timber flooring
- A sheet of toughened glass, panel steel etc. laid directly onto a wooden or other combustible floor.

Metro radiant fires

Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded. Once the Metro's location on the floor protector is established and if the installation is within New Zealand, seismic restraint is required.

Using masonry anchors if the floor protector is on a concrete floor or coach bolts if a wooden floor, secure through the holes provided at the base, behind both rear legs.

Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.

Metro pedestal and base model fires

Lift the Metro fire onto the floor protector and using a suitable measuring device, ensure that the minimum wall clearances and front floor protector projections as detailed in the chart on page 7 are met or exceeded.

These models (excluding the FGD Tiny Pedl) are supplied with a 'pedestal mounting plate'. Refer to Diagram 3. Once the location of this mounting plate is established, mark the seismic restraint points and shuffle the fire forward to allow securing of the mount plate through the floor protector into the floor using both of the two holes provided.

Use masonry anchors if the floor protector is on a concrete floor or coach bolts if a wooden floor. The fire can then be shuffled back into position and attached to the fixed mounting plate using the two M6 x12 bolts supplied.

Note: The anchors must pass through the floor protector and securely anchor the Metro to the floor.

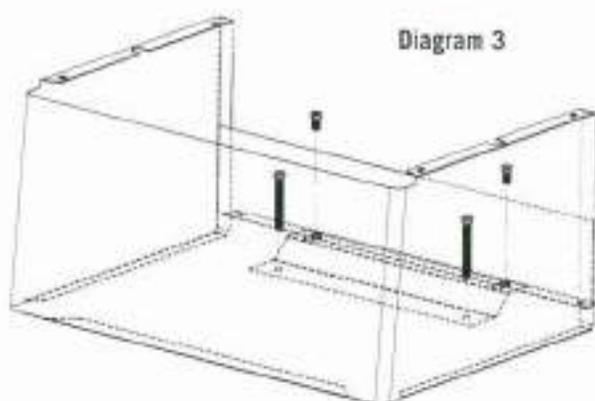
Alternative Metro Mount Plate Installation

For installers when cosmetics of the mounting plate are not an issue, it is possible to 'invert' the mounting plate and use it as a means of bolting the Metro directly to the floor, through the floor protector. Refer to Diagram 3A and note:

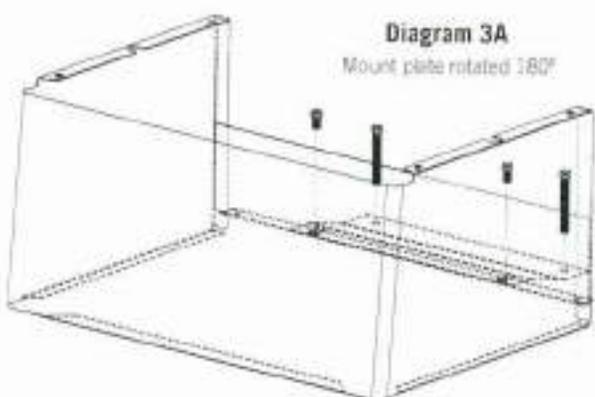
1. Rotate the mount plate 180 degrees.
2. Secure the mount plate to the wood fires pedestal/base using the two M6 x12 bolts supplied.

You can then secure the Metro through the floor protector into the floor using the two seismic restraint holes in the rear edge of the mount plate. Use masonry anchors if the floor protector is on a concrete floor or coach bolts if a wooden floor.

Standard installation



Alternative installation



Flue installation

It is recommended that all Metro freestanding wood fires be installed with the energy efficient Metro ECO flue system which comes complete with a detailed installation manual. This installation manual must be presented with your application to gain consent with your local council.

A copy of the ECO Flue Systems installation manual can be downloaded from metrofires.co.nz, or a copy can be obtained from your Metro retailer. Any alternative flue system must comply with and be installed as detailed in AS/NZS2918:2001, and a copy of the installation manual must also be presented with your application to gain consent with your local council.

All Metro fires require a 150mm diameter flue. Please note:

- Metro ECO Flue Systems must be installed to allow unrestricted air supply from either the ceiling cavity for an ECO Base Flue Kit, or above the roof line if the Base & Option Kits are both installed.
- The ECO Base Flue system must be installed into a 'vented' flat ceiling cavity, or have an ECO Option Kit added to the flue system to provide an external air supply.

- Metro ECO Flue Systems shall be installed in accordance with AS/NZS2918:2001 and the appropriate requirements of the relevant building codes.
- Any modification to this flue system that has not been approved in writing by the testing authority is considered to be in breach of all approvals granted.
- The flue system's 150mm diameter flue pipe must terminate a minimum of 4.6 metres above the top surface of the floor protector.
- All joints in the flue pipe must be sealed with Pioneer fire cement (or similar) and riveted. The base of the flue pipe must also be sealed into the Metro fire's flue outlet. This is critical for optimum operation.

All Metro fires have been tested with a Pioneer double flue shield. For the Metro fire to be installed with minimal clearances as the clearance table on page 7 states, only the Pioneer double flue shield can be used. All other flue shields will invalidate the installation.

Direct vent option

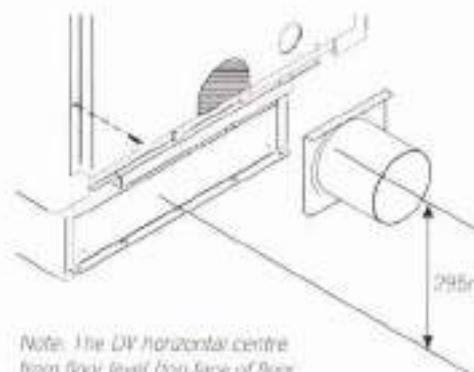
The ECO Euro Ped has the option to be installed as 'Direct Vent' appliance, drawing all primary and secondary combustion air from outside the home. Once connected, this venting option ensures the air that is heated within the home, stays in the home improving efficiency and reducing fuel usage.

Note: Connection of the Metro's direct vent inlet to outside the home is optional. If not connected this Direct Vent model still offers greatly improved performance and lower emissions due to the unique pre-heated air path for all primary and secondary combustion air that this model consumes.

Direct Vent Options

Three Direct Vent kits are available to connect the ECO DV Metro to an air supply from outside the home. The kits available include:

- DV WALL KIT – For installations when the Metro fire is installed against an outside wall.
- DV FLOOR KIT – For installations onto a floor which has a free air supply below it.
- DV CEILING KIT – For installations when the Metro fire is installed against an internal wall and on a concrete floor. The DV Ceiling kit goes into the wall cavity, up inside the wall into the ceiling cavity, where the air supply is drawn from.



Note: The DV horizontal centre from floor level (top base of floor protector/hearth) is 295mm.



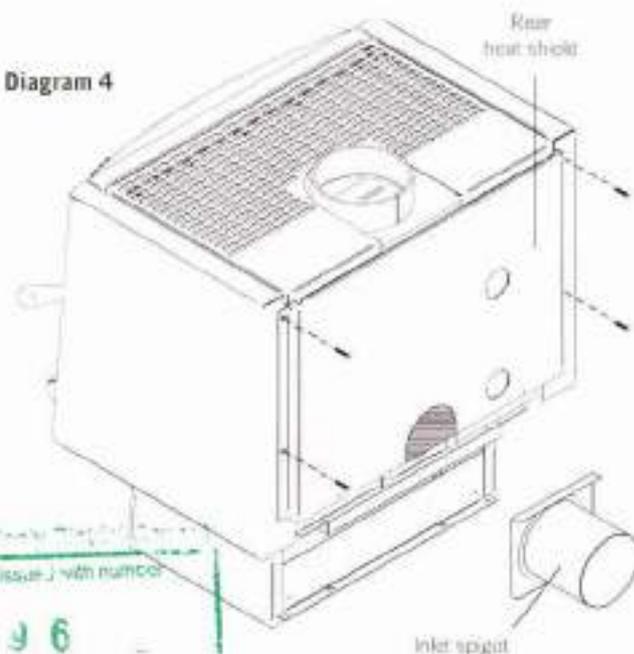
Installing the Direct Vent Option

Remove the rear heatshield from the Metro wood fire by unscrewing the four self-lapping screws illustrated in Diagram 4 and proceed as follows:

1. Remove the section of panel illustrated with a 'hatch', from the mid-bottom section of the rear heatshield. This section to be removed has been pre-punched and only requires a few small tabs to be cut.
2. Take the 'inlet spigot' supplied in the Direct Vent kit and slide it fully down into position into the brackets provided on the rear of the firebox.
3. Re-fit the Metro's rear heatshield with the four screws.

The Metro wood fire is now ready for installation once you have pre-fitted the Direct Vent kit into the wall or floor. Full instructions for this procedure are supplied with the Direct Vent kits.

Diagram 4



Wetback installation

⚠ WARNING! Important Information

- **DO NOT** connect to an unvented hot water system
- Install in accordance with AS 3500.4.1 or NZS 4603 and the appropriate requirements of the relevant building code or codes.

⚠ CAUTION! Important Information

- Wetbacks must be connected with water before operating the fire and available to the wetback while the fire is in operation
- Wetback systems are not suitable for use in locations where the water supply has lime content. Lime build up inside the coil will eventually block the coil causing the wetback to fail
- Rainwater collection tanks installed lower than the wetback that use a water pump to supply the home, can cause problems if the pump is not operational. In these situations either the type of wetback or a roof header tank should be considered

Wetback	Suitable for models:
2kW Wetback 	<ul style="list-style-type: none">• ECO Tiny Rad• ECO Tiny Pod
Side Wetback 	<ul style="list-style-type: none">• Tiny Rad Woody• Wee Rad & Wee Rad Base• Wee Rad Woody• Wee Pod• Classic Rad
ECO Wetback 	<ul style="list-style-type: none">• ECO Euro Pod
3kW Wetback 	<ul style="list-style-type: none">• Xtreme Rad & Xtreme Rad Base• Xtreme Rad Woody• Xtreme Pod• Mega Rad• All LTD rural models
4kW Wetback 	<ul style="list-style-type: none">• All LTD rural models

The R1 and R2 models cannot be fitted with a wetback.

Water heating is another key feature of your Metro wood fire, nearly all Metro models can be fitted with a wetback, which are designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer cast jacket wetback system should be fitted to your Metro, alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void its warranty.

Wetback connections are as follows, taken facing the Metro/wall, the return pipe connection is directly above the inlet connection. Heights for all models are illustrated and detailed opposite on page 7.

- ECO Tiny Pod and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

All wetbacks are fitted to the inside rear wall of the firebox, with the exception of the Tiny Rad Woody, clean air Wee Series models and the Classic Rad model. Side wetback position for these models is to the outside left hand firebox wall. Please see the specific installation instructions in the 'Side Wetback' box for installation of a wetback into these appliances.

It is recommended the return pipe has a minimum rise of 1 in 12; performance will reduce as the distance to the storage cylinder increases.

To fit the wetback proceed as follows:

1. Remove the rear panel of the Metro by removing the four posi drive screws. Remove the two pre-punched knockouts from this panel.
 2. Two further knockouts will be visible on the inner rear heatshield, remove these also. Once these are removed 6mm nuts will be visible through the knockout holes.
 3. Open the Metro's door and locate two bolts securing the pressed washers which are visible on the left hand side of the firebox for both inlet and outlet connection points.
 4. A further three bolt heads will also be visible on the inside rear wall of the firebox, these are threaded into the 6mm thick firebox. Remove all three.
 5. Using the tube of sealant supplied with the wetback, apply a liberal bead of sealant around both the two connection pipes and also the outer circumference of the wetback which will face and press against the inside rear wall of the firebox. This will completely seal the wetback to the inside rear wall of the fire on installation.
- Ensure there is no gap between pipe and rear wall access holes. This cement must fully cure before appliance use.
6. Fit the wetback into the firebox and carefully pass the connection pipes through the holes in the rear of the firebox. Securely attach the wetback using the three bolts previously removed from the rear face of the firebox, fitting them through the slots provided in the wetback's jacket.
 7. The wetback is now ready for connection to the storage cylinder by a registered plumber.

Metro clearances and specifications (Minimum clearances shown are in mm, with a Pioneer double flue shield fitted)

Minimum clearances

All Metro wood fires comply with AS/NZS2918:2001. Minimum clearances shown below are detailed in millimetres, with a Pioneer double flue shield fitted to the appliance. Measurements are taken from the following reference points as illustrated:

- From the nearest combustible wall or surface (A, B, D, F, G, H)
- From the Metro's flue centre (A, B, C, D)
- From the Metro's cabinet/heatshield outermost point (E, F, G, H)
- To the edge of the ash floor protector non-combustible surface (C, F, I, J, K, L, M)

AS/NZS2918:2001 allows for a reduction in minimum clearances as detailed in Section 3, tables 3.1 and 3.2 of the standard.

Some Metro models have undergone additional testing which allows for reduced clearances. Please see the footnotes below the clearance table for the applicable models.

Wetback connections (taken facing the Metro/wall)

- ECO Tiny Ped and ECO Tiny Rad models are 92mm left of the flue centre
- The Tiny Rad Woody model is 184mm left of the flue centre
- Wee Series models are 226mm left of the flue centre
- The Classic Rad model is 184mm left of the flue centre
- All other models are 140mm left of the flue centre

Specifications were correct at the time of printing, but may alter and those detailed within should be used only as a guide. If in doubt, please consult your Metro retailer or metrofires.com.au.



Clear air models	Minimum installation clearances with a Pioneer double flueshield fitted (mm)														Wetback		Dimensions		
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height	
ECO Tiny Ped	210	430	580	290	25	200	185	60	780	650	990	875	250	280	470	490	530	665	
ECO Tiny Rad	225	552	580	420	150	200	300	75	805	650	1165	925	250	280	470	505	530	665	
Tiny Rad Woody	251	568	580	380	110	290	310	100	851	690	1120	880	250	265	555	515	498	758	
R1	243	774	586	554	280	244	630	100	820	825	1370	1118	425	N/A	N/A	488	485	668	
R2	296	858	626	582	275	235	670	100	872	905	1449	1002	505	N/A	N/A	575	537	890	
Wee Rad ¹	251	568	580	455	150	230	260	100	831	825	1224	1015	425	295	485	615	501	688	
Wee Rad Base	271	678	580	489	180	290	370	120	851	825	1270	1049	425	295	485	615	501	691	
Wee Rad Woody	271	708	580	509	200	290	400	120	851	825	1285	1069	425	265	555	615	501	758	
Wee Ped ²	251	651	580	430	170	230	350	110	843	825	1274	1050	425	295	485	600	503	660	
Classic Rad ³	257	695	780	500	220	229	430	100	1037	728	1487	1168	328	393	583	530	707	680	
Xtreme Ped	251	624	630	441	110	277	280	100	881	907	1254	1065	507	312	502	688	554	721	
Xtreme Rad	251	650	630	458	100	227	280	100	881	907	1277	1077	507	312	502	740	554	743	
Xtreme Rad Base	251	690	630	458	100	227	280	100	881	907	1277	1077	507	312	502	740	554	743	
Xtreme Rad Woody	251	680	630	478	120	227	310	100	881	907	1292	1097	507	382	572	740	554	813	
ECO Euro Ped DV ⁴	230	585	625	485	170	200	250	80	855	905	1325	1120	505	325	515	670	575	715	
Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1431	1227	606	300	490	840	659	744	
LTD rural models	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Width	Depth	Height	
LTD Wee Rad	251	548	580	425	120	230	240	100	831	825	1180	985	425	295	485	615	501	688	
LTD Wee Rad Base	251	658	580	489	180	290	370	100	831	825	1270	1049	425	300	490	615	501	691	
LTD Wee Rad Woody	271	708	580	509	200	290	400	120	851	825	1285	1069	425	265	550	615	501	758	
LTD Xtreme Rad	251	650	630	458	100	227	280	100	881	907	1277	1081	507	350	540	740	554	743	
LTD Xtreme Rad Base	251	650	630	458	100	227	280	100	881	907	1277	1081	507	350	540	740	554	743	
LTD Xtreme Rad Woody	251	680	630	478	120	227	310	100	881	907	1292	1097	507	420	610	740	554	813	
LTD Mega Rad	285	720	728	497	100	224	300	130	1013	1006	1431	1227	606	300	490	840	659	744	

The Wee Rad installed with a Pioneer double flue shield with the Wee Rad corner wing shields fitted allows for reduced clearances as follows:

¹ Wee Rad corner clearance (E) can be reduced to 120mm. This in turn also reduces clearances (D) to 425mm, (K) to 1180mm and (L) to 985mm. When using the corner wing shields, the Wee Rad shield must be installed to a corner clearance (E) of 120mm. The corner wing shields are then fitted which gives a wall to shield corner clearance of 100mm.

The following models installed with a Pioneer double flue shield with the side extensions fitted allows for reduced clearances as follows:

² Wee Ped corner clearance (E) can be reduced to 115mm. This in turn also reduces clearances (D) to 435mm, (K) to 1197mm and (L) to 995mm.

³ Classic Rad corner clearance (E) can be reduced to 180mm. This in turn also reduces clearances (D) to 465mm, (K) to 1430mm and (L) to 1177mm.

⁴ ECO Euro Ped corner clearance (E) can be reduced to 110mm. This in turn also reduces clearances (D) to 435mm, (K) to 1240mm and (L) to 1050mm.



Sheetmetal Fabricated Products Ltd.

150 MM FREE STANDING WOODFIRE COMBINATION COWL FLUE KIT INSTALLATION INSTRUCTIONS

WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES. WOOD FIRE AND FLUE CLEARANCES FROM COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.

CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.

CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO.

BENDS AND EXTENSIONS TO THE LENGTH OF A FLUE SYSTEM ARE PERMITTED (AS/NZS 2918 2001 4.1)

- 1) Locate Wood Fire in its proposed position and mark a point on the ceiling that is directly above the centre of the Wood Fire's Flue Spigot. Check that the Wood Fire's location allows the OUTER CASING to clear all structural roof timbers.
- 2) Cut a 250mm square hole in ceiling. Directly above cut a hole in roof to accommodate OUTER CASING.
- 3) Fit timber nogs around ceiling. i.e. Nogs form a 250mm square aperture that allows air to circulate freely over the OUTER CASING surface.
- 4) Position the OUTER CASING so that it is flush with the underneath of the ceiling and protrudes through the roof the required height. Note that AS/NZS 2918:2001 4.9.1(a) states, "the FLUE PIPE shall extend not less than 4.6m above the top of the floor protector". Refer to diagram B.
 - a) If the FLUE PIPE is within 3 metres of the ridge, the FLUE PIPE must protrude at least 600mm above the ridge of the roof.
 - b) If the distance from the ridge is more than 3 metres, the FLUE PIPE must protrude at least 1000mm above roof penetration.
 - c) The FLUE PIPE must be more than 3 metres from any nearby structure. (Refer diagram C).

Additional OUTER CASING and INNER CASING may have to be added to ensure the following:

- I) The correct minimum roof penetration height.
- II) Sufficient overall height to encase the FLUE PIPE which must extend a minimum of 4.6 metres from the floor protector. Refer diagram B.

Note that the INNER CASING should extend 200mm above roof penetration.

NB: Do not secure the OUTER CASING SLIP EXTENSION onto the OUTER CASING, as final adjustment will be required when fitting cowl assembly. See Paragraph 11.

- 5) Fix an appropriate flashing around the OUTER CASING to seal onto the roofing material. Refer to the manufacturer's recommendations for correct fitting. NB: On iron roofs, fixings such as metal angle brackets (approximately 25mm x 25mm) can be fitted under the flashing to securely fix the roof to OUTER CASING.
- 6) Drill holes in CEILING PLATE for the fixing screws. Place CEILING PLATE over Wood Fire Flue Spigot, ensuring the folded edges are facing the ceiling.
- 7) Position bottom length of FLUE PIPE (crimped end downwards) into Wood Fire Flue Spigot.

Refer to the supplier of the Wood Fire and use flue pipe sealant if recommended.

- 8) Assemble FLUE PIPES together ensuring seams are straight, offsetting the seams will ensure a neat fit. FLUE PIPES **must** be assembled with crimped ends down (towards Wood Fire). Secure each joint with a minimum of 3 monel steel rivets equally spaced around the joint. If using HI-THERM FLUE PIPE the protective wrapping should be left on the FLUE PIPE during installation.
- 9) From the roof lower FLUE PIPE through OUTER CASING into the bottom FLUE PIPE securing with three monel rivets.
- 10) Check that the FLUE PIPE SPACING BRACKETS inside the INNER CASING are correctly positioned and then from the roof slide the INNER CASING into the OUTER CASING until the brackets rest on to the internal swage ring of the OUTER CASING, this will ensure the INNER CASING is the correct 12mm above ceiling level.

Check the INNER CASING when correctly positioned extends a minimum of 200mm above the roof penetration.

- 11) Before securing the OUTER CASING SLIP EXTENSION to the OUTER CASING with 3 rivets, ensure the FLUE PIPE is either flush with or extends above the top of the OUTER CASING SLIP EXTENSION by no more than 15mm. Adjust SLIP EXTENSION to obtain this measurement.
- 12) Push CASING COVER (with spigot inside FLUE PIPE) down onto the OUTER CASING SLIP EXTENSION. The 3 locating brackets with holes must be on the outside of the OUTER CASING SLIP EXTENSION and are secured using 3 rivets.
- 13) Fit COWL but do not secure, as removal for flue cleaning will be necessary. Deform or ovalise the stub of the COWL to ensure it is a tight friction fit.
- 14) Fasten CEILING PLATE to ceiling using screws and ceramic spacers provided. Ensure an even air gap around FLUE PIPE when fixing. Remove protective plastic from CEILING PLATE. N.B. 12mm air gap between ceiling plate and ceiling must be maintained.
- 15) Leave all installation and operating instructions with the owner.

Cleaning of Flue Pipes before lighting the fire.

Stainless Steel pipe should be wiped clean using a soft cloth and methylated spirits to remove finger marks and oils used to manufacture the flue pipe.

Hi-Therm flue pipe can be touched up using only STOVE BRIGHT aerosol paint.

150mm Free Standing Wood Fire Combination Cowl Flue Kit Installation Instructions Complies with AS/NZS 2918:2001

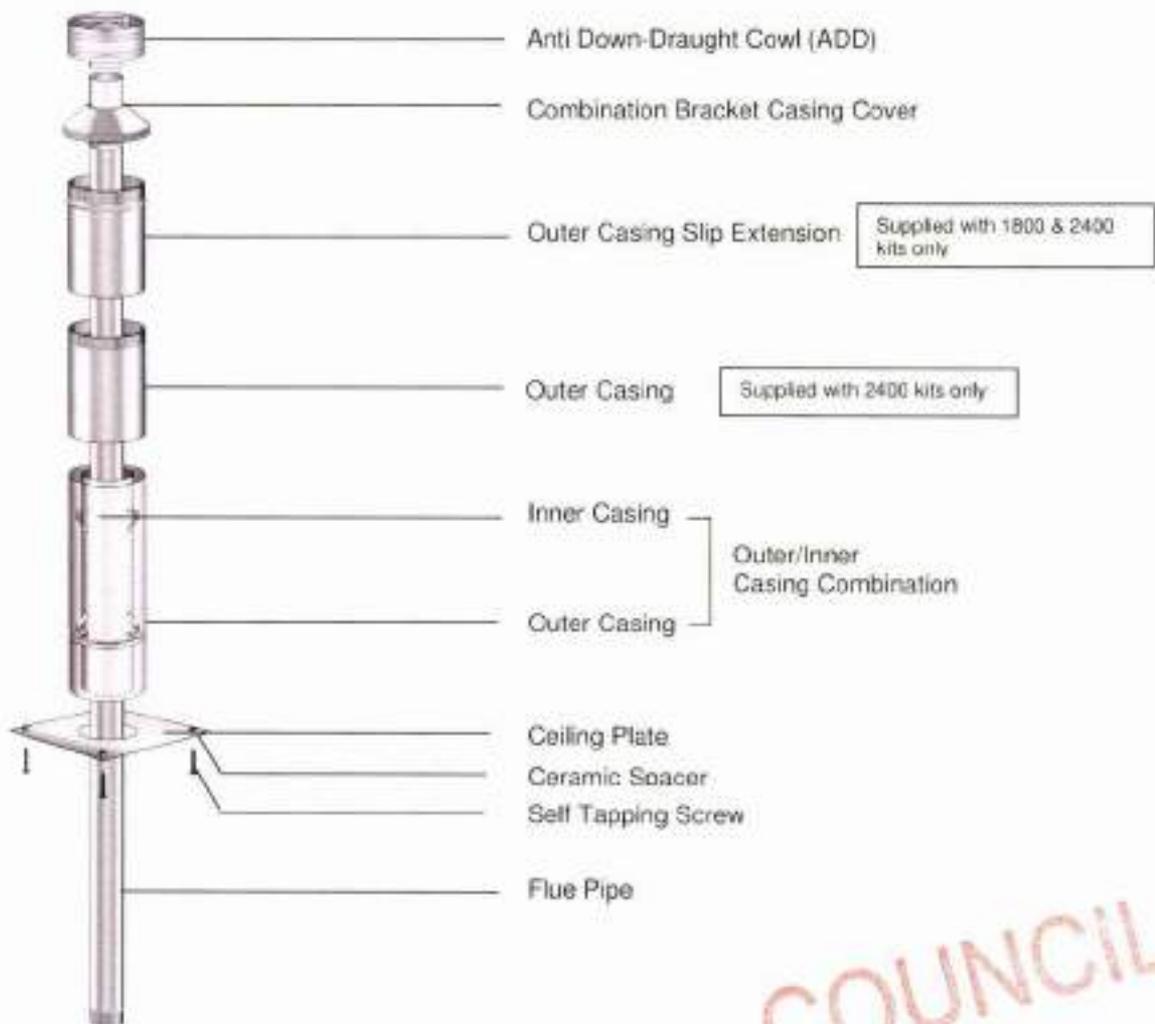
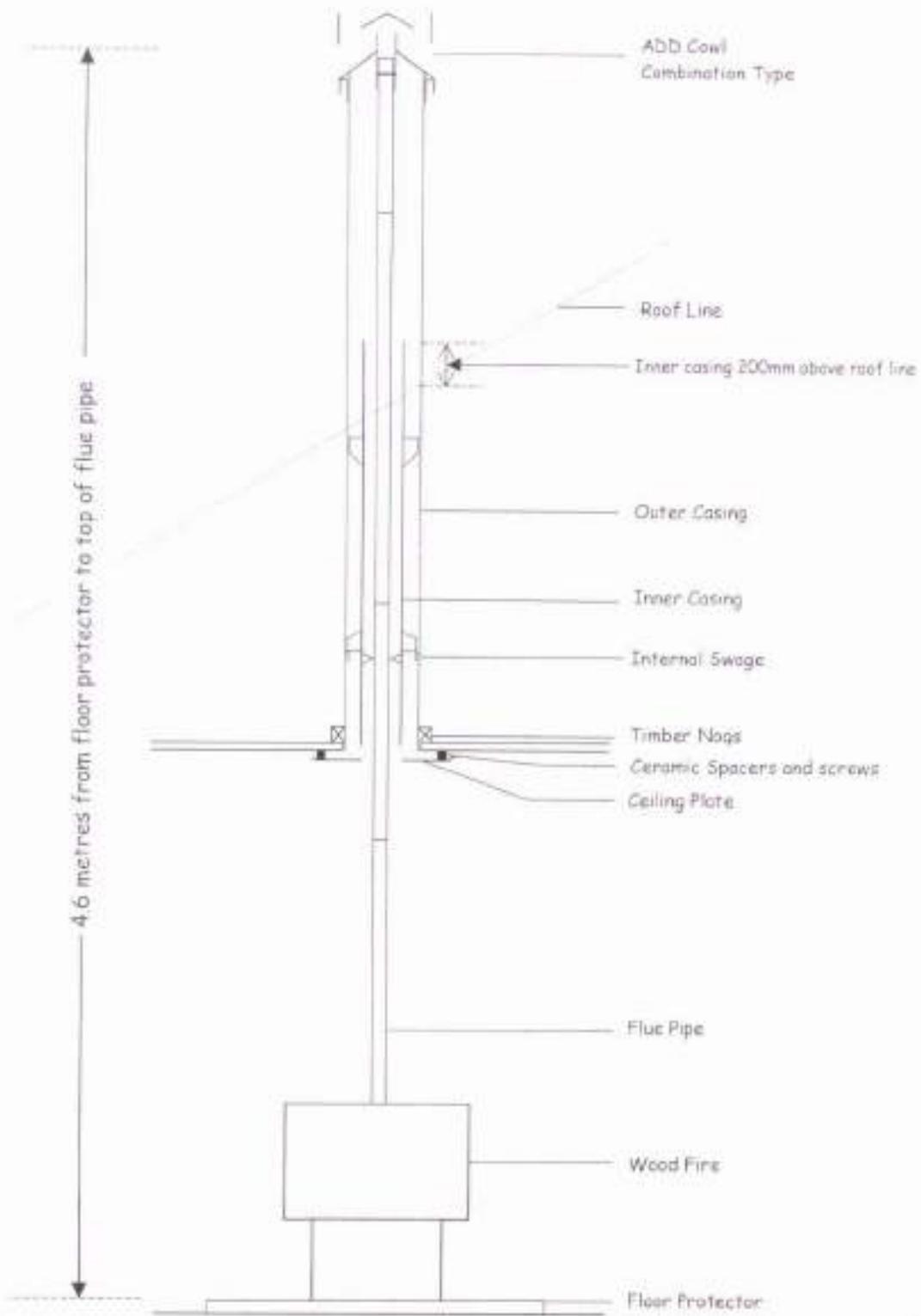


Diagram B



HI-THERM STAINLESS STEEL FLUE PIPES

- *HI-THERM Flue Pipe is a high temperature, matt finish Flue Pipe designed for use on slow combustion, solid fuel heaters.*
- *HI-THERM Flue Pipe is ideal for heaters that have high flue temperatures and that also can be operated under circumstances that may produce creosoting of Flue Pipes for short periods of time, ie, on refuelling and with air control in shut or low position. Clean air guidelines must be observed.*
- *HI-THERM Flue Pipe is a **maintainable** product.*

CONDITIONS OF USE

- *The Wood Fire must be operated in accordance with the manufacturer's instructions. Clean air guidelines and regulations must be observed.*
- *HI-THERM Flue Pipe must be swept by mechanical means only. (We recommend mixed head or polypropylene brushes). Under NO circumstances should chemical flue cleaners, (soot destroyers) or steel chimney brushes be used.*
- *HI-THERM Flue Pipe should not be used on a Wood Fire burning treated or wet (unseasoned) wood. **Only use newspaper when lighting the fire; never burn colour printed brochures or junk mail.***
- *HI-THERM Flue Pipes **must** be secured together with a minimum of three Monel Steel rivets equally spaced around the joint.*
- *The paint finish appearance may change, depending on heater operation and is designed to be a MAINTAINABLE finish. To maintain paint finish or touch up use only genuine STOVE BRIGHT Aerosol. (Refer label on packaging).*
- *HI-THERM Flue Pipe must be installed in accordance with SFP installation instructions, using flue componentry supplied by SFP. It is the responsibility of the installer to ensure no water leaks into the Hi-Therm Flue System.*
- *The Stainless Steel Flue Pipe used in "Hi-Therm Stainless Steel Flue Pipe" is warranted for five years, providing the above conditions are met.*

**FAILURE TO OBSERVE THESE CONDITIONS
MAY NEGATE WARRANTIES**

150 MM SLOPED CEILING PENETRATION UNIT FREE STANDING FLUE KIT INSTALLATION INSTRUCTIONS

WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS. WOOD FIRE AND FLUE PIPE CLEARANCES FROM COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.

CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO.

Before commencing FLUE KIT installation the angle of the ceiling (from the horizontal) must be determined to ensure the following requirements are adhered to in the completed installation

- The 250mm DROP CASING TRIM UNIT and OUTER/INNER CASING COMBINATION must extend a minimum of 150mm below the underside of the ceiling. (measured on lower or shorter side of penetration)
- A minimum dimension of 254mm measured horizontally from the FLUE PIPE to the unprotected CEILING is achieved.
- The CEILING PLATE extends a minimum of 70mm from the 250mm DROP CASING UNIT (400mm square CEILING PLATE on a Flat Ceiling)
- A CEILING PLATE is not required if the Ceiling Penetration extends sufficiently to effect a minimum dimension of 450mm measured from the FLUE PIPE to the nearest surface of the Ceiling.

To achieve these dimensions on Ceilings greater than 45 degrees the 250mm DROP CASING UNIT will need to extend further than 150mm below the Ceiling and additional Ceiling shielding will be required.

- 1) Locate Wood Fire in its proposed position and mark a point on the ceiling that is directly above the centre of the heater's flue outlet. Check that the heater's location allows the OUTER CASING to clear all structural roof timbers.

The Sloped Ceiling Penetration Unit uses a 250mm DROP CASING TRIM UNIT and installation requires an aperture in the ceiling that allows tangential contact with the 250mm DROP CASING TRIM UNIT and 250mm OUTER CASING but in the roof cavity ensures 25 mm clearance from the 250mm OUTER CASING.



SFP Ltd Sheetmetal Fabricated Products

To achieve the bracing required to adequately support the OUTER CASING in a Sloped Ceiling situation additional timber or metal framework may be required within or below the ceiling cavity and external bracing required on the roof. Timber framework must be spaced 25mm from the OUTER CASING in the roof cavity but may tangentially contact the 250mm DROP CASING UNIT and the OUTER CASING at the Ceiling

- 2) Cut a hole in ceiling and roof cavity to construct an adequate support structure for the OUTER CASING and the DROP CASING TRIM UNIT.
- 3) Trim the DROP CASING TRIM UNIT to suit the Ceiling Slope if necessary and secure into the Ceiling support structure.
- 4) Position the OUTER CASING into the DROP CASING TRIM UNIT.
- 5) Position the 200mm BRACKETED INNER CASING into the OUTER CASING ensuring it locates onto the Internal Swage at the bottom of the OUTER CASING.

The INNER CASING must extend a minimum of 200mm above the roof.

- 6) Fit an appropriate flashing to the 250mm OUTER CASING to seal onto the roofing material Refer to the manufacturer's recommendations for correct fitting.
- 7) Fit 250mm OUTER SLIP CASING EXTENSION over the OUTER CASING but do not secure until the following is checked and the FLUE PIPE is in position.

Note that AS/NZS 2918:2001 4.9.1(a) states, "the FLUE PIPE shall extend not less than 4.6m above the top of the floor protector".

- (a) If the FLUE PIPE is within 3 metres of the ridge, the FLUE PIPE must protrude at least 600mm above the ridge of the roof.
- (b) If the distance from the ridge is more than 3 metres, the FLUE PIPE must protrude at least 1000mm above roof penetration.
- (c) The FLUE PIPE must be more than 3 metres from any nearby structure.

Additional 250mm OUTER CASING EXTENSION and/or FLUE PIPE may have to be added to ensure this requirement is met.

- 8) Position bottom length of FLUE PIPE (crimped end downwards) into heater flue outlet.
Refer to the supplier of the heater and use flue pipe sealant if recommended.
- 9) Assemble FLUE PIPES together ensuring seams are straight; offsetting the seams will ensure a neat fit. Secure each joint with 3 monel rivets equally spaced around the joint to prevent unintentional or accidental separation. FLUE PIPES must be assembled with crimped ends down (towards heater).
If using HI-THERM FLUE PIPE the protective wrapping should be left on the FLUE PIPE during installation
- 10) From the roof lower FLUE PIPE through OUTER CASING into position and secure as above.
- 11) Secure 250mm OUTER SLIP CASING EXTENSION to 250mm OUTER CASING ensuring the following



Sheetmetal Fabricated Products

If fitting FLUE KIT with TOP SPACER BRACKET:

OR

If fitting FLUE KIT with COMBINATION CASING COVER:

- a) Ensure the FLUE PIPE extends above the top of the OUTER CASING SLIP EXTENSION 145mm. Adjust either OUTER CASING SLIP EXTENSION or the FLUE PIPE to obtain this dimension
- b) Fit TOP SPACER BRACKET to the FLUE PIPE making sure the lugs fit snugly inside OUTER CASING SLIP EXTENSION. Make sure TOP SPACER BRACKET fits hard down onto OUTER CASING SLIP EXTENSION.
- c) Fit CASING COVER over the FLUE PIPE and push down firmly onto TOP SPACER BRACKET.

- a) Ensure the FLUE PIPE is either flush with or extends above the top of the OUTER CASING SLIP EXTENSION by no more than 15mm. Adjust OUTER CASING SLIP EXTENSION or FLUE PIPE to obtain this measurement.
- b) Push CASING COVER (with spigot inside FLUE PIPE) down onto the OUTER CASING SLIP EXTENSION. The 3 locating brackets with holes must be on the outside of the OUTER CASING SLIP EXTENSION and are secured using 3 rivets.

12) Fit SLOPED CEILING TRIM PLATE to ceiling.

Check that the a minimum dimension of 254mm measured horizontally from the FLUE PIPE to the unprotected CEILING is achieved.

- 13) Fit COWL but do not secure, as removal for flue cleaning will be necessary. Deform or ovalise the stub of the COWL to ensure it is a tight friction fit.
- 14) Leave all installation and operating instructions with the owner.

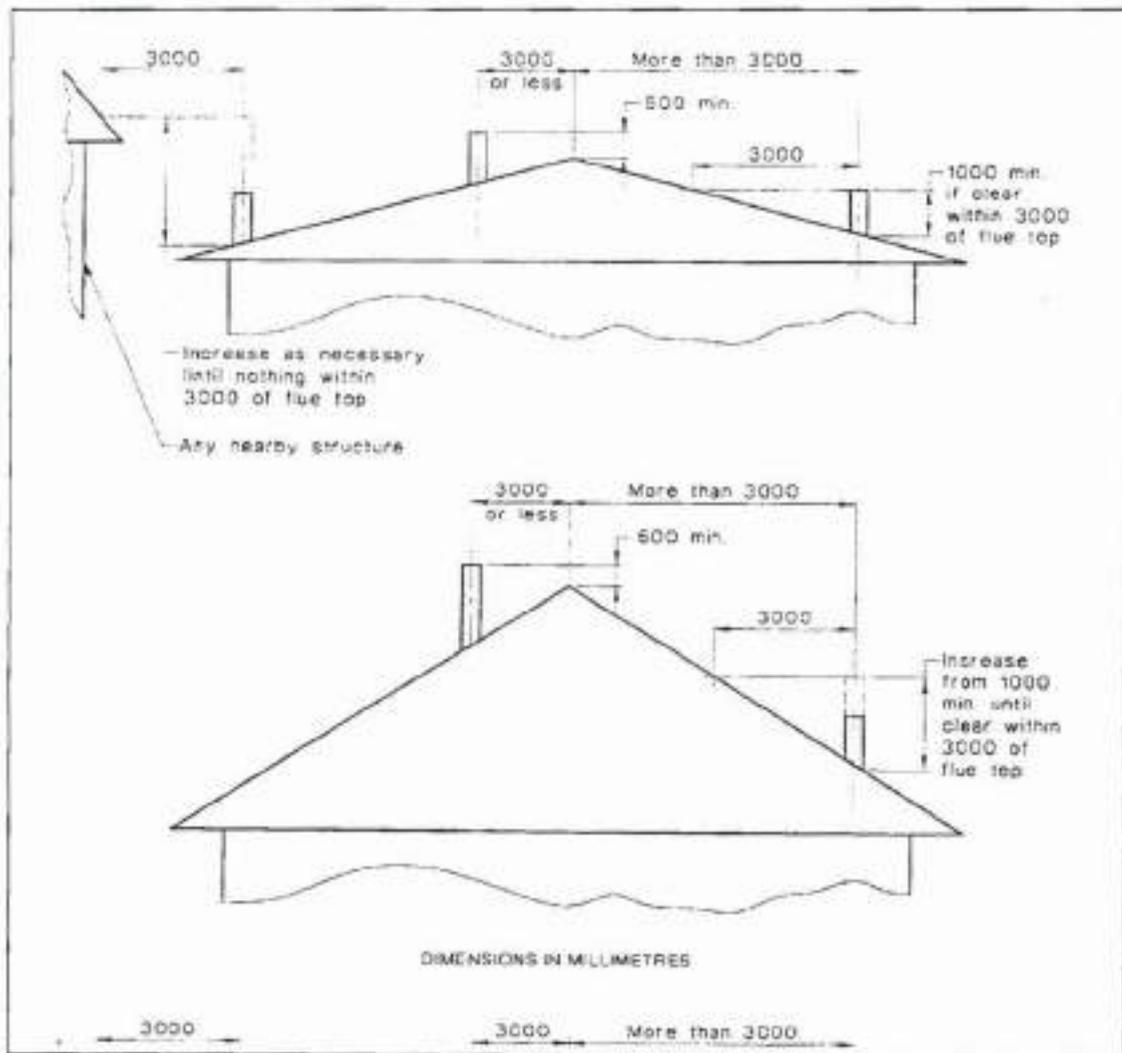
Cleaning of Flue Pipes before lighting the fire.

Stainless Steel pipe should be wiped clean using a soft cloth and methylated spirits to remove finger marks and oils used to manufacture the flue pipe.

Hi-Therm flue pipe can be touched up using only STOVE BRIGHT aerosol paint.

COUNCIL

Diagram C AS/NZS 2918:2001 pg 37

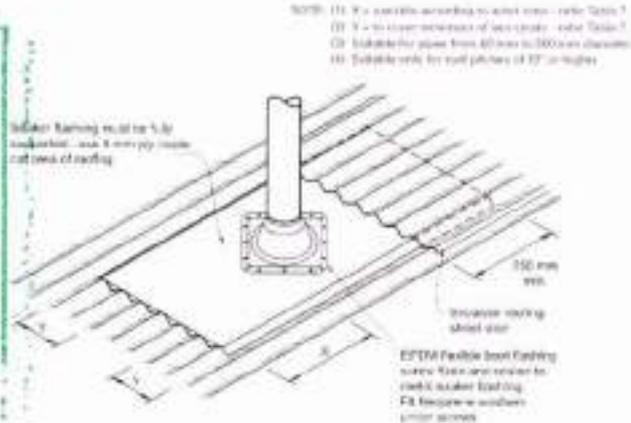


Freestanding In●all

Flashings for Iron Roofs

Option 1 (Preferred Option)

APPROVED
 No 90396
 Building consent issue 2 with variation



Option 2 (Alternative Solution for new install)

Dektite® Soaker™



The large base of the Dektite® Soaker™ dramatically reduces and directs rainwater leakage. Well suited for steep roofs or high pitched roofs, and steep pitched roofing profiles. Not used in cut through pipes, but good strength beam for the upper base.

- Ideal where roof pitch is below 10°
- Perfect on high pitched roofs over 45° and steep roof profiles
- The safest flashing in snow zones



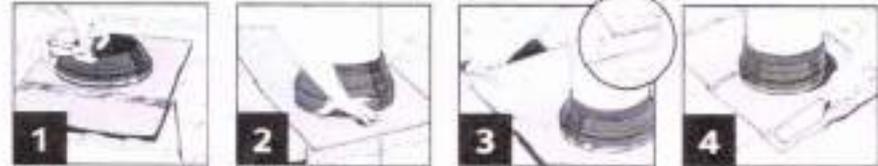
Mark the outline of the soaker on the roof flat surface. Mark a 100 mm diameter of 10mm inside the original round. Now determine where soaker will be fixed.



Remove roof leads. Remove any iron straps or corner edges. Install wooden supports to keep roof where ribs have been removed. (Pipe not shown above for clarity)

Option 3 (Tile Flashing)

Installation Instructions for Lead and Aluminium Flashing:

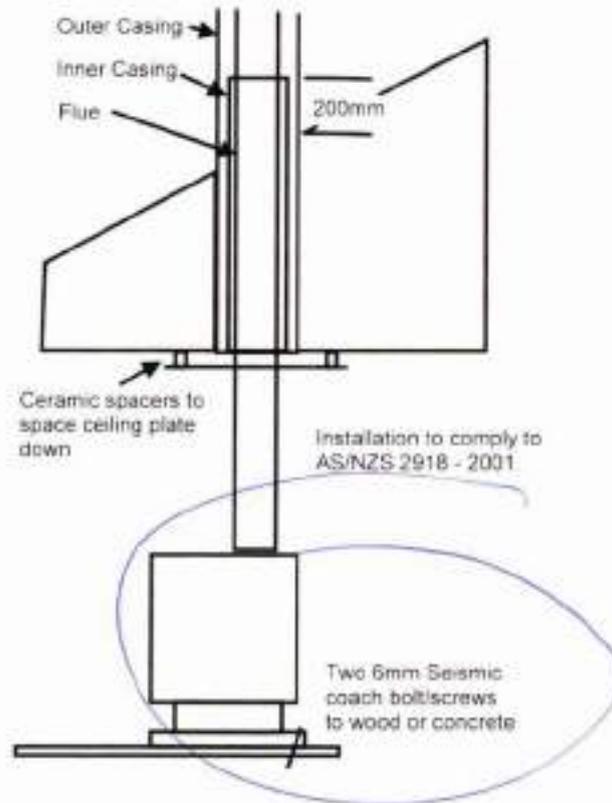


1 Turn flashing over to suit roof cut

2 After first flashing has cut and lead is in place

3 Slide the 40 mm wide form a 20 mm overlap. The overlap should be on the side where the pipe is above

4 Finally, press the second tile's under the first one



COUNCIL

BUILDING CONSENT ACCOUNT

TAX INVOICE: REGISTRATION NO. 52-544-300

THE FIREMAN LTD
PO BOX 4227
MOUNT MAUNGANUI SOUTH
MOUNT MAUNGANUI 3149

Building Consent No: 90396 Invoice No: 260231
Customer No: 147154
Valuation No: 06814 007 91
Legal Description: LOT 22 DPS27597
Site Location: 12 POHUTUKAWA DRIVE
Owners Name: POOL, KEVIN BRIAN
Date: February 25, 2020
Contact Name: THE FIREMAN LTD

DESCRIPTION	CHARGE	GST AMOUNT	TOTAL FEE
FREE STANDARD FIREPLACE APPLICATION 50 02 04 3020	239.13	35.87	275.00
*THESE STATUTORY LEVIES ARE NOT COUNCIL FEES AND ARE PAID TO THE RELEVANT CENTRAL GOVERNMENT AGENCIES.			
	239.13	35.87	

Online payments can be made by credit card at www.westernbay.govt.nz/invoice-payment or deposit to ANZ Tauranga 01 0434 0180600 00 (please enter **BC90396** and Invoice number **260231** in your payment reference)

TOTAL FEES	\$275.00
PAID TO DATE	\$225.00
NOW DUE	\$50.00

BUILDING CONSENT ACCOUNT

TAX INVOICE: REGISTRATION NO. 52-544-300

DUSKE, DAVID BRUCE
 12 POHUTUKAWA DRIVE
 RD 1
 KATIKATI 3177

Application No: 81255 / 162122
 Valuation No: 06814 007 91
 Legal Description: LOT 22 DPS27597
 Site Location: 12 POHUTUKAWA DRIVE
 Owners Name: DUSKE, DAVID BRUCE
 Date: August 26, 2015
 Contact Name: DUSKE, DAVID BRUCE

DESCRIPTION		CHARGE	GST AMOUNT	TOTAL FEE
BUILDING CONSENT APPLIC RESIDENTIAL	50 02 04 3020	0.00	0.00	0.00
		0.00	0.00	
TOTAL FEES				\$0.00
PAID TO DATE				\$0.00
NOW DUE				\$0.00



Building Consent

Section 51, Building Act 2004

BC Number: 90396

The Building	The Owner
Street Address 12 POHUTUKAWA DRIVE	Name of Owner POOL, KEVIN BRIAN
Legal Description LOT 22 DPS27597	Contact Person THE FIREMAN LTD
Building Name (Not compulsory) Unit Number - 1 Level - 1	Mailing Address PO BOX 4227 MOUNT MAUNGANUI SOUTH MOUNT MAUNGANUI 3149
Location of Building within Site	Phone Numbers Day 0064 0800 347362

Building Work

The following building work is authorised by this building consent:

NEW FREESTANDING SOLID FUEL HEATER

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

Compliance Schedule required: **NO**


Signature
 On behalf of: Western Bay of Plenty District Council

Building Services
Position

21 August 2017
Date



09 November 1995

Mr Roberts

P/1016/1 /1

Mr P Devlin
RD2
WAIUKU

Dear Sir

BUILDING COVENANTS

I am replying to your letter regarding your property at 12 Pohutukawa Drive, Athenree.

I hope that you receive this reply as your address was not on your letter and I have taken the one above from Council records.

The Council has a policy for resited buildings and I have attached a copy of information about that.

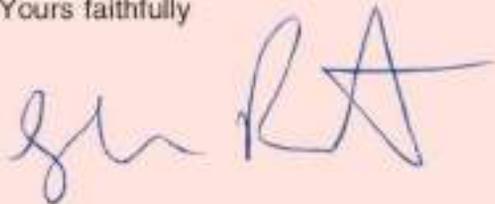
The Council does not have covenants on building sites rather these are conditions that private developers place on property purchasers and they normally relate to the quality of housing, fencing and material restrictions. You will have to check your own property title to see if you have any covenants on your site.

If you propose any building work you will have to comply with the requirements of the Council's District plan and these relate to distances from boundaries, building heights and similar matters. All building work will also have to comply with the NZ Building Code. The plan and building code are large documents and it is not possible to list all requirements in a letter. If you have some simple enquiries about boundary distances you can obtain the information by ringing Graham Allum at the Council office.

When you have a firm proposal to carry out building work then you should apply for a project information memorandum and that will list any specific requirements that council has regarding the particular project. Further general information is attached.

I hope that this information is helpful to you.

Yours faithfully



Graham A.
Info then file

Graham Roberts
SUPERVISOR HEALTH & BUILDING
gjr:gjr:79313

12 September 2017

POOL, KEVIN BRIAN
12 POHUTUKAWA DRIVE
RD 1
KATIKATI 3177

Dear Sir/Madam

Final Inspection – Building Consent Number 90396

A final inspection was recently carried out on your Building project and it was found to comply with the requirements of the NZ Building Code. Your Code Compliance Certificate is attached.

Thank you for your assistance on this project. We would be happy to assist with any future building projects that you may wish to undertake.

Yours faithfully

A handwritten signature in blue ink, appearing to read 'Rachel Dent', is positioned below the closing text.

Building Administration Officer
Email: buildingadmin@westernbay.govt.nz

Code Compliance Certificate

Section 95 Building Act 2004

Number: 90396

PIN No: 1016/1

The Building		The Owner	
Street Address: 12 POHUTUKAWA DRIVE		Name of Owner: POOL, KEVIN BRIAN	
Legal Description: LOT 22 DPS27597		Contact Person: THE FIREMAN LTD	
Building Name (Not compulsory):		Contact Mailing Address: PO BOX 4227 MOUNT MAUNGANUI SOUTH MOUNT MAUNGANUI 3149	
Location of Building within Site:		Contact Numbers: Day 0800 347362	
Level/Unit Number:			
Current lawfully established use: HOUSING – DETACHED DWELLING		This building has no specified intended life.	
Year first constructed:			
Project: NEW FREESTANDING SOLID FUEL HEATER			
Building Work			
Building Consent Number 90396 issued by Western Bay of Plenty District Council.			
Code Compliance			
The building consent authority named below is satisfied, on reasonable grounds, that the building work complies with the building consent.			

Compliance Schedule: NO

Signature: 
On behalf of Western Bay of Plenty District Council

Date: **12 September 2017**

02 June 2000

David Needham

P/1016/1/2

D B & C A Duske
12 Pohutukawa Drive
Athenree R D 1
Katikati

Dear Sir/Madam

**Request For Further Information – Section 92 Resource Management Act 1991 : 12
Pohutukawa Drive, Athenree**

A preliminary assessment has been made of the above consent application and pursuant to Section 92 of the Resource Management Act 1991, Council staff request the following information relating to the application:

1. a completed resource consent application form including back sheet, attached with this letter.
2. an explanation of the application, ie why the house cannot be located in a complying location.
3. a to-scale site plan indicating the distances of the proposed dwelling to the boundaries.

This information is required to enable the Council to better understand the nature of the activity in respect of which the application for a resource consent is made, the effect it will have on the environment, or ways in which any adverse effects may be mitigated.

Council will postpone processing of the application until the required information is received.

Yours faithfully

David Needham
Consents Planner
Email: dcn@wbopdc.govt.nz

Application for Building Consent

COUNCIL USE ONLY
BC Number 90396

RECEIVED
21 JUL 2017
WESTERN BOP
DISTRICT COUNCIL

1. What are you applying for? *Tick all applicable*

¹ For PIM only applications, complete Sections 1-7, and 13 only

Follow instructions as per section

- | | |
|---|--|
| <input checked="" type="checkbox"/> Building Consent | <input type="checkbox"/> Project Information Memo (PIM) ¹ |
| <input type="checkbox"/> Amendment to Building Consent ² | <input type="checkbox"/> Building Consent using a National Multiple-Use Approval ("MultiProof") ³ |
| <input type="checkbox"/> Staged Consent ² | |

² Please enter existing building consent number below:

³ Please enter National Multiple-Use Approval number below:

2. What building work are you doing? *Tick all applicable*

If your building work is not listed, tick **Other** and provide details (this includes amendments to building consents)

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Residential | | |
| <input type="checkbox"/> New detached dwelling | <input type="checkbox"/> New multi-residential dwelling (more than 2 household units) | <input type="checkbox"/> Plumbing works |
| <input type="checkbox"/> Major alterations/additions – any work that includes altering or attaching to the exterior of a building | <input type="checkbox"/> Minor alterations – any internal work that does not include altering the exterior of the building | <input checked="" type="checkbox"/> New solid fuel burner |
| <input type="checkbox"/> Garage/detached carport | <input type="checkbox"/> Other (please provide details below) | |
| | | |
| <input type="checkbox"/> Commercial/Industrial | | |
| <input type="checkbox"/> New commercial/industrial building | <input type="checkbox"/> Major alterations/additions – any work that includes altering or attaching to the exterior of a building | <input type="checkbox"/> Seismic strengthening |
| <input type="checkbox"/> Minor alterations – any internal work that does not include altering the exterior of the building | <input type="checkbox"/> Internal fit-out only (including plumbing and ventilation) | <input type="checkbox"/> Other (please provide details below) |

3. Where is the building work? Complete all fields, enter N/A where not applicable

What is the street address?

*No street address? State nearest street intersection and distance/direction from that intersection.

Legal description:

Lot:

12 Pohutukawa Drive
22 n/a DP: 27597

Building name:

Location of building within site/block including near street access:

n/a

Does the building or site have any cultural or heritage significance, or is it a marae?

Yes No

If yes, provide details

Is the subdivision of an existing site involved?

Yes No

If a subdivision is proposed and you have not yet received a s224 certificate, the application will also need to provide any relevant information stating legal description as at the date of application and, if subdivision is proposed, include details of the relevant resource consent number and any proposed lot number.

If Yes, complete the following:

Resource Consent No.

Proposed Lot No.

4. Who owns the building or land? Complete all fields

Owner name:

Kevin Pool

Title: eg Mr, Mrs, Ms, Dr

Owner email address:

Owner contact number:

021-024-45223

Owner mailing address:

12 Pohutukawa Drive, RD1 Katikati 3177

Indicate which of the following Proof of Ownership documents is attached to your application
Your document must be less than 3 months' old

Copy of Certificate of Title Copy of Lease Agreement Agreement for Sale and Purchase Other document showing full name of legal owner

Are you using an Agent?

Yes No

If Yes, please also complete the following

Who is the first point of contact for further correspondence?

Agent Owner

Who is the first point of contact for invoicing?

Agent Owner

Agent name:

Title: eg Mr, Mrs, Ms, Dr

Agent email:

admin@thefireman.co.nz

Agent contact number:

THE FIREMAN LTD
PO Box 4227, Mt Maunganui 3116
0800 FIREMAN (347 362)

Agent mailing address:

5. **Who's involved in the build?** Complete all fields per line, or select N/A where not applicable. If you have additional roles to add, please use the table in Appendix A.

	Role	N/A
Trade	Designer N/A	✓
Name:		
Address:		
Contact No:		
Email:		
Registration No:	LBP:	
Trade	Architect N/A	✓
Name:		
Address:		
Contact No:		
Email:		
Registration No:	NZRAB:	

6. **What are the specifics of the site?** Complete all fields

What is the wind zone? N/A

Low
 Medium
 High
 Very High
 Extra High
 Specific Design
 State value below

What is the exposure zone? N/A
 Low (B)
 Medium (C)
 High/Sea spray (D)

Does the proposed building work cover two or more allotments?
 Yes
 No

Are there public drains on the site?
 Yes
 No

Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination?
 Yes
 No

Are there any alterations to land contours (eg earthworks)?
 Yes
 No

Are there new or altered connections to public utilities?
 Yes
 No

Are there new or altered locations and/or external dimensions of buildings?
 Yes
 No

Is there new or altered access for vehicles?
 Yes
 No

Is the building work over or adjacent to any road or public place?
 Yes
 No

Does the building work involve the disposal of storm-water or wastewater?
 Yes
 No

Is the building work over any existing drains or sewers or in close proximity to wells or water mains?
 Yes
 No

Are there any other matters known to the applicant that may require authorisation from the territorial authority?
 Yes
 No

If Yes, please provide a summary here

COUNCIL

7. What are the details of the building work? Complete all fields, or enter N/A if not applicable

Provide a full description of the building work:

Installation of Solid fuel heater
Metro Wee Rad Base

Eg 4-bedroom dwelling with multiple cladding types and attached garage

Estimated value of the building work (including GST):	\$	3976.00
If the application is for an amendment to a building consent, please add the additional value if applicable (including GST):	\$	<input checked="" type="checkbox"/> N/A
What is the intended life of the building?	N/A	<input type="checkbox"/> 50+ years <input type="checkbox"/> Limited Life
If Limited Life, please indicate the intended life of the building:	N/A	years
Have you discussed this project with Council prior to applying?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Does the project include Restricted Building Work?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Are you applying for Owner/Builder exemption to complete the Restricted Building Work?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

If Yes, please complete and attach the Statutory Declaration as to Owner/Builder form (click here)

If No, please complete and attach the Memorandum from Licensed Building Practitioner – Certificate of Design Work form for each type of building work being undertaken (click here)

Total number of floor levels:		Levels below ground:	
Current floor area:	N/A	Proposed new floor area:	N/A
If you are making alterations to an existing dwelling, please complete the following:			
Is there any recladding?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is recladding covered by a claim under the Financial Assistance Package scheme?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	N/A		N/A

If Yes, please provide Financial Assistance Package reference number:

Does the building work involve a swimming pool?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Year first constructed:	N/A
Current lawful established use:	N/A
Proposed use:	N/A
Will the building work result in a change of use of the building?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

If you are unsure how to determine if a change of use will occur, please refer to the guidance provided by the Ministry of Business, Innovation and Employment: <http://www.building.govt.nz/managing-buildings/change-of-use-and-alterations/>

If Yes, please provide details

8. What clauses of the building code does your building work comply with?

Please read the following carefully

- You are required to indicate what code clause(s) your building work complies with
- Unless otherwise noted below, your application will be assessed under Acceptable Solutions
- If you are using another means of compliance, please provide details of the standard(s) that your building work complies with and the means of compliance in the space provided. Use a separate sheet of paper if necessary.
- If you do not provide all the necessary information to show how your application complies with the Building Code, it will be returned unprocessed.

I understand that this application is to be assessed against Acceptable Solutions, unless otherwise stated in the following section. Please tick to indicate your agreement

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> B1 Structure | <input type="checkbox"/> F1 Hazardous agents on site | <input type="checkbox"/> G5 interior environment |
| <input checked="" type="checkbox"/> B2 Durability | <input type="checkbox"/> F2 Hazardous building materials | <input type="checkbox"/> G6 Airborne and impact sound |
| <input type="checkbox"/> C1 Protection from fire | <input type="checkbox"/> F3 Hazardous substances and processes | <input type="checkbox"/> G7 Natural light |
| <input type="checkbox"/> C2 Prevention of fire occurring | <input type="checkbox"/> F4 Safety from falling | <input type="checkbox"/> G8 Artificial light |
| <input type="checkbox"/> C3 Fire affecting areas beyond fire source | <input type="checkbox"/> F5 Site safety | <input type="checkbox"/> G9 Electricity |
| <input type="checkbox"/> C4 Movement to place of safety | <input type="checkbox"/> F6 Visibility in escape routes | <input type="checkbox"/> G10 Piped services |
| <input type="checkbox"/> C5 Access and safety for fire-fighting operations | <input checked="" type="checkbox"/> F7 Warning systems | <input type="checkbox"/> G11 Gas as an energy source |
| <input type="checkbox"/> C6 Structural stability | <input type="checkbox"/> F8 Signs | <input type="checkbox"/> G12 Water supplies |
| <input type="checkbox"/> D1 Access routes | <input type="checkbox"/> F9 means of restricting access to residential pools | <input type="checkbox"/> G13 Foul water |
| <input type="checkbox"/> D2 Mechanical installations | <input type="checkbox"/> G1 Personal hygiene | <input type="checkbox"/> G14 Industrial liquid waste |
| <input type="checkbox"/> E1 Surface water | <input type="checkbox"/> G2 Laundering | <input type="checkbox"/> G15 Solid waste |
| <input checked="" type="checkbox"/> E2 External moisture | <input type="checkbox"/> G3 Food preparation and prevention of contamination | <input type="checkbox"/> H1 Energy efficiency |
| <input type="checkbox"/> E3 Internal moisture | <input type="checkbox"/> G4 Ventilation | |

Provide details of all Verification Methods being used (include relevant code clause and means of compliance)

B1/AS1
B2/AS1
E2/AS1
F7/AS1

Provide details of all Alternative Solutions being used (include relevant code clause and means of compliance) or details of any waivers and modifications (including applicable code clauses)

9. What specified systems are included in your building work? *Complete all fields*

Does your building work involve or affect any Specified Systems (SS)? Yes No

Residential *Please complete the following:*

N/A

If Yes, please complete Specified System 16 (Cable Car) below

SS16 Does your building work involve a cable car? Yes No *If Yes, please provide detail below*

Complete this section if the cable car is being altered or added/new

	Existing	Altered	Added/New	Removed	Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS16 Cable cars	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

Provide any other details

Commercial/Industrial *Please complete the following:*

N/A

If applicable, what is the existing compliance schedule number?

Risk group:

Total occupancy numbers:

If yes, please complete Appendix B (Specified Systems)

10. Does your build require a fire design review?

Certain applications for building consent must be submitted to the New Zealand Fire Service Commission Fire Engineering Unit (FEU) for review. *For commercial/industrial applications please complete the following:*

Is your building of a type defined in the Gazette notice and section 46 of the Building Act 2004? Yes No

11. Have you attached all required documents?

You are required to provide all the necessary documents to support your application. This includes (but is not limited to) the following sections:

- Section 4: Proof of Ownership
- Section 6: Plans showing land and boundary features as required
PIM, development of contribution notice or certificate attached to PIM
- Section 7: Statutory Declaration as to Owner Builder form OR Memorandum of Licensed Building Practitioners – Certificate of Design Work (for each type of building work being undertaken)
- Section 8: Plans, specifications and other supporting information in relation to the compliance method of the build, eg where the work deviates from an Acceptable Solution method.

Please check your application and ensure all the supporting information is attached otherwise your application will be returned **unprocessed**.

When you are satisfied your application is complete, please complete section 13 and send to your local Building Consent Authority.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

Privacy Information

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information. Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

12. Your application fees

Your council will charge fees for your consent application. These will include statutory levies payable to BRANZ and the Ministry of Business, Innovation & Employment.

A full fee schedule can be found on the council's website. Please consult this before submitting your application.

13. Have you signed the application?

All the information contained in this application is, to the best of my knowledge, true and correct.

I understand that work must not commence until the building consent is issued and uplifted

Name and signature of the owner/agent on behalf of and with the authority of the owner

Owner/Agent Name:

Owner/Agent Signature:

(Enter your name and tick the acknowledge box if you do not have a digital signature)

Date:

Jordan Warren



14/7/17

THE FIREMAN LTD
PO BOX 925, 30 Maungatanihi 3110
PH: 0800 800 000 (047 362)

Your local council (or its website) will be able to help you with information specific to the site your application covers.

Appendix A List of those involved in the build

	Trade	Role
Name:	Fire installer	
Address:		
Contact number:		
Email:		
Registration number:	NZHH17	
Name:		
Address:		
Contact number:		
Email:		
Registration number:		
Name:		
Address:		
Contact number:		
Email:		
Registration number:		
Name:		
Address:		
Contact number:		
Email:		
Registration number:		

THE FIREMAN LTD
 PO Box 4227, Mt Maunganui 3116
 0800 FIREMAN (347 362)

Appendix B List of Specified Systems (Commercial/Industrial Building Consent Applications)

The specified systems for the building are as follows:

Tick all applicable and outline the performance standards and reporting frequency

The following specified systems are existing, being altered, added to or removed in the course of the building work		Existing	Altered	Added/New	Removed	Complete this section if systems are new, altered or added only		
						Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS1	Automatic systems for fire suppression (eg sprinkler systems) (includes Gas/Flood Systems)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N/A		
SS2	Automatic or manual emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS3	Electromagnetic or automatic doors or windows							
SS3.1	Automatic doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS3.2	Access control doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS3.3	Interfaced fire or smoke doors or windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS4	Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS5	Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS6	Riser mains for use by fire services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS7	Automatic backflow preventers connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS8	Lifts, escalators, travellers or other systems for moving people or goods within buildings							
SS8.1	Passenger-carrying lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

The following specified systems are existing, being altered, added to or removed in the course of the building work

Complete this section if systems are new, altered or added only

	Existing	Altered	Added/New	Removed	Inspection performance standards	Maintenance performance standards	Reporting Frequency
SS8.2 Service lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS8.3 Escalators and moving walkways	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS9 Mechanical ventilation or air conditioning systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS10 Building maintenance units (for providing access to the exterior and interior walls of a building)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS11 Laboratory fume cupboards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS12 Audio Loops or other assistive listening system							
SS12.1 Audio loops	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS12.2 FM radio frequency systems and infrared beam transmission systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS13 Smoke control systems							
SS13.1 Mechanical smoke control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS13.2 Natural smoke control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS13.3 Smoke curtains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			
SS14 Emergency power systems for, or signs relating to, a specified system in 1-13 above							
SS14.1 Emergency power systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			

N/A

The following specified systems are existing, being altered, added to or removed in the course of the building work

Existing Altered Added/New Removed

Complete this section if systems are new, altered or added only

Inspection performance standards

Maintenance performance standards

Reporting Frequency

SS14.2 Signs for systems

SS15 Other fire safety systems or features

SS15.1 Systems for communicating spoken information intended to facilitate evacuation

SS15.2 Final exits

SS15.3 Fire separations

SS15.4 Signs for communicating information intended to facilitate evacuation

SS15.5 Smoke separations

SS16 Cable cars

N/A

Rates Invoice/Assessment

Tax Invoice / Credit Note (S.S.T. No. 53-544-300)

POOL, KEVIN BRIAN
POOL, LESLEY DIANNE
12 POHUTUKAWA DRIVE
RD 1
KATIKATI 3177

Western Bay of Plenty District Council
1454 Carnegie Road, Greerton Tauranga 3112
Private Bag 12803, Tauranga Mail Centre Tauranga 3143
Ph: 07 571 8008 Fax: 07 577 9520 www.westernbay.govt.nz

Bay of Plenty Regional Council (on behalf of)
PO Box 364 Whakatane 3158
Ph: 0800 894 888 Fax: 0800 894 892 Email: info@boprc.govt.nz

Valuation Reference 06814 007 91
Invoice Number 2017/109353
Date 01 February 2017
Location 12 POHUTUKAWA DRIVE
Land Area 0.086 Ha
Land Value \$225,000
Capital Value \$422,000
Special Value \$0
Legal Description LOT 22 DPS 27507 BLK II KATIKATI SD

Total rates assessed 2016/2017

Western Bay of Plenty District Council				BAY OF PLENTY REGIONAL COUNCIL			
	Units	Rate	Annual Amount		Units	Rate	Annual Amount
DISTRICT LIBRARY CHARGE	1	84.00000000	84.00	REGIONAL COUNCIL GEN RATE W/B	225,000	0.00031694	71.32
KATIKATI RESOURCE CENTRE W/B	1	1.50000000	1.50	REGIONAL COUNCIL UAGC W/B	1	80.80000000	80.80
WAHI BEACH EVENTS & PROMOTIONS	1	10.30000000	10.30				
COMMUNITY BOARD RATE WAHI BEACH	1	26.71000000	26.71				
ROADING RATE WAHI BEACH RES	225,000	0.00119400	269.90				
COASTAL PROTECTION CHARGE	1	14.10000000	14.10				
GENERAL RATE W/B RESIDENTIAL	432,000	0.00098290	424.62				
ANNUAL GENERAL CHG WAHI BEACH	1	245.00000000	245.00				
ROADING CHARGE	1	60.38000000	60.38				
SOLID WASTE WAHI BEACH	1	72.50000000	72.50				
ENVIRONMENTAL PROTECTION W/B	1	44.36000000	44.36				
WAHI BEACH STORMWATER CHARGE	1	379.00000000	379.00				
WAHI BEACH HALL	1	5.61000000	5.61				
SEWERAGE CHARGE WAHI BEACH	1	881.00000000	881.00				
UNMETERED WATER - TREATMENT AND SUPPLY	1	483.00000000	483.00				
				TOTAL excl GST			162.12
				COMBINED TOTAL includes GST of			473.48
				TOTAL RATES (1 July 2016 to 30 June 2017)			\$3,636.00
				Opening balance 1 July (from prior year)			940.39CR
				Previous instalment this year			1,815.01
				Payments received this year			1,782.16CR
				Penalties incurred this year			0.00
				Adjustments this year			907.50
				Balance brought forward			0.00
				Instalment 2 of 2			1,727.62
				01 Jan 2017 - 30 Jun 2017			
				Instalment 2 of 2			87.47
				01 Jan 2017 - 30 Jun 2017			
				TOTAL excl GST			3,004.79

Total now due by 24 March 2017

Current instalment total includes GST of \$236.74. Payments received after 23 January 2017 are not included in Total Now Due

\$1,814.99

A penalty of 10% will be applied to any unpaid balance of this instalment at the close of business on 24 March 2017.

COUNCIL



THE FIREMAN

The Fire Man Limited
 PO Box 11446, Palm Beach
 PAPAMOA 3112
 Ph 0800 347 362
 Email admin@thefireman.co.nz
 Web www.thefireman.co.nz

QUOTATION ACCEPTANCE FORM

DATE: 10 July 2017 QUOTE No. QT13579

CUSTOMER'S TRADE NAME: _____

CUSTOMER'S FULL OR LEGAL NAME: Kevin Pool

Phone: _____ Fax: _____

Mobile: 02102445223 Email: pusskatz@xtra.co.nz

Billing Address: _____ Physical Address: 12 Pohutukawa Drive

State: _____ Postcode: _____ State: Athenree Postcode: 3177

TOTAL PRICE (INCL GST) \$ 3976.00 DEPOSIT ON ACCEPTANCE (INCL GST) \$ 397.60

I accept the quotation offered by The Fireman (Quote No. above) and certify that the above information is true and correct. I have read and understand the TERMS AND CONDITIONS OF TRADE (overleaf or attached) of The Fire Man Limited which form part of, and are intended to be read in conjunction with the Quotation Form and agree to be bound by these conditions. I authorise the use of my personal information as detailed in the Privacy Act clause therein. I agree that if I am a director or a shareholder (owning at least 15% of the shares) of the Client I shall be personally liable for the performance of the Client's obligations under this contract.

SIGNED (CUSTOMER): <u>Kevin Pool</u> Name: <u>Kevin Brian Pool</u> Position: <u>Homeowner</u>	SIGNED (WITNESS TO CUSTOMER'S SIGNATURE): <u>Lesby Anne Pool</u> Name: <u>Lesby Anne Pool</u> Date: _____ Address: <u>12 Pohutukawa Drive RD 1</u> <u>Athenree</u> Postcode: <u>3177</u>
--	--

SIGNED (THE FIREMAN): [Signature] Name: Will Rolleston Date: 10/07/17

- Please tick one:
- I require a permit to be obtained on my behalf (relevant information enclosed).
 - I will obtain my own permit before work is commenced.
 - New house/alteration. A permit has been obtained. Building Consent # _____

- Deposit payment options:
- Personal or Bank Cheque (enclosed)
 - Electronic transaction paid into a/c no: 02 0452 0027319 00 BNZ Te Puke

CREDIT CARD AUTHORISATION

Visa Mastercard

Please tick one:

- Please use this card for payment of the deposit only
- Please use this card for payment of the deposit and also to settle remainder of final invoice once work is completed.

Card Holder's Name: _____
 Card Number:
 Expiry Date:

I authorise The Fire Man Limited to arrange payment of my account by debiting my credit card account the number of which is specified above. I acknowledge that The Fire Man Limited may terminate this request at any time by written or verbal notice and I must adopt an alternative method of payment.

I have read and understand the GENERAL TERMS AND CONDITIONS OF TRADE (overleaf or attached) of The Fire Man Limited which form part of, and are intended to be read in conjunction with this Credit Card Authority and agree to be bound by these conditions.

Cardholders Signature: _____ Date: _____

19 December 1994

Mr Lindsay

~~P/1162/30/4~~

P/1016/1/1

Messrs M & P Devlin
R D 2
WAIUKU

Dear Messrs Devlin

FIRE HAZARD - 12 POHUTUKAWA DRIVE, ATHENREE : LOT 22 DPS 27597

A visit to the area of 13 December 1994 revealed that the grass and other growth on the section has dried to such a state that it is likely to become a source of danger from fire.

The Western Bay of Plenty District Council General Bylaw states that no person shall allow any broom, gorse, manuka bushes, scrub, dry grasses or any like growth on any land to exist within 3.6m of any building or adjoining premises to be in such a condition that it is likely to become a source of danger from fire.

You are therefore required to cut and remove the vegetation from the land to a minimum distance of 3.6m from the boundary by 30 December 1994.

The reason for the 3.6m from the boundary in this particular case is that the board fence is also combustible and must be considered as a building.

Your co-operation in attending to this matter within the time specified would be appreciated.

Yours faithfully
Graham Roberts
SUPERVISOR HEALTH & BUILDING

Per:



N J Lindsay,
ENVIRONMENTAL HEALTH & BUILDING OFFICER

njl:lmh:64009

Memorandum

To:	File
From:	Graeme Troy
File Number:	P/1016/1
Date:	12 JAN 2001
Subject:	Inspection Notes

Date of Inspection: 11 JAN 2001

Start Time of Inspection: 03:30pm

Finish Time of Inspection: 03:40pm

NOTES:

SITE VISITED AND ADDITIONS SITED AS PER PLAN. EXTRA DRIVEWAY AREA AS PER CLAUSE 3 IN PLACE

Planner: DAVID NEEDHAM

To be Processed Before: 12 JUN 2000

**Western Bay of Plenty District Council
Forward Planning Group
Application for Resource Consent
Non-Notified**

File P/1016/1/2

Applicant: DUSKE, DAVID BRUCE
DUSKE, CAROL ANN

Legal Description: LOT 22 DPS27597

Road: 12 POHUTUKAWA DRIVE ATHENREE

Address for Service: **Date Received:** 29 MAY 2000

DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE ATHENREE R D 1 KATIKATI

For Comment

	Date Advice Sent	Target	Date Reply Recd
BOP Regional CI			
Regulatory	30 MAY 2000	08 JUN 2000	
Assets	30 MAY 2000	08 JUN 2000	
Com Liaison Plan			
DOC			
Site Visit Completed?	Date.....	Comments? Y/N	

Application for Land Use Consent

89819

WESTERN BOP DISTRICT COUNCIL	
FILE No:	P/1016/1/2
BRANCH NO.:	001
SPECIAL NEEDS:	<input checked="" type="checkbox"/>

WESTERN
BAY OF PLENTY
DISTRICT COUNCIL



Fees Schedule

Notified Resource Consent Applications, Designations, Heritage Orders, Plan Changes

Application Fee (Deposit) ⁽¹⁾	2000
Extensions of Consent, Cancellation or Review of Conditions	600
Removal of Designations or Heritage Orders	100

Non-Notified Resource Consent Applications

Non-Compliance with Performance Standards and Signs	360
Additional Dwellings	590
Additional Dwellings on Subdivision	220
Building in Coastal Protection Zone	440
Landscape Feature and Other Fee Abatement Applications ⁽⁴⁾	390
All Other Non-Notified Land Use Consents (Deposit) ⁽¹⁾	810
Extensions of Consent, Cancellation, Review of Conditions	300
Consents/Objections Which Proceed to Hearing ⁽²⁾	520
Objections (No Hearing) ⁽²⁾	200

Notes:

- (1) This is a deposit fee. All costs associated with processing the application will be directly charged to the applicant. For discretionary or non-complying applications, Council may not be able to grant consent. In these cases all applications fees are still payable.
- (2) These fees are not payable by the applicant and will be charged to Council's Democracy Account.
- (3) These fees only apply to subdivision applications which require Quotable Value NZ calculation at 224.
- (4) These fees are not payable by the applicant and will be charged to Council's Fee Abatement Account.

All Fees Include GST



Application for

Land Use Consent

Applicant Details

I, DUSKE DAVID BRUCE
Surname First Name/s
DUSKE CAROL ANN
Surname First Name/s
Surname First Name/s

of 12 Pohutukawa Drive
(State Postal Address)
Athenree, RD 1, Katikati

apply for Consent to build additions to our
(State fully what is proposed)
home as outlined on the attached drawings.

The following additional resource consents are required in relation to this proposal and have/have not been applied for.

I attach an assessment of any effects that the proposed activity may have on the environment in accordance with the Fourth Schedule of the Act.

Property Details

The property in respect of which this application is made is situated:

At No 12 Pohutukawa Drive Road/Street

At Athenree, RD 1, Katikati

We are the Owners of the property.
(State Whether Owner, Lessee, etc)

Legal Description of Property: LOT 22 DPS 27597

Valuation Roll No (from Rates Slip): 0681200791

WESTERN BAY OF PLENTY DISTRICT COUNCIL

CHECKLIST - LAND USE CONSENTS

Has the following information been provided:
(Indicate as appropriate : Y = Yes, N = No, NA = Not Applicable)

	Applicant Y/N/NA	Council Y/N/NA
1. Application form fully completed.	Y	<input type="checkbox"/>
2. A full description of the proposed activity.	Y	<input type="checkbox"/>
3. A full description of the sites:		
Natural features (e.g. native bush water courses, wetlands, etc)	NA	<input type="checkbox"/>
Physical features (i.e. topography, land use, etc)	NA	<input type="checkbox"/>
Historical features (e.g. classified historic buildings, archaeological sites, etc)	NA	<input type="checkbox"/>
Protected features (e.g. trees, native bush, etc)	NA	<input type="checkbox"/>
4. Clear site plans (drawn to scale)	Y	<input type="checkbox"/>
5. Clear building plans (drawn to scale)	Y	<input type="checkbox"/>
Including: Elevations	Y	<input type="checkbox"/>
Materials	Y	<input type="checkbox"/>
Proposed/Existing Colours	Y	<input type="checkbox"/>

		Applicant Y/N/NA	Council Y/N/NA
6.	How access is gained to the site		
	Its location	<input checked="" type="checkbox"/> Y	<input type="checkbox"/>
	Its formation	<input checked="" type="checkbox"/> Y	<input type="checkbox"/>
7.	The likely traffic movements to and from the site:		
	Type	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
	Frequency	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
8.	Number and location of vehicle parking spaces and manoeuvring areas.	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
9.	Do the vehicle parking spaces and manoeuvring area etc comply with the District Plan, if not, has an exception be provided why not?	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
10.	The number of people activity proposes to cater for.	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
11.	The numbers of people to be employed.	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
12.	Number of animals/poultry to be accommodated.	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
13.	Any proposed earthworks/ground/recontouring: (If so, has a plan/statement been provided?)	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
14.	A plan showing an explanation of any proposed or existing landscaping on the site.	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
15.	An assessment of noise generation (actual figures).	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>
16.	The proposed hours of operation.	<input checked="" type="checkbox"/> NA	<input type="checkbox"/>

	Applicant Y/N/NA	Council Y/N/NA
17. Any signs (function, size, location).	NA	<input type="checkbox"/>
18. The servicing of the proposal. (Drainage, Water Supply, etc).	Y	<input type="checkbox"/>
19. Maori or Treaty of Waitangi issues.	NA	<input type="checkbox"/>
20. Staging of the development. (How long do you envisage it will take to have the proposal established).	NA	<input type="checkbox"/>
21. Are any hazardous substances or installations to be used (if so has an assessment of any risks to the environment been provided).	N	<input type="checkbox"/>
22. If the activity includes the discharge of any contaminant, has a description:		
(i) the nature of the discharge and the sensitivity of the proposed receiving environment to adverse effects; and	NA	<input type="checkbox"/>
(ii) any possible alternative methods of discharge, including discharge into any other receiving environment.	NA	<input type="checkbox"/>
been provided.		

IMPORTANT

23. Has an assessment of any actual or potential effects that the activity may have on the environment been provided.	N	<input type="checkbox"/>
24. Has the application identified those persons interested in or affected by the proposal.	Y	<input type="checkbox"/>

Name of Owner:

Postal Address:

Name of Occupier:

Postal Address:

Dated at _____ **this** _____ **day of** _____ **19** _____

Signature:

(To be signed for or on behalf of Applicant)

Address for Service:

Telephone No:

Fax No:



Group Manager Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
TAURANGA

Dear Sir

Application for Resource Consent – Consent of Persons Affected

I, Robert Dean @ Edna Elizabeth M. Green
(State Full Name - Please Print)

of, 12 Pohutukawa Drive Athenree
(Address)

as the owner/lessee/occupier (delete as appropriate) of the property legally described as:

Lot 23 DPS 27597 (06814 007 92)

hereby give my approval to an application by:

David Bruce Durke & Carol Ann Durke
(State Applicants Name)

for a resource consent to 12 Pohutukawa Drive Athenree

I have sighted the application and fully understand and agree with what is proposed. (Note: those persons signing this consent form must also initial any plans accompanying the application).

Yours faithfully

Robert Dean - B E Green
(Signature and Date)



CONTACT

REF

.....
Group Manager - Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
TAURANGA

Dear Sir

APPLICATION FOR RESOURCE CONSENT - CONSENT OF PERSONS AFFECTED

I, John Edwin Barlow & Pamela Jane Barlow

(State Full Name - Please Print)

of, 19 Pohutukawa Drive, Athenree

(Address)

as the owner/~~lessee~~/occupier (delete as appropriate) of the property legally described as:

Lot 46 DPS 27597 (V.A. 06814 007 46)

hereby give my approval to an application by:

David Bruce Jurke & Carol Ann Jurke

(State Applicants Name)

for a resource consent to: 12 Pohutukawa Drive, Athenree

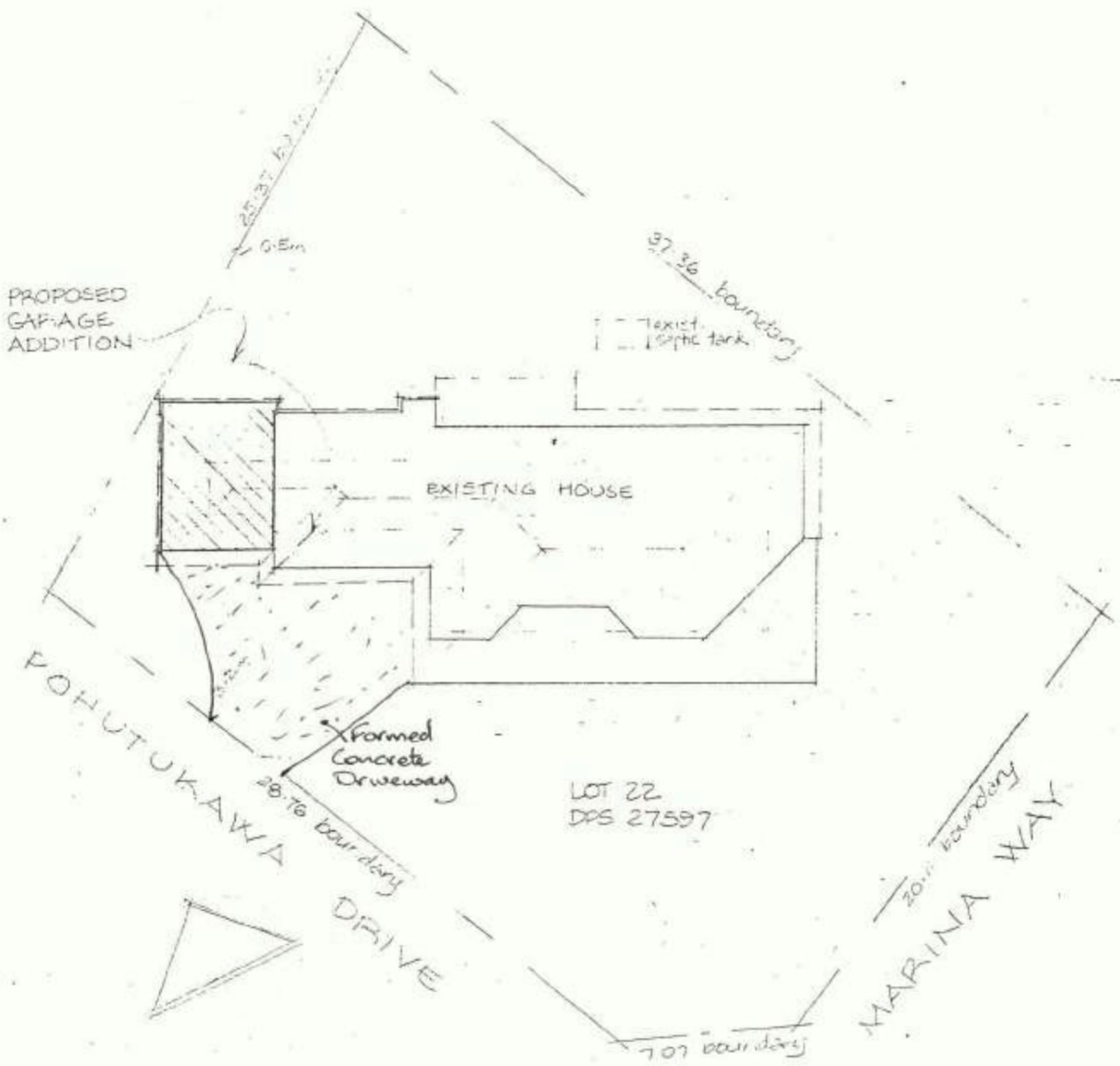
I have sighted the application and fully understand and agree with what is proposed. (Note: those persons signing this consent form must also initial any plans accompanying the application).

Yours faithfully

 
.....
(Signature)

54937

Handwritten signature and initials in the top right corner.



SITE PLAN 1:20

PROPOSED ADDITION TO EXISTING RESIDENCE
12 POHUTUKAWA LP, ATHENSREE

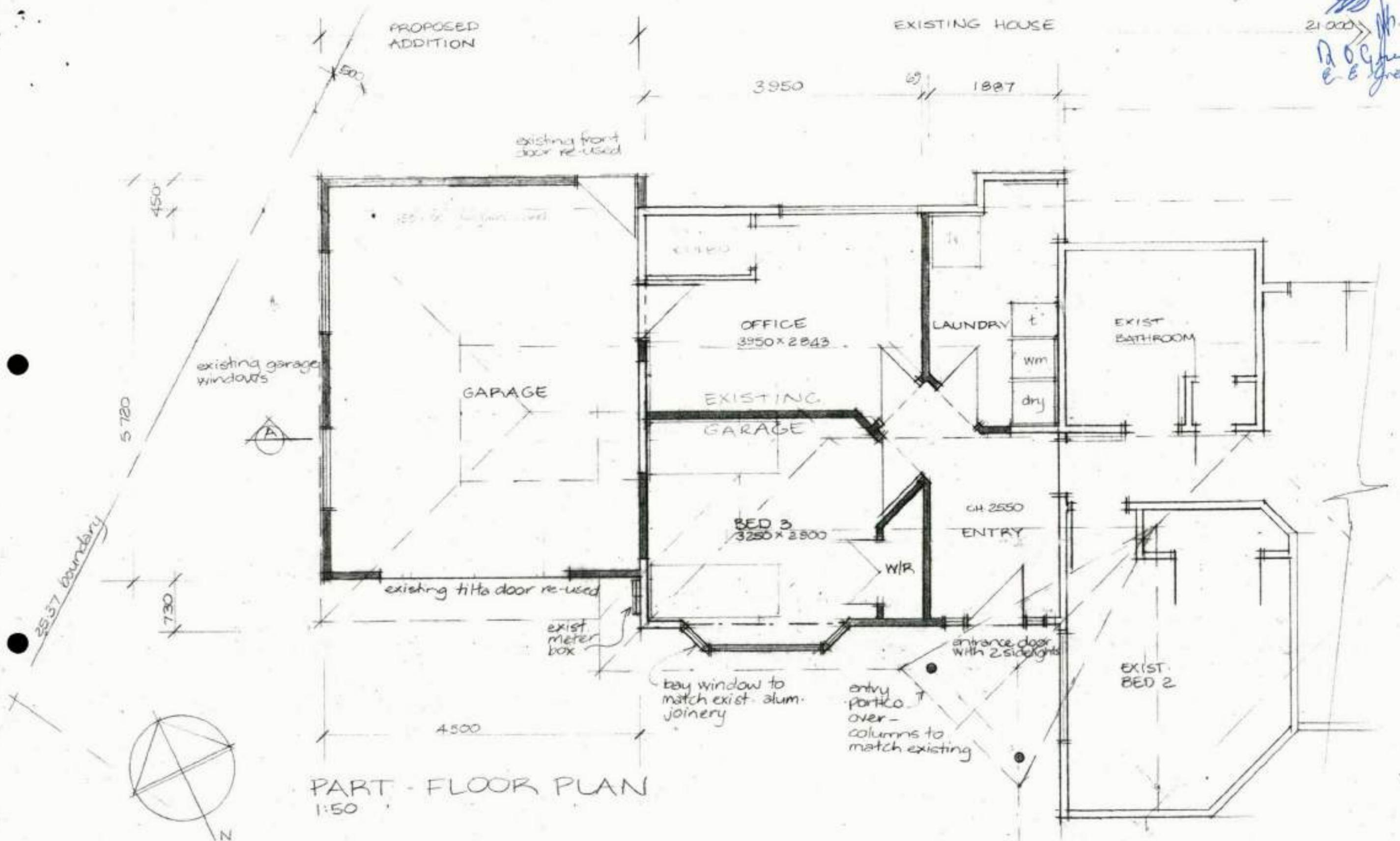
PRELIMINARY SKETCH

PS 1A
3/2013

21 000
A. O. Green
E. E. Green

PROPOSED ADDITION

EXISTING HOUSE



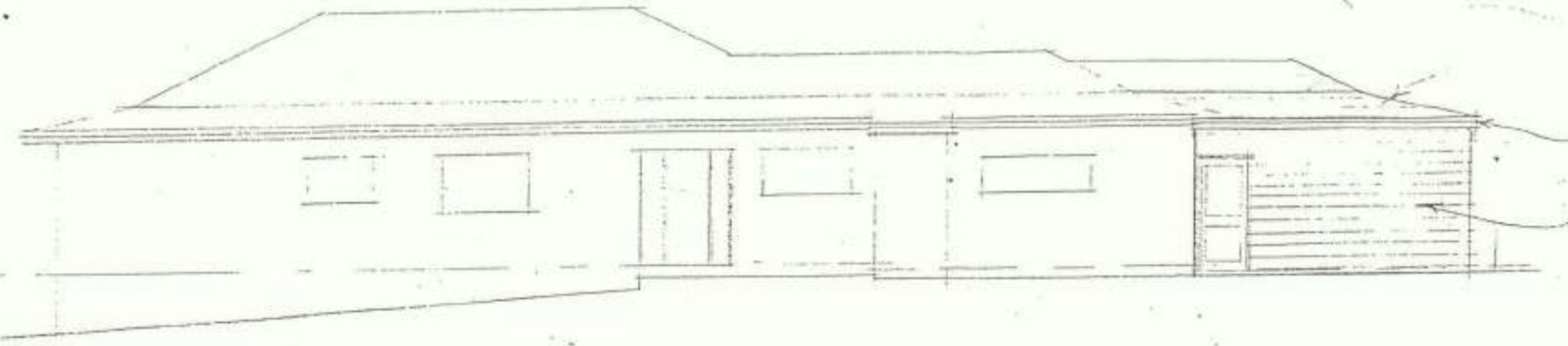
PART - FLOOR PLAN
1:50

PRELIMINARY SKETCH

PROPOSED ADDITION to EXISTING RESIDENCE
for MR & MRS B DUSKE at 12 POHUTUKAWA DR. ATHENREE

PS 2A
3/2000

Alfred E. E. Green



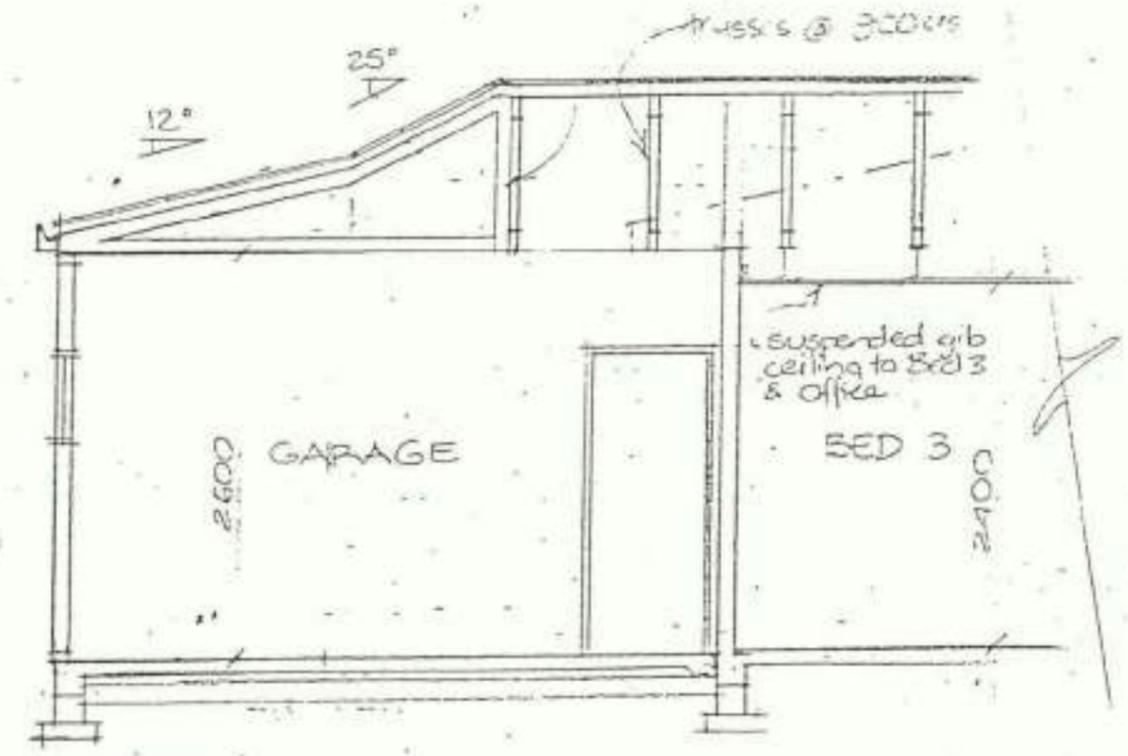
color tile metal tiles to match existing
Klass fascia to match existing
fallside cracking to match existing

NE. ELEVATION

color tile metal tile roofing to match existing
existing aluminium windows re-used

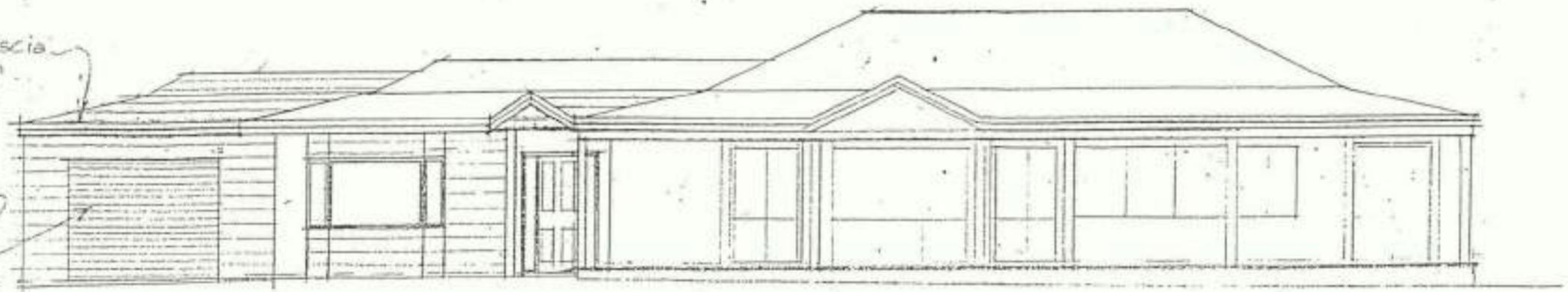


N.W. ELEVATION



SECTION A
1:50

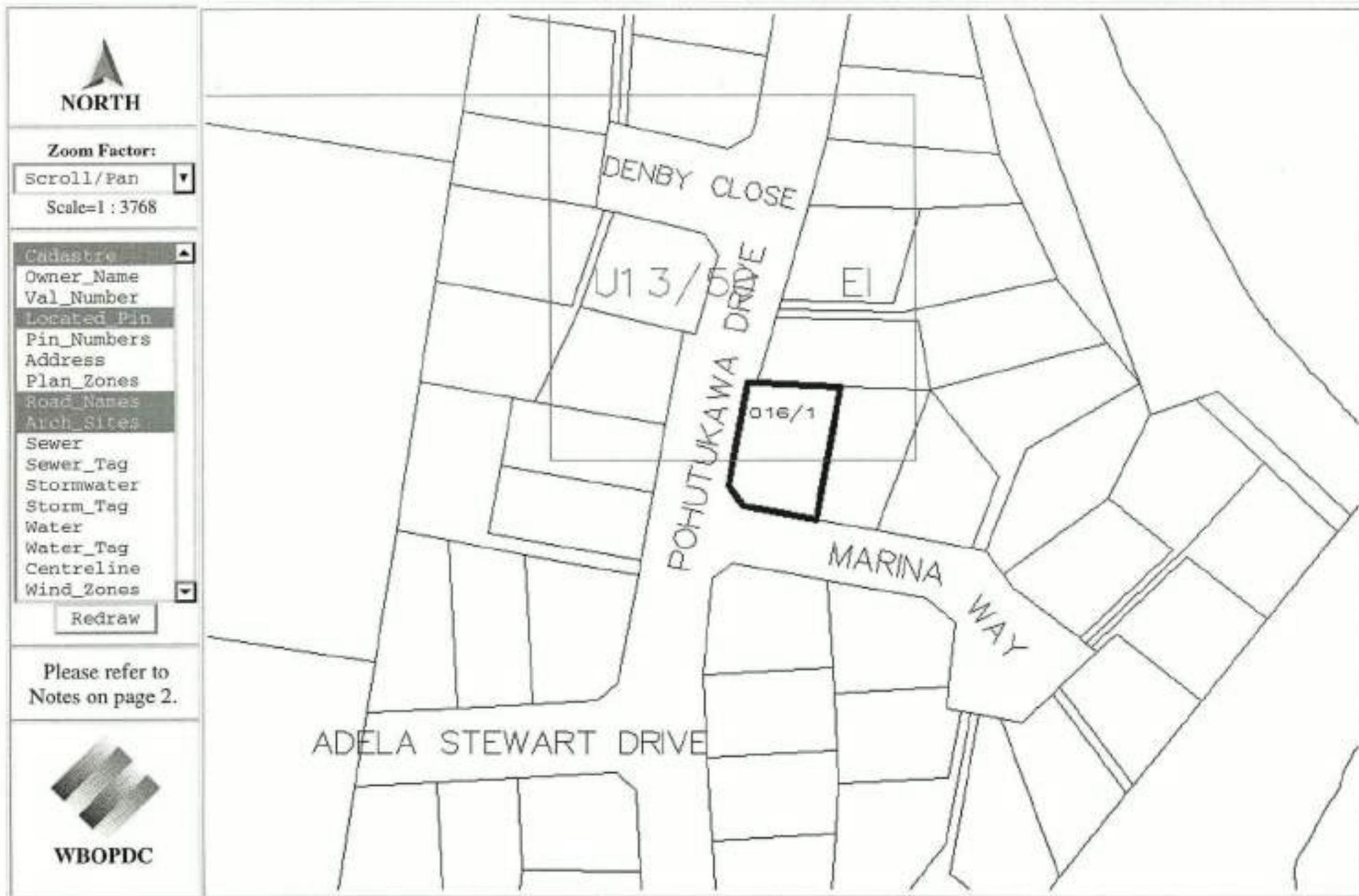
Klass fascia to match existing
existing tilla door re-used



S.W. ELEVATION
1:100

PROPOSED ADDITION to EXISTING RESIDENCE

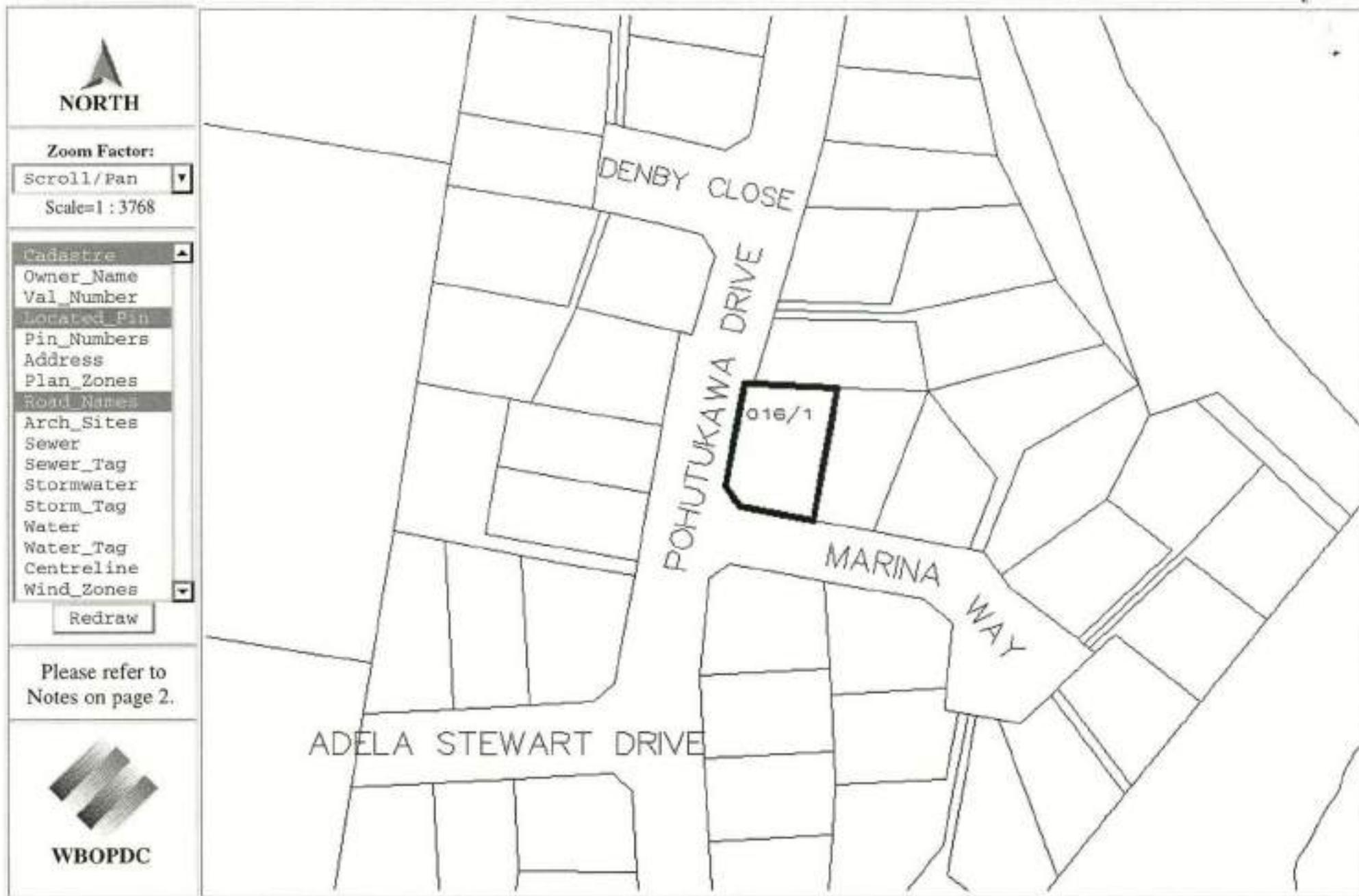
PRELIMINARY SKETCH
PS3



	Property Boundary	WIND ZONES Low Windzone Medium Windzone High Windzone Very High Windzone Specific Design Windzone Unknown Windzone Archaeological Sites Esplanade Strip	
	Hydro Boundary		
	Road & Rail Boundary		
	Water Connection		
	Water Main		
	Stormwater Connection		
	Stormwater Main		
	Stormwater Open Drain		
	Sewer Connection		
	Sewer Main		
	Sewer Riser Main	<p>Produced using Spatial Web Broker(c). Location of Engineering Services is indicative only. Council accepts no liability for any errors whatsoever.</p>	
	Water Pump	Stormwater Pump	Sewer Pump
	Water Connection	Stormwater Connection	Sewer Connection
	Water Well	Stormwater Manhole	Sewer Manhole
	Water Valve	Stormwater Sump	Sewer Rodding Eye
	Water Treatment Plant	Stormwater Junction Box	Sewer Treatment Plant
	Water Reservoir	Stormwater Soak Hole	
	Water End Cap	Stormwater Headwall	
	Water Meter	Stormwater Culvert End	
	Water Hydrant		
	Water Flow Meter		

Archaeological Data supplied by:
NZ Archaeological Association/D.O.C.
Data copied as at July 1999.

Crown Copyright Reserved. L.I.N.Z. Digital Licence No. HN/352200/03 & TD093522.



Zoom Factor:

Scroll/Pan

Scale=1 : 3768

Cadastral

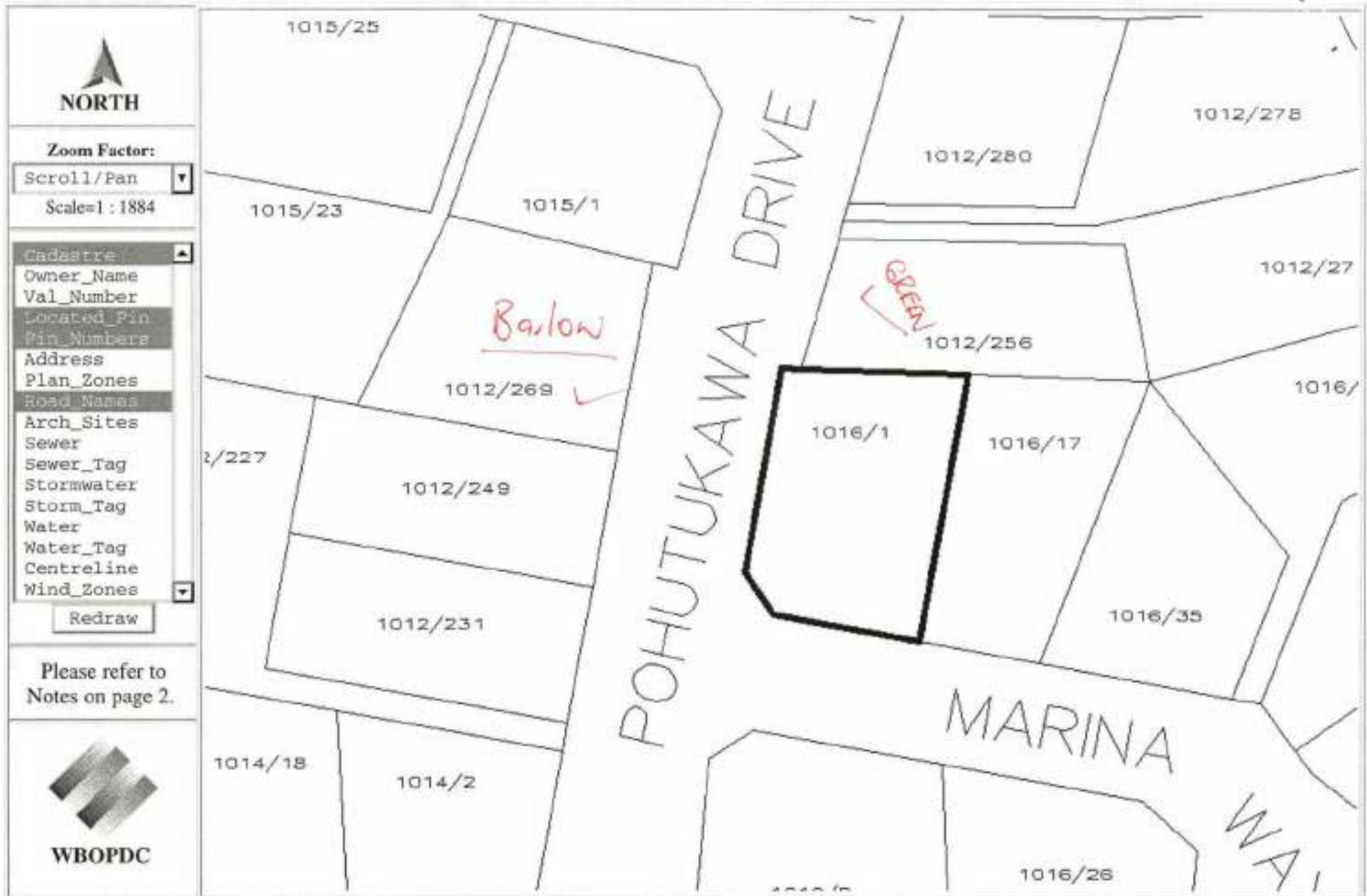
- Owner_Name
- Val_Number
- Located_Pin
- Pin_Numbers
- Address
- Plan_Zones
- Road_Names
- Arch_Sites
- Sewer
- Sewer_Tag
- Stormwater
- Storm_Tag
- Water
- Water_Tag
- Centreline
- Wind_Zones

Redraw

Please refer to
Notes on page 2.



WBOPDC



Zoom Factor:

Scroll/Pan

Scale=1 : 1884

Cadastral

Owner_Name

Val_Number

Located_Pin

Pin_Numbers

Address

Plan_Zones

Road_Names

Arch_Sites

Sewer

Sewer_Tag

Stormwater

Storm_Tag

Water

Water_Tag

Centreline

Wind_Zones

Redraw

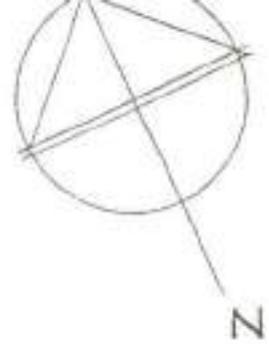
Please refer to
Notes on page 2.



WBOPDC

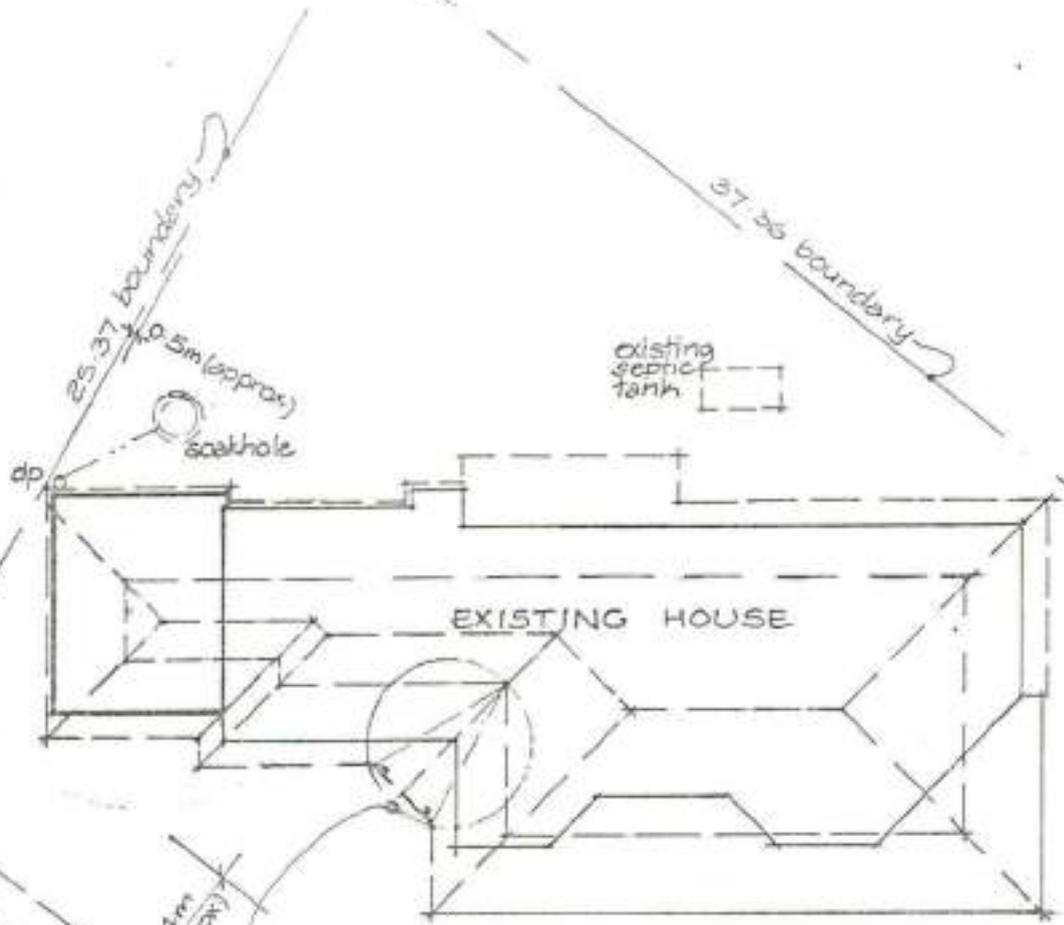
2/10/12

FILE



PROPOSED GARAGE ADDITION

FILE



POHUTUKAWA DRIVE

LOT 22*
DPS 27597

MARINA WAY

SITE PLAN
1:200

Name of Owner: DB & CA DUSKE

Postal Address: 12 Pohutukawa Drive
Athenree, RDI, Katikati

Name of Occupier: DB & CA DUSKE

Postal Address: 12 Pohutukawa Drive
Athenree RDI Katikati

Dated at Athenree this 7th day of JUNE 19 2000

Signature: *Al Qualtrough* (AGENT)
(To be signed for or on behalf of Applicant)

Address for Service: DB & CA DUSKE
12 Pohutukawa drive
Athenree RDI Katikati

Telephone No: 07-8634516 Fax No: 07-8634517 DUSKE

BUILDER/AGENT 025-2787409 Fax 07-8635837.

DOUG QUALTROUGH BUILDERS

35 Koutunui Road, Atherree
RD 1, KATIKATI
Phone: (07) 893 5837
Fax: (07) 863 5843
Mobile: 025 278 7409

7 June 2000

WBOPDC PLANNING attention David Needham.

Dear David,

Have just received the form referred to in item 1 of your letter and am faxing completed form to you now.

With regard item 2. The house is an existing dwelling, and as such can't be moved. It is on a sloping section and because of the siting of the house, it is not practical to place a garage anywhere else on the section, without drastically reducing the street appeal of the property, and also I suspect, the value of it.

The proposed addition however, uses the existing driveway area, without any alteration whatsoever, and merely houses an area which is currently used for vehicle parking. It is my opinion that this addition will further enhance an already striking home, and add to the value and street appeal of it.

Mr Duske may wish to write to you regarding this item, and his reasons for needing the extra space the addition provides, but hopefully the above is sufficient for this application to proceed.

Original copies of these faxes will be posted to you for your files tomorrow.

Yours sincerely



Doug Qualtrough.

DOUG QUALTROUGH BUILDERS

38 Koutunui Road, Athenree
RD 1, KATIKATI
Phone: (07) 863 5837
Fax: (07) 863 5843
Mobile: 025 278 7408

7 June 2000

WBOPDC PLANNING attention David Needham.

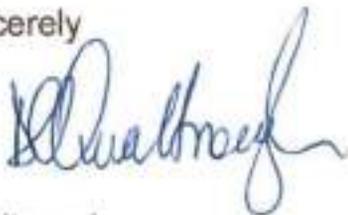
Dear David,

Further to your letter, ref.P/1016/1/2, to DB&CA DUSKE.

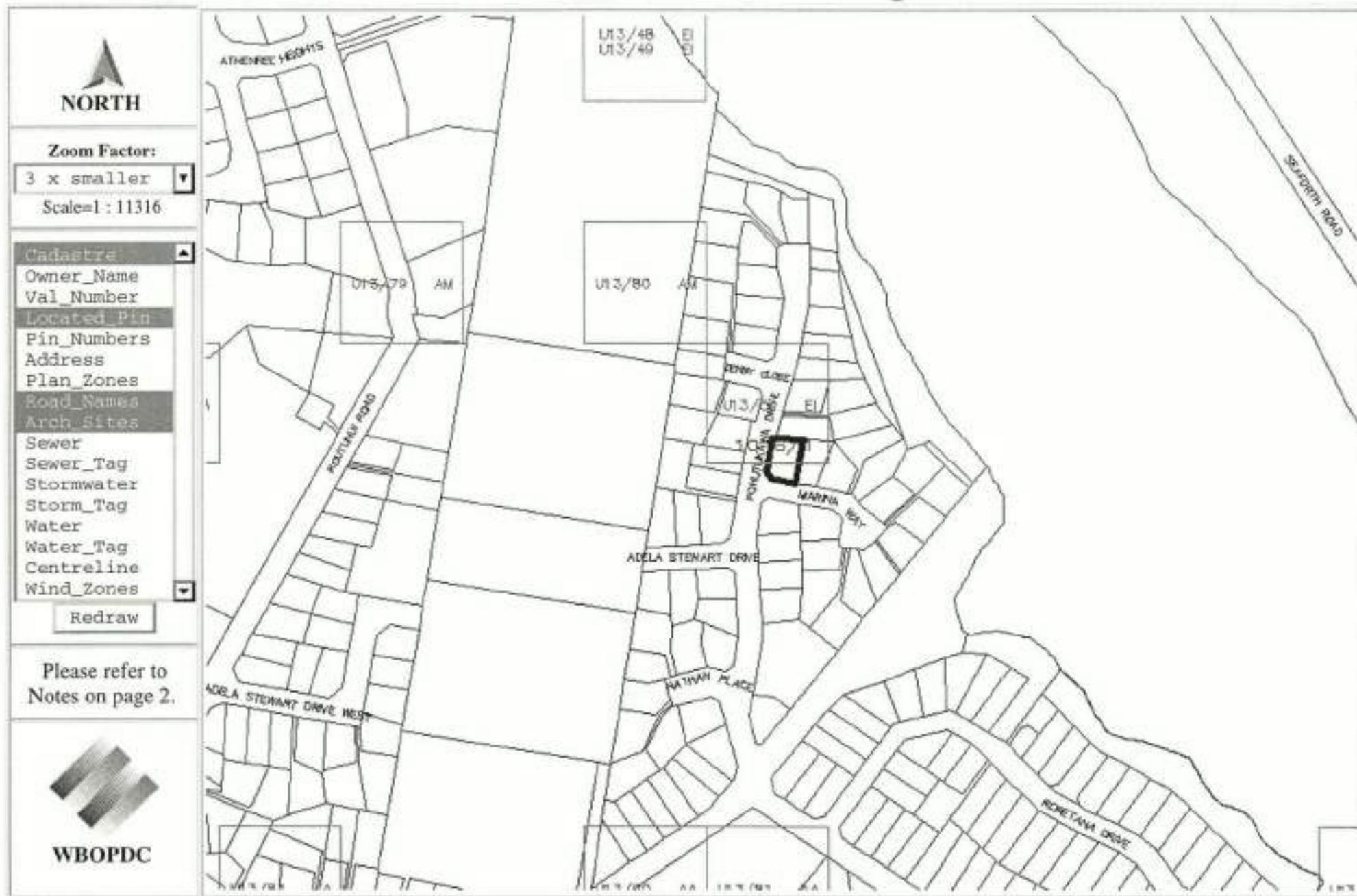
I am faxing you a copy of the site plan for this job, which is on the plans submitted for building consent. Mr Duske thought you had this info, but I am wondering if the scheme plan which he submitted was not dimensioned. Could you please verify that this is sufficient for the application for resource consent, sometime today, and let me know on my mobile or by fax, and I will ensure that you receive a copy of this set of plans when Mr Duske sends in the other information you have asked for.

I am the builder for this project, and would appreciate any urgency you can give this application, as I need to get it under way this week if at all possible. Also, should you require anything further to this please advise me and I will ensure that you receive it without delay.

Yours sincerely



Doug Qualtrough



	Property Boundary	WIND ZONES		Low Windzone			
	Hydro Boundary			Medium Windzone			
	Road & Rail Boundary			High Windzone			
	Water Connection			Very High Windzone			
	Water Main			Specific Design Windzone			
	Stormwater Connection			Unknown Windzone			
	Stormwater Main			Archaeological Sites			
	Stormwater Open Drain			Esplanade Strip			
	Sewer Connection		Produced using Spatial Web Broker(c). Location of Engineering Services is indicative only. Council accepts no liability for any errors whatsoever.				
	Sewer Main						
	Sewer Riser Main		Water Pump		Stormwater Pump		Sewer Pump
	Water Well		Water Connection		Stormwater Connection		Sewer Connection
	Water Valve		Water Treatment Plant		Stormwater Manhole		Sewer Manhole
	Water Reservoir		Water End Cap		Stormwater Sump		Sewer Rodding Eye
	Water Meter		Water Hydrant		Stormwater Junction Box		Sewer Treatment Plant
	Water Flow Meter				Stormwater Soak Hole		
					Stormwater Headwall		
					Stormwater Culvert End		

**Archaeological Data supplied by:
 NZ Archaeological Association/D.O.C.
 Data copied as at July 1999.**

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9 June 2000

David Needham

P/1016/1/2

DUSKE, DAVID BRUCE
DUSKE, CAROL ANN
C/- DUSKE, DAVID BRUCE
12 POHUTUKAWA DRIVE ATHENREE R D 1
KATIKATI

Dear Sir/Madam

Application for Resource Consent

Applicant DUSKE, DAVID BRUCE
DUSKE, CAROL ANN

Date of Council Decision 9 June 2000 (Delegated Authority)

I wish to advise that Council has granted the above application for land use consent in the following terms:

- (a) *THAT pursuant to Section 94(2) of the Resource Management Act 1991, the Western Bay of Plenty District Council resolves that the application need not be notified in accordance with Section 93 of the Act because:*
- (i) *Council is satisfied that the adverse effectson the environment of the proposal will be minor, and*
 - (ii) *The written approval has been obtained from every person whom the Council considers to be affected by the proposal, and*
- (b) *THAT pursuant to Section 104 and 105 of the Resource Management Act 1991, the Western Bay of Plenty District Council grants its consent to the application by D.B Duske and C.A Duske for a discretionary activity being the erection of a garage within the front yard on a residentially zoned property being, Lot 22 DPS 27597, subject to the following conditions:*
- 1. *THAT the extension be sited in accordance with the plans as submitted with the application by D.B and C.A Duske dated 24 May 2000 and completed on 7 June 2000.*
 - 2. *THAT the extension to the house be sited no closer than 3.4m from the front boundary of the site and 0.5m from the north side boundary.*
 - 3. *THAT the existing concrete driveway be widened on the north side to ensure on site manoeuvring of a 90-percentile car can be undertaken.*

The reasons for this decision are:

- 1. *The written approval of the neighbouring property owners had been obtained.*

2. *The adverse effects of allowing the encroachment within the front yard are considered to be minor.*

ADVICE NOTES:

1. *A building consent will be required for all building work including stormwater and effluent disposal systems.*
2. *This consent will lapse after two years of being granted unless considerable progress has been made and is continuing to be made to complete this project.*

Any lack of recorded archaeological sites on this property may be due to one of two factors:

- (a) *there are no sites present, or*
- (b) *there has not been an archaeological survey undertaken.*

Archaeological sites are historic places as defined by the Historic Places Act 1993, and all archaeological sites are protected under the provisions of that Act. Any activity, which impacts on an archaeological site, requires the prior permission of the Historic Places Trust. If any archaeological site is uncovered during development then work must stop until the site can be assessed by a qualified archaeologist and an authority to modify, damage or destroy the site applied for under either Section 11 or 12 of the Act.

3. *Full compliance with the conditions of consent is necessary to carry out the activity to which this consent relates. Your progress towards satisfying the conditions of consent will be monitored by Council, and enforcement measures may be taken to ensure compliance with the conditions of consent if necessary.*

If you wish to object to any part of this decision you have 15 working days from the date of receiving this notice to lodge your objection with the Council.

Yours faithfully

Sue McElroy
Consents Officer
Email sjm@wbopdc.govt.nz

+ Return to Consents Officer	Date:
--	--------------

**Western Bay of Plenty District Council
Forward Planning**

Application for Resource Consent – Non-Notified - DUSKE, DAVID BRUCE

Delegated Authority

P/1016/1/2

Recommendation:

- (a) THAT pursuant to Section 94(2) of the Resource Management Act 1991, the Western Bay of Plenty District Council resolves that the application need not be notified in accordance with Section 93 of the Act because:
- (i) Council is satisfied that the adverse effect on the environment of the proposal will be minor, and
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DAVID NEEDHAM
Consents Planner
CCLU1
07 JUN 2000

Approved under Delegated Authority



Date: 7/6/2000

DOUG QUALTROUGH BUILDERS

38 Koutunui Road, Athenree
RD 1, KATIKATI
Phone: (07) 850 5837
Fax: (07) 803 5843
Mobile: 025 216 7409

7 June 2000

WBOPDC PLANNING attention David Needham.

Dear David,

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With regard item 2. The house is an existing dwelling, and as such can't be moved. It is on a sloping section and because of the siting of the house, it is not practical to place a garage anywhere else on the section, without drastically reducing the street appeal of the property, and also I suspect, the value of it.

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Original copies of these faxes will be posted to you for your files tomorrow.

Yours sincerely



Doug Qualtrough.

Name of Owner: DB + CA DUSKEPostal Address: 12 Pohutukawa DriveAthenree, RDI, KatikatiName of Occupier: DB + CA DUSKEPostal Address: 12 Pohutukawa DriveAthenree RDI KatikatiDated at Athenree this 7th day of JUNE 2000

Signature:

Doug Gualtrough (AGENT)
(To be signed for or on behalf of applicant)

Address for Service: DB + CA DUSKE12 Pohutukawa driveAthenree RDI KatikatiTelephone No: 07-8634516 Fax No: 07-8634517 DUSKEBUILDER/AGENT 025-2787409 Fax 07-8635837.

DOUG QUALTROUGH BUILDERS

38 Kaitiaki Road, Asher
RD 1, KAITIAKI
Phone: (07) 843 5837
Fax: (07) 843 5443
Mobile: 020 218 7409

7 June 2000

WBOPDC PLANNING attention David Needham.

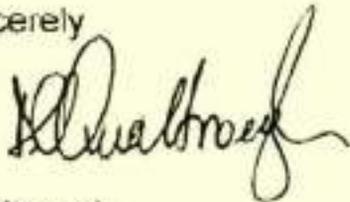
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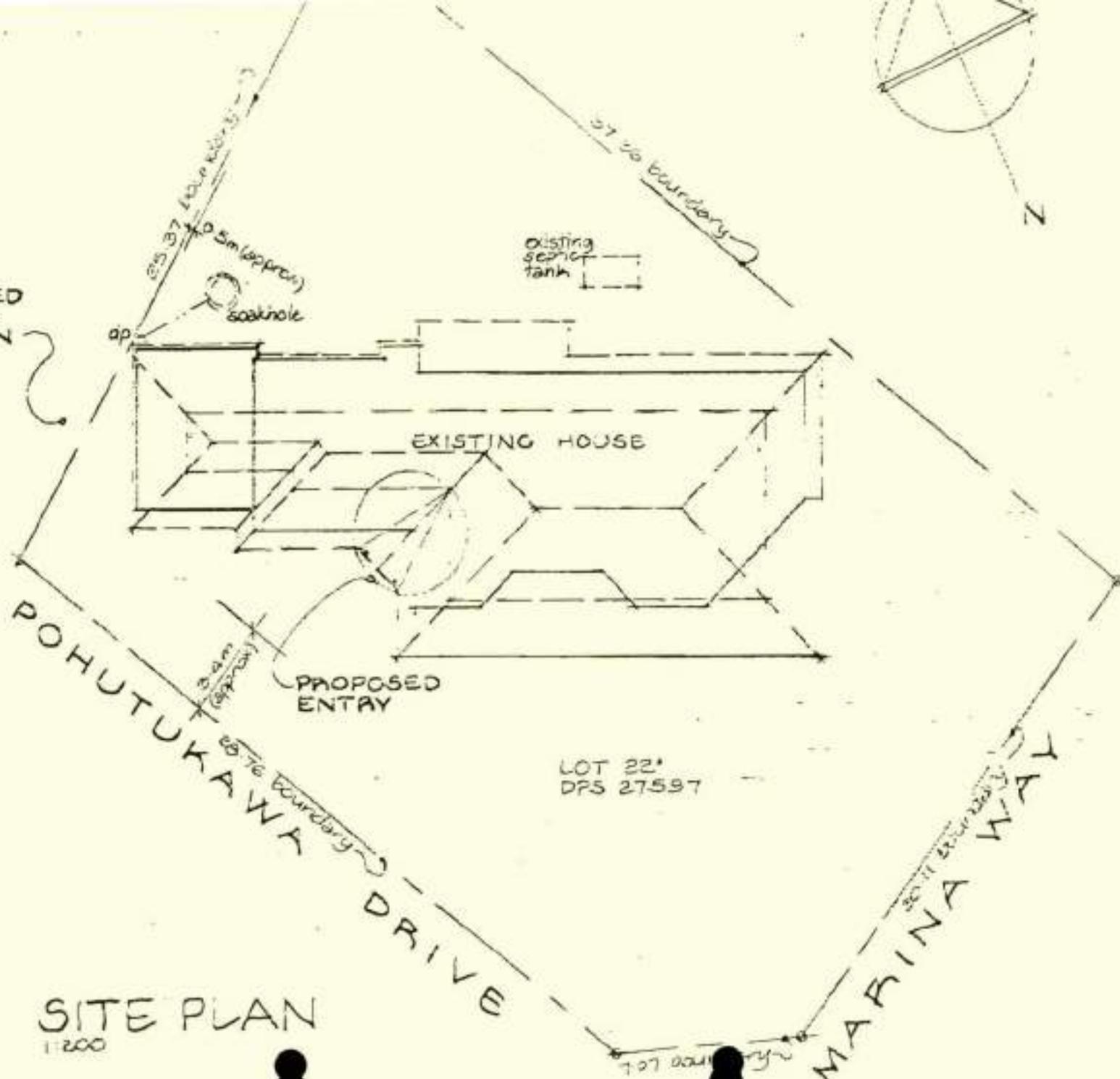
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Yours sincerely



Doug Qualtrough

PROPOSED GARAGE ADDITION



SITE PLAN

11200



02 June 2000

David Needham

P/1016/1/2

D B & C A Duske
12 Pohutukawa Drive
Athenree R D 1
Katikati

Dear Sir/Madam

**Request For Further Information – Section 92 Resource Management Act 1991 : 12
Pohutukawa Drive, Athenree**

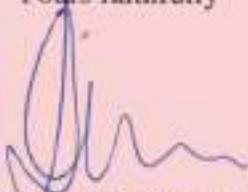
A preliminary assessment has been made of the above consent application and pursuant to Section 92 of the Resource Management Act 1991, Council staff request the following information relating to the application:

1. a completed resource consent application form including back sheet, attached with this letter.
2. an explanation of the application, ie why the house cannot be located in a complying location.
3. a to-scale site plan indicating the distances of the proposed dwelling to the boundaries.

This information is required to enable the Council to better understand the nature of the activity in respect of which the application for a resource consent is made, the effect it will have on the environment, or ways in which any adverse effects may be mitigated.

Council will postpone processing of the application until the required information is received.

Yours faithfully



David Needham
Consents Planner
Email: dcn@wbopdc.govt.nz

To: Regulatory Group

Please return comments to DAVID NEEDHAM by

8.6.00

Western Bay of Plenty District Council
Consents Team

File No: P/1016/1

Memo To: Bob Sherman Project No: _____

From Consents Officer: _____

Date: 30.5.00

1. Application for Resource Consent

Applicant: DUSKE, DAVID BRUCE
DUSKE, CAROL ANN

The attached report/plan has been submitted for consideration.

Please advise of any requirements or conditions you may have with respect to this application, as per the provisions of the Act, as soon as possible.

Building Consent required
All building work to comply with
NZ Building Code

[Signature]
1/6/00

NORTH

Zoom Factor:
 Scroll/Pan
 Scale=1 : 3768

Cadastral

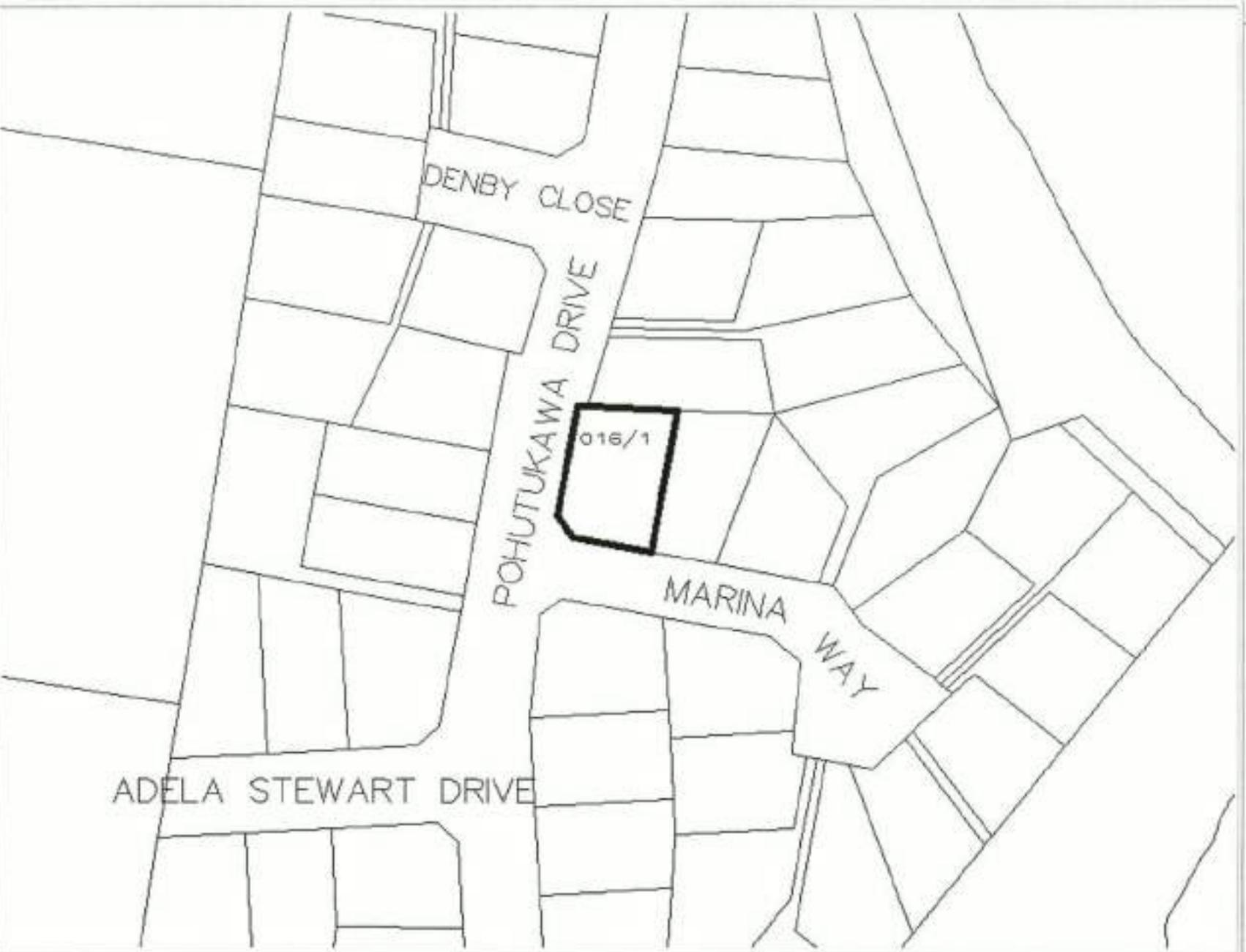
- Owner_Name
- Val_Number
- Located_Pin
- Pin_Numbers
- Address
- Plan_Zones
- Road_Names
- Arch_Sites
- Sewer
- Sewer_Tag
- Stormwater
- Storm_Tag
- Water
- Water_Tag
- Centreline
- Wind_Zones

Redraw

Please refer to
Notes on page 2.



WBOPDC





Application for

Land Use Consent

Applicant Details

I, DUSKE DAVID BRUCE
Surname First Name/s
DUSKE CAROL ANN
Surname First Name/s

Surname First Name/s

of 12 Pohutukawa Drive
(State Postal Address)
Athenree, RD 1, Katikati

apply for Consent to build additions to our
(State fully what is proposed)
home as outlined on the attached drawings.

The following additional resource consents are required in relation to this proposal and have/have not been applied for.

I attach an assessment of any effects that the proposed activity may have on the environment in accordance with the Fourth Schedule of the Act.

Property Details

The property in respect of which this application is made is situated:

At No 12 Pohutukawa Drive Road/Street

At Athenree, RD 1, Katikati

~~We are the~~ we are the Owners of the property.
(State Whether Owner, Lessee, etc)

Legal Description of Property: LOT 22 DPS 27597

Valuation Roll NO (from Rates Slip): 06812 00791



Group Manager Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
TAURANGA

Dear Sir

Application for Resource Consent – Consent of Persons Affected

Robert Dean & Edna Elizabeth M. Green

(State Full Name - Please Print)

of, of *14 Pohutakawa Drive Atternes*

(Address)

as the owner/~~lessor~~/occupier (delete as appropriate) of the property legally described as:

Lot 23 DPS 27597 (06814 007 92)

hereby give my approval to an application by:

David Bruce Duske & Carol Ann Duske

(State Applicants Name)

for a resource consent to *12 Pohutakawa Drive Atternes*

I have sighted the application and fully understand and agree with what is proposed. (Note: those persons signing this consent form must also initial any plans accompanying the application).

Yours faithfully

Robert Dean - E. E. Green

(Signature and Date)



CONTACT

REF

.....
Group Manager - Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
TAURANGA

Dear Sir

APPLICATION FOR RESOURCE CONSENT - CONSENT OF PERSONS AFFECTED

I, John Edwin Barlow & Pamela Jane Barlow

(State Full Name - Please Print)

of, 19 Pohutubawa Drive, Athenree

(Address)

as the owner/~~lessee/occupier~~ (delete as appropriate) of the property legally described as:

Lot 46 DPS 27597 (V.A. 0681400746)

hereby give my approval to an application by:

David Bruce Surke & Carol Ann Surke

(State Applicants Name)

for a resource consent to: 12 Pohutukawa Drive, Athenree

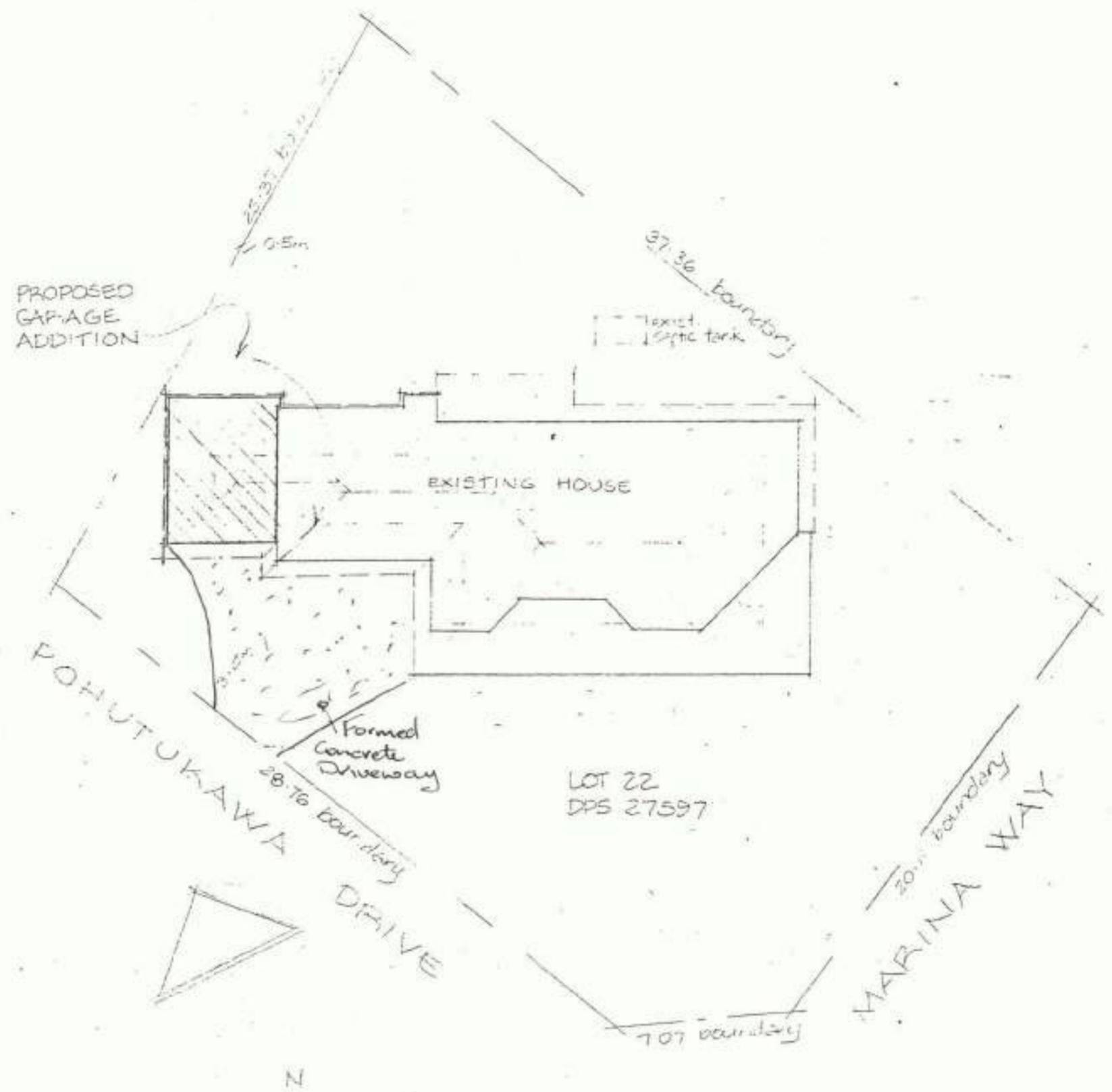
I have sighted the application and fully understand and agree with what is proposed. (Note: those persons signing this consent form must also initial any plans accompanying the application).

Yours faithfully


(Signature)

54937

Rock
EE from



RECEIVED
24 MAY 2017
W.B.O.P.D.C.
HEAD OFFICE

SITE PLAN 120

PROPOSED ADDITION TO EXISTING RESIDENCE
FOR MR & MRS [unclear] 12 POHUTUKAWA LP, ATHENREE

PRELIMINARY KETC

PS 1A
3/2017

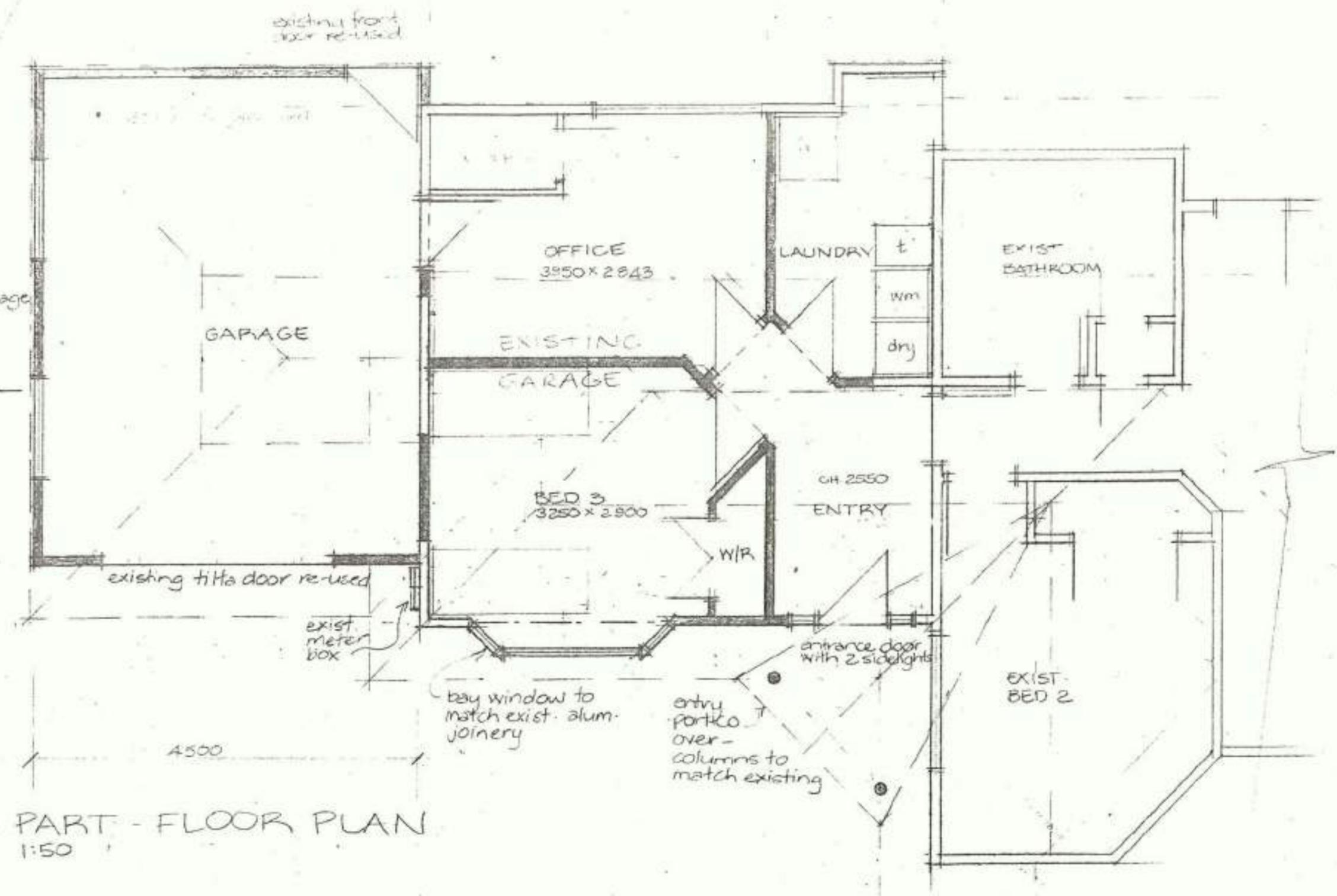
21/05
E.E. Edgar
D.O.G. Inc.

PROPOSED
ADDITION

EXISTING HOUSE

3950

1827



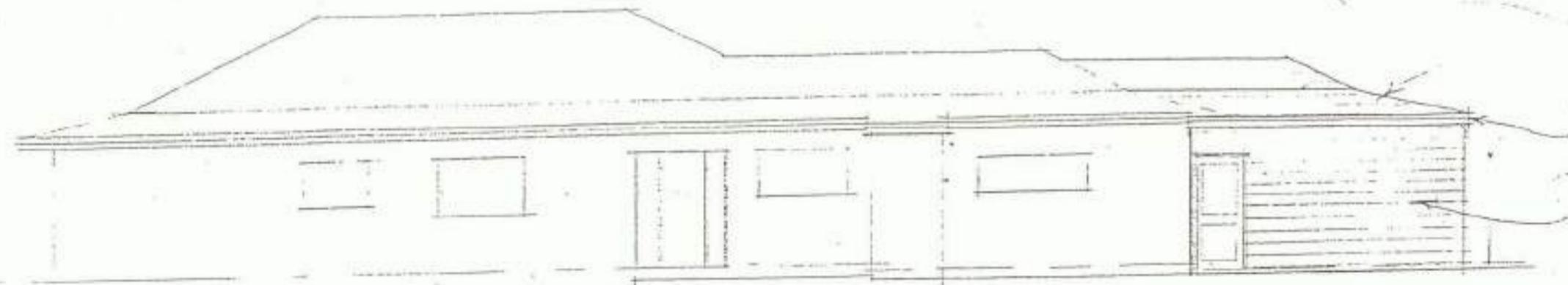
PART - FLOOR PLAN
1:50

PRELIMINARY SKETCH

PROPOSED ADDITION to EXISTING RESIDENCE
for MR & MRS B DUSKE at 12 POHUTUKAWA DR. ATHENREE

PS 2A
3/2000

E.B. Green



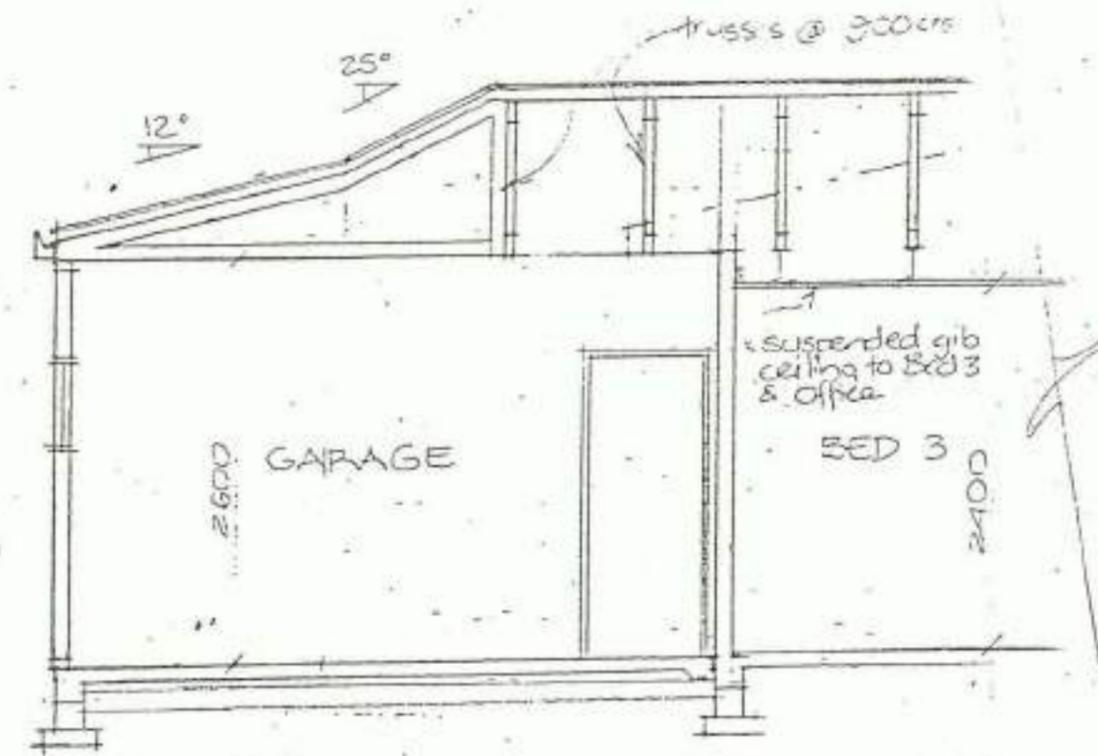
colortile metal tiles to match existing
Klass fascia to match existing
Pailside cladding to match existing

NE. ELEVATION

colortile metal tile roofing to match existing
existing aluminium windows re-used

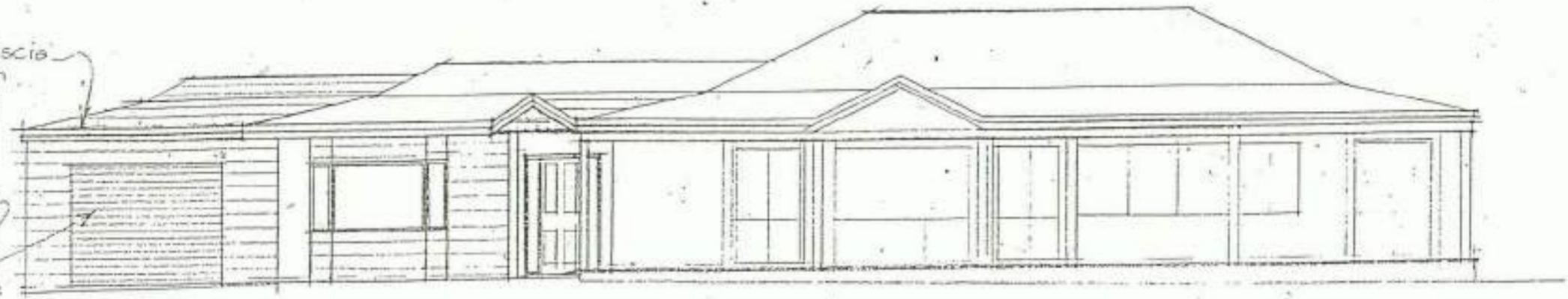


N.W. ELEVATION



SECTION 'A'
1:50

Klass fascia to match existing
existing tilt door re-used



S.W. ELEVATION
1:100

PRELIMINARY SKETCH

PROPOSED ADDITION to EXISTING RESIDENCE

PS3

Site Audit *Athenveer*

To: Assets Group

Please return comments to DAVID NEEDHAM by
8.6.00

Please advise as soon as possible if further time is required

File No: P/1016/1

**Western Bay of Plenty District Council
Consents Team
Assets Comments**

Roading:

- 1. Road Upgrading

- 2. New Roads

- 3. Road Improvements – Splays – Stormwater (easements)

- 4. Sight distance and standard of access points

- 5. Rights of Way / Access Legs *Ex concrete vehicle entrance & driveway, widen*

Services:

- 1. Water (available / upgrading / easements / contributions)

- 2. Sewerage (available / adequate onsite / reticulation regd / conditions)

- 3. Stormwater Disposal (available / adequate / onsite instability / contributions)

- 4. Flooding – Erosion - Instability

General:

Engineering Conditions →
L. H. Brown 7/6/00 69208

P/1016/1

THAT the existing concrete driveway be widened on the north side to ensure on site manoeuvring of a 90 percentile car can be undertaken.

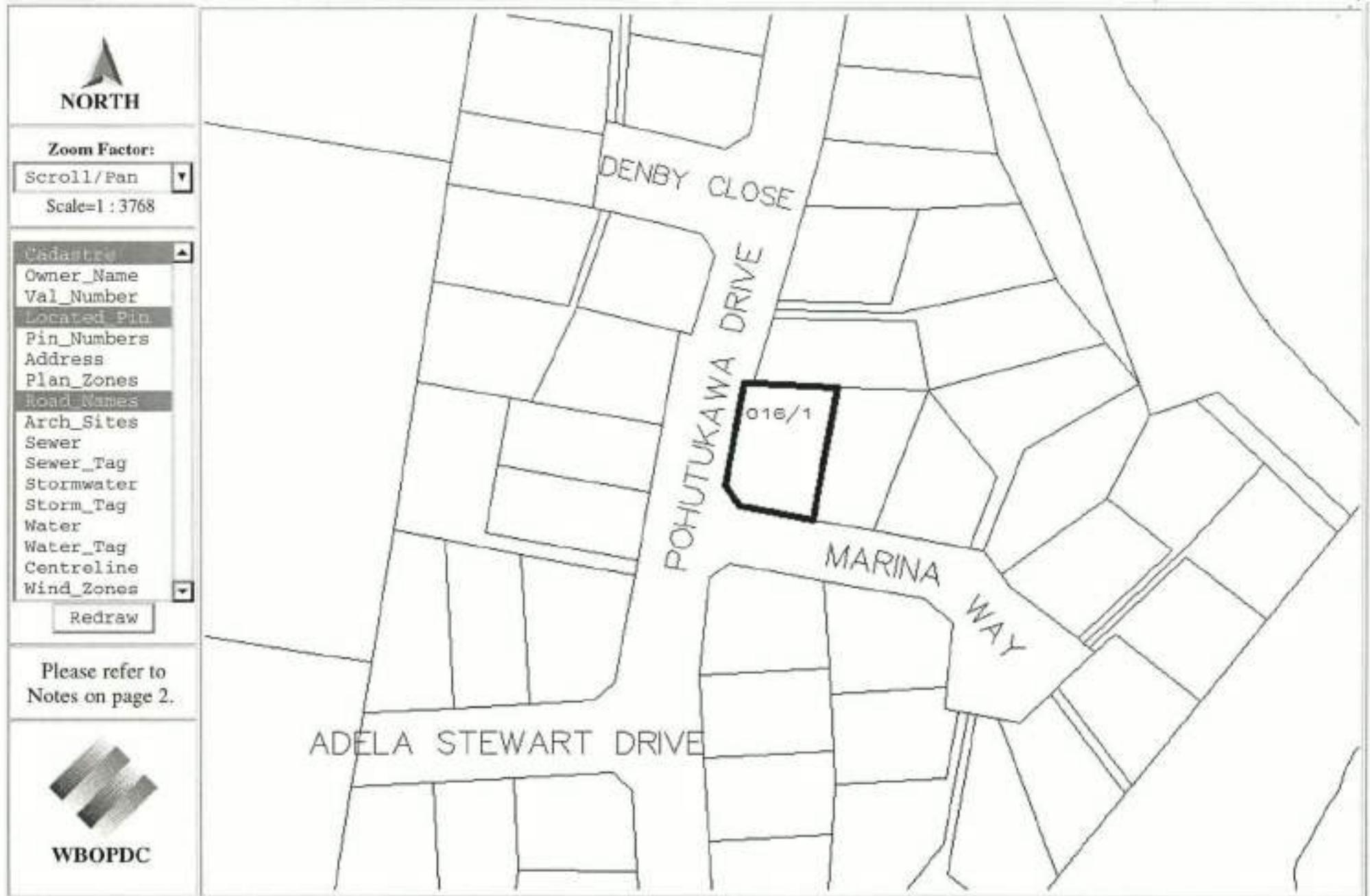
John Brown 7/6/00

NB: Conditions of approval set out as follows:

P/1016/1

PROPOSED CONDITIONS

Widen existing concrete drive to provide
onsite manoeuvring for 90° car
on north side to ensure onsite manoeuvring can be undertaken



Zoom Factor:

Scroll/Pan

Scale=1 : 3768

Cadastral

- Owner_Name
- Val_Number
- Located_Pin
- Pin_Numbers
- Address
- Plan_Zones
- Road_Names
- Arch_Sites
- Sewer
- Sewer_Tag
- Stormwater
- Storm_Tag
- Water
- Water_Tag
- Centreline
- Wind_Zones

Redraw

Please refer to
Notes on page 2.



WBOPDC

Application for

WESTERN
BAY OF PLENTY
DISTRICT COUNCIL



Land Use Consent

Applicant Details

I, DUSKE DAVID BRUCE
Surname First Name/s

DUSKE CAROL ANN
Surname First Name/s

Surname First Name/s

of 12 Pohutukawa Drive
(State Postal Address)

Athenree, RD 1, Katikati

apply for Consent to build additions to our
(State fully what is proposed)

home as outlined on the attached drawings.

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Legal Description of Property: LOT 22 DPS 27597

Valuation Roll NO (from Rates Slip): 0681200791



.....
Group Manager Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
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Application for Resource Consent – Consent of Persons Affected

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(State Full Name - Please Print)

of, of 14 Pohutukawa Drive Athenree
(Address)

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David Bruce Duske & Carol Ann Duske
(State Applicants Name)

for a resource consent to 12 Pohutukawa Drive Athenree

I have sighted the application and fully understand and agree with what is proposed. (Note: those persons signing this consent form must also initial any plans accompanying the application).

Yours faithfully

Robert Dean - E. E. Green
(Signature and Date)



CONTACT	REF
---------	-----

Group Manager - Forward Planning
Western Bay of Plenty District Council
Private Bag 12803
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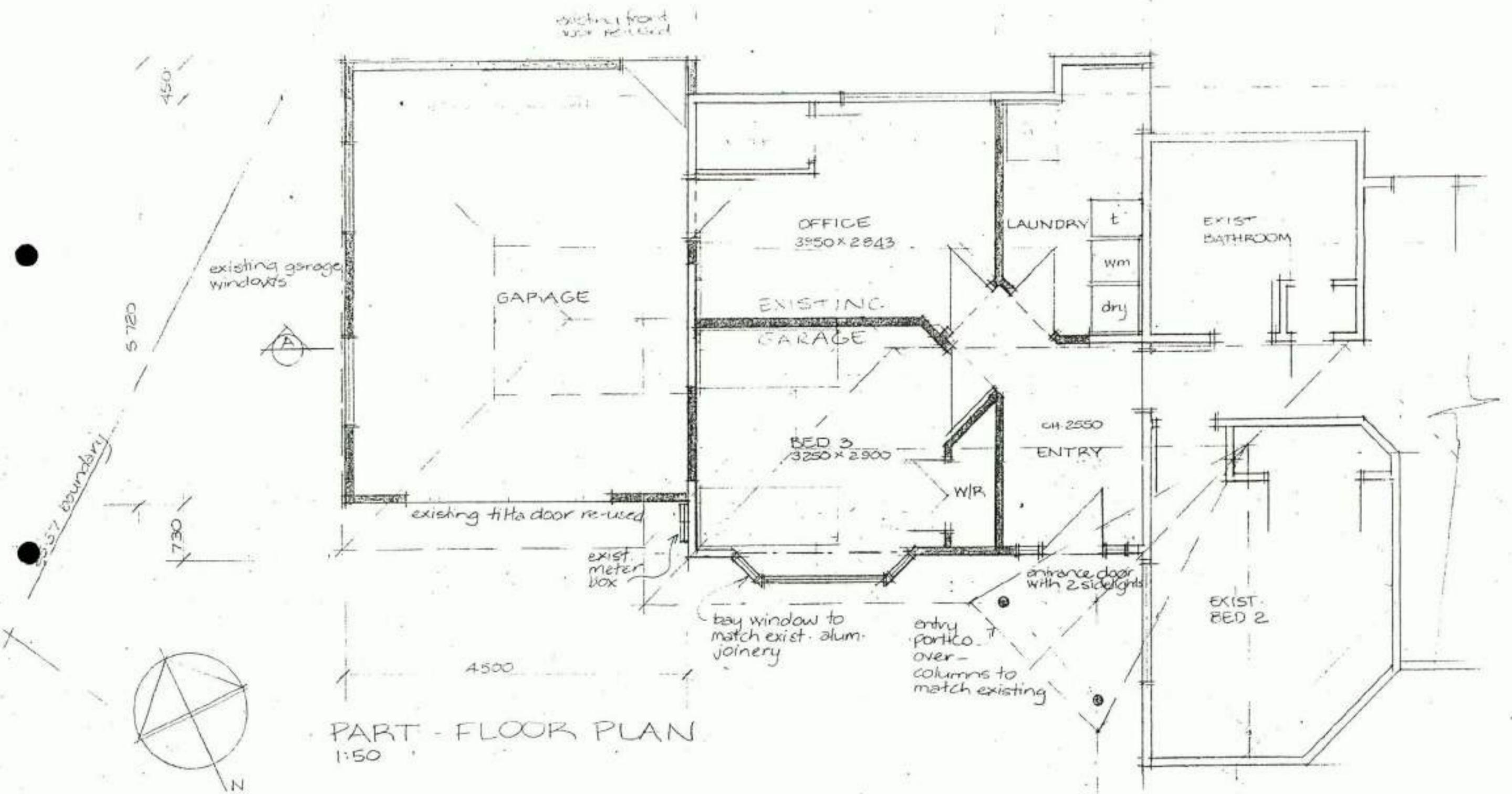
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Yours faithfully

[Signature]
(Signature)

21/11/00
E. E. G. G.
D. O. G. G.

PROPOSED ADDITION EXISTING HOUSE
3950 1827



PART - FLOOR PLAN
1:50

PRELIMINARY SKETCH

PROPOSED ADDITION to EXISTING RESIDENCE
for MR & MRS B DUSKE at 12 POHUTUKAWA DR. ATHENS N.Z.

PS 2A